

**DRAFT**  
**Permanent Bridge Shelter Facility**  
**Initial Study/Mitigated Negative Declaration**  
**City of Costa Mesa, Orange County, California**

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## ACRONYMS AND ABBREVIATIONS

µg/m <sup>3</sup>	micrograms per cubic meter
°F	degrees Fahrenheit
°C	degrees Celsius (Centigrade)
AB	Assembly Bill
ACM	asbestos containing material
ADA	Americans with Disabilities Act
ADT	average daily trip
APN	Assessor's Parcel Number
AQMP	Air Quality Management Plan
ARB	California Air Resources Board
BMP	Best Management Practice
CAL FIRE	California Department of Forestry and Fire Protection
CalEEMod	California Emissions Estimator Model
CALGreen	California Green Building Standards Code
CalRecycle	California Department of Resources Recycling and Recovery
Caltrans	California Department of Transportation
CBC	California Building Standards Code
CDFW	California Department of Fish and Wildlife
CEQA	California Environmental Quality Act
CESA	California Endangered Species Act
CH <sub>4</sub>	methane
CMFD	Costa Mesa Fire Department
CMMC	Costa Mesa Municipal Code
CNDDDB	California Natural Diversity Database
CNEL	Community Noise Equivalent Level
CNPS	California Native Plant Society
CO <sub>2</sub>	carbon dioxide
CREC	Controlled Recognized Environmental Condition
CRHR	California Register of Historical Resources
CUP	conditional use permit
DAMP	Drainage Area Management Plan
dB	decibel
dBA	A-weighted decibel
DOC	Department of Conservation
DOF	Department of Finance

**Acronyms and Abbreviations**

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DOT	United States Department of Transportation
EBS	emergency broadcast system
EDR	Environmental Data Resources, Inc.
EOC	Emergency Operations Center
EOP	Emergency Operations Plan
EPA	United States Environmental Protection Agency
ESA	Environmental Site Assessment
FAR	Floor Area Ratio
FEMA	Federal Emergency Management Agency
FESA	Federal Endangered Species Act
FHSZ	Fire Hazard Severity Zone
FIRM	Flood Insurance Rate Map
FMMP	Farmland Mapping and Monitoring Program
FTA	Federal Transit Administration
GHG	greenhouse gas
HCP	Habitat Conservation Plan
HMIS	Homeless Management Information System
HREC	Historical Recognized Environmental Condition
HVAC	heating, ventilation, and air conditioning
IRWD	Irvine Ranch Water District
IS/MND	Initial Study/Mitigated Negative Declaration
kBTU	kilo-British Thermal Unit
kWh	kilowatt hour
LBP	lead-based paint
L <sub>dn</sub>	day/night sound level
L <sub>eq</sub>	equivalent continuous sound level
L <sub>max</sub>	maximum instantaneous noise level
LRA	Local Responsibility Area
LST	Localized Significance Threshold
MBTA	Migratory Bird Treaty Act
Mesa Water	Mesa Water District
mgd	million gallons per day
MM	Mitigation Measure
MP	Industrial Park
mpg	miles per gallon
MWDOC	Municipal Water District of Orange County
MWRF	Mesa Water Reliability Facility
N <sub>2</sub> O	nitrous oxide



NCCP	Natural Community Conservation Plan
NHM	Natural History Museum of Los Angeles County
NPDES	National Pollutant Discharge Elimination System
O&M	Operations and Maintenance
OCSD	Orange County Sanitation District
PDI	Planned Development Industrial
PM	particulate matter
PM <sub>10</sub>	particulate matter less than 10 microns in diameter
PM <sub>2.5</sub>	particulate matter less than 2.5 microns in diameter
REC	recognized environmental condition
RPS	Renewables Portfolio Standard
SB	Senate Bill
SCAG	Southern California Association of Governments
SCAQMD	South Coast Air Quality Management District
SCE	Southern California Edison
SEMS	Standardized Emergency Management System
SoCAB	South Coast Air Basin
SoCalGas	Southern California Gas
SOS	Share Our Selves
SR	State Route
SRA	State Responsibility Area
SRRE	Source Reduction and Recycling Element
USFWS	United States Fish and Wildlife Service
USGS	United States Geological Survey
UWMP	Urban Water Management Plan
VA	Veterans Affairs
VMT	vehicle miles traveled
ZEV	zero emission vehicle

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## SECTION 1: INTRODUCTION

The purpose of this Initial Study/Mitigated Negative Declaration (IS/MND) is to identify the potential environmental impacts that would result from implementation of the proposed Permanent Bridge Shelter Facility (project) in the City of Costa Mesa, California. The Bridge Shelter Facility will be a reservation-based high security solution to offer shelter beds to individuals in need. Pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15367, the City of Costa Mesa has discretionary authority over the proposed project and is the Lead Agency in the preparation of this IS/MND and any additional environmental documentation required. The intended use of this document is to determine the level of environmental analysis required to adequately analyze the project pursuant to the requirements of CEQA and to provide the basis for input from public agencies, organizations, and interested members of the public.

The remainder of this section provides a brief description of the project location and the primary project characteristics. Section 2 includes an environmental checklist that provides an overview of the potential impacts that may result from project implementation, elaborates on the information contained in the environmental checklist, and provides justification for each checklist response. References cited in this IS/MND are included in Section 3, and Section 4 contains the List of Preparers.

### 1.1 - Incorporation by Reference

Pertinent documents relating to this IS/MND have been cited and incorporated, in accordance with Sections 15148 and 15150 of the CEQA Guidelines, to eliminate the need for inclusion of voluminous engineering and technical reports within the Initial Study. Of particular relevance are those previous environmental documents that present information regarding descriptions of the relevant environmental setting and future development-related growth and cumulative impacts. The references outlined below were utilized during preparation of this Initial Study. The documents are available for review at the City of Costa Mesa Economic and Development Services Department located at 77 Fair Drive, Costa Mesa, California 92626 and also online on the City's website, at (<https://www.costamesaca.gov/city-hall/city-departments/development-services/planning/general-plan>).

**City of Costa Mesa 2015–2035 General Plan (Adopted June 2016).** The Costa Mesa General Plan establishes the long-range planning and policy direction that guides change and preserves the qualities that define the community. The General Plan sets forth the vision for Costa Mesa for the next two decades. This vision recognizes that Costa Mesa's focus remains on protecting and enhancing Costa Mesa's diverse residential neighborhoods, accommodating an array of businesses that both serve local needs and attract regional and international spending, and continuing to provide cultural, educational, social, and recreational amenities that contribute to the quality of life in the community. Over the long term, General Plan implementation will ensure that development decisions and improvements to public and private infrastructure are consistent with the goals, objectives, and policies contained in the General Plan.

**City of Costa Mesa 2015–2035 General Plan Environmental Impact Report.** The City of Costa Mesa 2015–2035 General Plan Environmental Impact Report (General Plan EIR) analyzed the potential environmental impacts that would result from implementation of the Costa Mesa General Plan. This information includes General Plan EIR Table 6-1, Southern California Association of Governments (SCAG) 2008–2035 Growth Forecast, which contains the forecast population, household, and employment growth for Costa Mesa. The environmental impact analysis contained in the General Plan EIR assumes an increase in population from 109,100 in 2008 to 114,000 in 2035, which represents a 4 percent change. Households are anticipated to increase from 39,700 in 2008 to 40,900 in 2035, which represents a 3 percent change. Furthermore, employment is expected to decrease from 94,200 in 2008 to 88,800, which is a 6 percent change. The General Plan EIR concludes that impacts in the following areas would be significant and unavoidable (see General Plan EIR Section 6.5):

- Air Quality
- Greenhouse Gas Emissions

The Costa Mesa General Plan and General Plan EIR were used in this IS/MND as a source of baseline data.

**City of Costa Mesa 2013–2021 Housing Element.** The State of California has declared that “the availability of housing is of vital statewide importance and the early attainment of decent housing and a suitable living environment for every California family is a priority of the highest order.” In addition, government and the private sector should make an effort to provide a diversity of housing opportunities and accommodate regional housing needs through a cooperative effort, while maintaining a responsibility toward economic, environmental and fiscal factors and community goals within the general plan.

Further, State Housing Element law requires “An assessment of housing needs and an inventory of resources and constraints relevant to the meeting of these needs.” The law requires:

- An analysis of population and employment trends.
- An analysis of the City’s fair share of the regional housing needs.
- An analysis of household characteristics.
- An inventory of suitable land for residential development.
- An analysis of governmental and non-governmental constraints on the improvement, maintenance and development of housing.
- An analysis of special housing needs.
- An analysis of opportunities for energy conservation.
- An analysis of publicly assisted housing developments that may convert to non-assisted housing developments.

The purpose of these requirements is to develop an understanding of the existing and projected housing needs within the community and to set forth policies and programs that promote preservation, improvement, and development of diverse types and costs of housing throughout Costa Mesa.

**City of Costa Mesa Municipal Code.** The Costa Mesa Municipal Code (CMMC) consists of regulatory, penal, and administrative ordinances of the City of Costa Mesa. It is the method the City uses to implement control of land uses, in accordance with General Plan goals and policies. The City's Zoning Code is found in CMMC Title 13, Planning, Zoning, and Development. The purpose of CMMC Title 13 is to promote the public health, safety, and general welfare, and preserve and enhance the aesthetic quality of the City by providing regulations to ensure that an appropriate mix of land uses occur in an orderly manner. The CMMC and CMMC Title 13 are referenced throughout this Initial Study for descriptions and requirements of the City's regulatory framework.

## 1.2 - Background

As disclosed on the City of Costa Mesa's website, a lawsuit was filed against the cities of Costa Mesa, Anaheim, Orange, Santa Ana, and the County of Orange regarding the scheduled removal of encampments and individuals who were illegally camping along the Santa Ana River Trail (City of Costa Mesa 2019). To enforce the City's anti-encampment ordinance and to avoid further litigation, Federal District Court Judge David Carter provided direction to the City to provide shelter beds equal to 60 percent of the City's homeless count numbers at the time of the order. In January 2017, the count found 103 unsheltered individuals in Costa Mesa, 60 percent of which equals 62 beds (City of Costa Mesa 2019). To immediately satisfy the Court's direction, the City of Costa Mesa reached an agreement with the Lighthouse Church of the Nazarene to operate a 50-bed temporary bridge shelter on a portion of their property located at 1885 Anaheim Avenue. The temporary bridge shelter expands what is an already existing inclement weather shelter into a reservation-based, high-security temporary solution to offer shelter beds to those in need. The temporary bridge shelter opened on April 5, 2019.

Costa Mesa has satisfied the need for 12 of the 62 required beds by approving an application from College Hospital, a longtime and respected provider of mental health and medical treatment in the community (City of Costa Mesa 2019). However, a permanent solution is required to address the remaining 50 required beds.

### 1.2.1 - Senate Bill No. 2

Senate Bill No. 2 (SB 2) requires cities and counties to accommodate their need for emergency shelters on sites where the use is allowed without a conditional use permit and requires cities and counties to treat transitional and supportive housing projects as residential use of property (State of California 2007). Furthermore, SB 2 requires cities and counties to identify in their housing elements a zone or zones where emergency shelters are allowed and specifies that the identified zone(s) must include sufficient capacity to accommodate the need for emergency shelters. If the local government cannot identify a zone or zones with sufficient capacity, the local government is required to amend

its zoning ordinance to include such zone(s). In its adopted Housing Element, Costa Mesa has identified the Planned Development Industrial (PDI) zone as its SB 2 zone.

### 1.2.2 - Definition of Homelessness

The United States Code Section 11302 defines the terms “homeless,” “homeless individual,” and “homeless person” as:

1. an individual or family who lacks a fixed, regular, and adequate nighttime residence;
2. an individual or family with a primary nighttime residence that is a public or private place not designed for or ordinarily used as a regular sleeping accommodation for human beings, including a car, park, abandoned building, bus or train station, airport, or camping ground;
3. an individual or family living in a supervised publicly or privately operated shelter designated to provide temporary living arrangements (including hotels and motels paid for by Federal, State, or local government programs for low-income individuals or by charitable organizations, congregate shelters, and transitional housing);
4. an individual who resided in a shelter or place not meant for human habitation and who is exiting an institution where he or she temporarily resided;
5. an individual or family who:
  - A. will imminently lose their housing, including housing they own, rent, or live in without paying rent, are sharing with others, and rooms in hotels or motels not paid for by Federal, State, or local government programs for low-income individuals or by charitable organizations, as evidenced by-
    - i. a court order resulting from an eviction action that notifies the individual or family that they must leave within 14 days;
    - ii. the individual or family having a primary nighttime residence that is a room in a hotel or motel and where they lack the resources necessary to reside there for more than 14 days; or
    - iii. credible evidence indicating that the owner or renter of the housing will not allow the individual or family to stay for more than 14 days, and any oral statement from an individual or family seeking homeless assistance that is found to be credible shall be considered credible evidence for purposes of this clause;
  - B. has no subsequent residence identified; and
  - C. lacks the resources or support networks needed to obtain other permanent housing; and
6. unaccompanied youth and homeless families with children and youth defined as homeless under other Federal statutes who:
  - A. have experienced a long term period without living independently in permanent housing,
  - B. have experienced persistent instability as measured by frequent moves over such period, and
  - C. can be expected to continue in such status for an extended period of time because of chronic disabilities, chronic physical health or mental health conditions, substance addiction, histories of domestic violence or childhood abuse, the presence of a child or youth with a disability, or multiple barriers to employment.

## 1.3 - Project Location

The project site is located in the City of Costa Mesa, in Orange County, California. Costa Mesa is surrounded by the City of Santa Ana to the north, parts of Santa Ana and the City of Irvine to the northeast, the City of Newport Beach to the southeast, the City of Huntington Beach to the west, and the City of Fountain Valley to the northwest (Exhibit 1).

Regional access to the project site is provided via State Route (SR) 55 at the Baker Street interchange, which is located approximately 0.43 mile northwest of the project site. Interstate 405 (I-405), which is located approximately 0.53 mile north of the site, and SR-73, which is located approximately 1.01 miles southwest of the site, also provide regional access. Local access to the site is provided via Paularino Avenue and Airway Avenue.

The 1.3-acre or 58,327-square-foot project site is located at 3175 Airway Avenue in Costa Mesa. The project site consists of an existing 29,816-square-foot office/industrial building and associated parking lot. The project site comprises a single parcel, Assessor's Parcel Number (APN) 427-091-12 (Exhibit 2). The project site is not adjacent to residential areas, schools, or parks. The nearest school is Mariners Christian School located at 300 Fischer Avenue, approximately 0.40 mile southwest of the project. The nearest park is Del Mesa Park located at 2080 Manistee Drive, approximately 0.53 mile northwest from the project.

## 1.4 - Environmental Setting

The 1.3-acre project site is a rectangular shaped parcel that is located in a relatively flat, industrial area. The project site is bounded by McCormick Avenue to the north, Airway Avenue to the east, and industrial and commercial uses to the south and west. John Wayne Airport is located approximately 0.17 mile east of the project site.

The existing industrial building was constructed in 1973. The interior of the 29,816-square-foot building consists of two separate office areas totaling 5,510 square feet (one is a 2-story office with a lobby), reception areas, private offices, storage areas, a break room, and restrooms; and a 24-foot-high, 24,306-square-foot warehouse area with two ground-level loading doors and three dock-high loading doors. Existing site improvements include sidewalks, walkways, an exterior truck well, landscaping, a paved parking lot, and a fenced yard area. The full suite of utilities serves the existing site (including potable water and fire water supply, wastewater, gas, telecommunications, and electric).

### 1.4.1 - General Plan

The Costa Mesa General Plan Land Use Map designates the project site as Industrial Park (Exhibit 3). The Industrial Park land use designation applies to large districts that contain a variety of industrial and compatible office and support commercial uses. Floor Area Ratio (FAR) in the Industrial Park area ranges from 0.20 to 0.75. A total of 645.36 acres of land in the City is included in this designation (City of Costa Mesa 2015).

Industrial parks are characterized by large parcels and landscaped setbacks that create a campus-like environment. Development within this land use designation consists of 1- and 2-story buildings.

Additional height may be permitted when proposed uses would be compatible with adjacent development and provided uses are consistent with other constraints, such as height limits and use restrictions within the John Wayne Airport influence area. Combinations of residential, institutional, and commercial uses may be allowed through the Planned Development process (City of Costa Mesa 2015).

### 1.4.2 - Zoning

As shown in Exhibit 4, the project site is zoned MP.

Emergency shelters in Costa Mesa are only permitted in the PDI zone, and there is a maximum allowance of 30 beds at each shelter within this zone. CMMC Section 13-200.79 of Article 18, Emergency Shelters, identifies the bed limitations and other development standards for emergency shelters (City of Costa Mesa 2019).

The proposed project would require a Code Amendment (CO-19-01) to modify and revise the CMMC in Title 13 Planning, Zoning, and Development, the Citywide Land Use Matrix, and the Special Land Use Regulations for Emergency Shelters. The Code Amendment would allow emergency shelters to locate in the MP zone, in addition to the PDI zone. As shown in Exhibit 5, emergency shelters within the MP zone would require approval of a Conditional Use Permit (CUP) prior to operation. New Footnote 10 to the Land Use Matrix would state that an emergency shelter located on land owned, controlled, or operated by the City would be permitted by right. Within the PDI zone, emergency shelters would continue to be permitted by right. New Footnote 10 would also state that the standards in Subsection 13-200.79(1), (2), (4), (8), and (10) would not apply to shelters located on land owned, controlled, or operated by the City in the MP and PDI zones.

The proposed project would also revise the Emergency Shelter Development Standards in the CMMC to require a patrol by a shelter operator that includes the area within a 0.5-mile radius area around a shelter location, to ensure that shelter clients and any individuals denied access are not congregating around the shelter site. Minor revisions to four existing standards will clarify the intent of each standard.

The proposed revisions to the CMMC in Title 13, Planning, Zoning, and Development, and to the Citywide Land Use Matrix and the Special Land Use Regulations for Emergency Shelters are outlined below. Code Amendment CO-19-01 will:

1. Modify the Citywide Land Use Matrix in Chapter IV to allow emergency shelters to be located in the MP zone of the City. The MP zone is “intended for large, concentrated industrial areas where the aim of development is to create a spacious environment in a park-like setting.” A CUP will be required prior to operation of an emergency shelter in the MP zone. Footnote 10 will be added to the Land Use Matrix to clarify that emergency shelters located on land owned, controlled, and/or operated by the City will be a Permitted (P) use in the MP zone and that the provisions of Section 13-200.79, subsections (1), (2), (4), (8) and (10) will not be applicable to a shelter on land owned, controlled, and/or operated by the City in the MP and PDI zones.
2. Revise Chapter IX, Special Land Use Regulations, Article 18. Emergency Shelters, Section 13-200.79 to:
  - a. make minor revisions to four existing standards to clarify intent, and



- b. bifurcate existing standard (9) and thus, create a new standard (10) which requires that a one-half-mile radius area around a shelter shall be patrolled by the shelter operator to ensure that shelter clients and any individuals denied access at the shelter are not congregating in the area around the shelter site.

Emergency shelters will continue to be a permitted use in the PDI zone. The PDI zone is “intended for large, concentrated industrial areas where the aim of development is to create a spacious environment in a park-like setting.” Any revisions to the Emergency Shelter standards in Section 13-200.79 will apply to a shelter locating in the PDI zone. Footnote 10 in the Land Use Matrix will also be added to the PDI zone.

## 1.5 - Project Objectives

The proposed project objectives are to:

- Provide homeless individuals with a program that provides access to housing and social services in a safe and secure living environment.
- Develop a permanent bridge shelter facility that, in conjunction with the 12 beds currently provided at College Hospital, will satisfy the lawsuit settlement terms, requiring the City to meet the needs of 60 percent of its unsheltered homeless population in 2017. This will, in turn, allow the City to continue to enforce anti-camping regulations and code enforcement regulations.
- In partnership with local agencies and faith-based organizations, develop a shelter facility that provides immediate access to housing and social services in a safe environment with a goal of reducing the amount of time an individual is homeless and transitioning these residents into permanent supportive housing.
- Reduce the number of homeless individuals living on the street to minimize the impacts on the local businesses and help restore the residential character and safety of impacted neighborhoods.

## 1.6 - Project Description

This section summarizes the information provided in the City of Costa Mesa Draft Bridge Shelter Management Operations and Procedures (2019) which is included in Appendix A of this document.

The proposed project would repurpose approximately half of the existing industrial building at 3175 Airway Avenue (approximately 14,816 square feet) for a Permanent Bridge Shelter for individuals experiencing homelessness. The City is proposing 50 beds in the shelter (opening planned capacity) although the space has sufficient area to accommodate up to a maximum 100-bed shelter (full build-out capacity). The shelter would operate 24 hours a day and 365 days a year and provide wrap-around services to individuals that are accommodated by the facility. A professional Shelter Operator would work in conjunction with existing City outreach staff and other organizations within the community to operate the facility (Exhibit 6).

At this time, the City of Costa Mesa plans to open and operate the shelter as a 50-bed bridge shelter facility. However, the City envisions a potential future scenario under which more beds may be needed in the City. Because such a circumstance is reasonably foreseeable and since adding any beds in the future would require additional CEQA review, it is appropriate at this time to analyze the full potential capacity of the shelter facility and, thus, understand the potential impacts of full build-out capacity under CEQA. Analyzing the full build-out capacity of 100 beds as part of this process provides the community and decision-makers with a clear understanding of the potential impacts associated with the project, as required by CEQA. Accordingly, unless otherwise noted, all analysis in this document is based on the full build-out capacity of 100 beds.

In order to decrease the impact on the surrounding neighborhood, the shelter would be accessed through a reservation-based transportation system. A shuttle bus to and from the shelter will be the only ingress and egress allowed for individuals experiencing homelessness. Certain exceptions may apply, but transportation would be provided to and from the facility in all cases. The proposed shuttle plan includes two shuttle stops. In no case will individuals be allowed to leave the facility on foot, and no walk-ins to the bridge shelter or its services will be permitted. The proposed shuttle schedule is shown below.

Table 1 below shows the Permanent Bridge Shelter Shuttle Plan from Monday through Friday for the proposed opening capacity of a 50-bed facility.

**Table 1: 50-Bed Monday to Friday Permanent Bridge Shelter Shuttle Plan**

Note: All shuttle routes start at Airway Drive	Monday–Friday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Boulevard Costa Mesa			Share Ourselves (SOS) 1550 Superior Avenue Costa Mesa			
Monday–Friday	Drop Off Only	Drop Off and Pick Up	Pick Up Only	Drop Off Only	Drop Off and Pick Up	Pick Up Only	No. of Shuttle Runs
6:00 a.m.	X			X			2
9:00 a.m.		X			X		2
12:00 p.m.		X			X		3
4:00 p.m.		X			X		3
7:00 p.m.			X			X	3
							13

Table 2 shows the Permanent Bridge Shelter Shuttle Plan for Saturdays for the proposed opening capacity of a 50-bed facility.

**Table 2: 50-Bed Saturday Permanent Bridge Shelter Shuttle Plan**

Note: All shuttle routes start at Airway Drive	Saturday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Boulevard Costa Mesa			Share Ourselves (SOS) 1550 Superior Avenue Costa Mesa			
Saturday	Drop Off Only	Drop Off and Pick Up	Pick Up Only	Drop Off Only	Drop Off and Pick Up	Pick Up Only	No. of Shuttle Runs
6:00 a.m.	X			X			2
9:00 a.m.		X			X		2
12:00 p.m.		X			X		3
7:30 p.m.			X			X	6
							13

Table 3 shows the Permanent Bridge Shelter Shuttle Plan for Sundays for the proposed opening capacity of a 50-bed facility.

**Table 3: 50-Bed Sunday Permanent Bridge Shelter Shuttle Plan**

Note: All shuttle routes start at Airway Drive	Sunday Shuttle Stop						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Boulevard Costa Mesa			Share Ourselves (SOS) 1550 Superior Avenue Costa Mesa			
Sunday	Drop Off Only	Drop Off and Pick Up	Pick Up Only	Drop Off Only	Drop Off and Pick Up	Pick Up Only	No. of Shuttle Runs
9:00 a.m.	X			X			4
12:00 p.m.		X			X		3
4:00 p.m.		X			X		3
7:30 p.m.			X			X	3
							13

Table 4 below shows the Permanent Bridge Shelter Shuttle Plan from Monday through Friday for the full build-out capacity of a 100-bed facility.

**Table 4: 100-Bed Monday to Friday Permanent Bridge Shelter Shuttle Plan**

All shuttle routes start at Airway Drive	Monday–Friday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Boulevard Costa Mesa			Share Ourselves (SOS) 1550 Superior Avenue Costa Mesa			
Monday–Friday	Drop Off Only	Drop Off and Pick Up	Pick Up Only	Drop Off Only	Drop Off and Pick Up	Pick Up Only	No. of Shuttle Runs
6:00 a.m.	X			X			3
9:00 a.m.		X			X		5
12:00 p.m.		X			X		4
4:00 p.m.		X			X		5
7:00 p.m.			X			X	5
							22

Table 5 shows the Permanent Bridge Shelter Shuttle Plan for Saturdays for the full build-out capacity of a 100-bed facility.

**Table 5: 100-Bed Saturday Permanent Bridge Shelter Shuttle Plan**

All shuttle routes start at Airway Drive	Saturday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Boulevard Costa Mesa			Share Ourselves (SOS) 1550 Superior Avenue Costa Mesa			
Saturday	Drop Off Only	Drop Off and Pick Up	Pick Up Only	Drop Off Only	Drop Off and Pick Up	Pick Up Only	No. of Shuttle Runs
6:00 a.m.	X			X			4
9:00 a.m.		X			X		4
12:00 p.m.		X			X		5
4:00 p.m.					X		3
7:00 p.m.						X	4
7:30 p.m.			X				4
							24

Table 6 shows the Permanent Bridge Shelter Shuttle Plan for Sundays, for a 100-bed facility.

**Table 6: 100-Bed Sunday Permanent Bridge Shelter Shuttle Plan**

Note: All shuttle routes start at Airway Drive	Sunday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Boulevard Costa Mesa			Share Ourselves (SOS) 1550 Superior Avenue Costa Mesa			
Sunday	Drop Off Only	Drop Off and Pick Up	Pick Up Only	Drop Off Only	Drop Off and Pick Up	Pick Up Only	No. of Shuttle Runs
6:00 a.m.	X			X			4
9:00 a.m.					X		3
12:00 p.m.					X		3
4:00 p.m.		X			X		6
7:00 p.m.		X				X	6
							22

Repurposing a portion of the industrial space for an emergency shelter will require the following site improvements:

- New Americans with Disabilities Act (ADA) access and exit points
- A new 6-foot-high screened motorized vehicular gate at the entrance
- Landscaping upgrades along Airway Avenue
- A new visitor entrance along Airway Avenue (located behind the security gate)
- A new outdoor break area on the west side of the building and behind the installed perimeter gate
- Interior office renovations
- New/upgraded restrooms and showers for men, women, and facility staff
- A new kitchen and dining hall with gas fired cooking equipment and minimal refrigeration
- Separate men’s and women’s sleeping quarters
- Internal 5-foot-high partition walls for privacy and noise reduction in sleeping quarters
- New laundry, training, and computer rooms
- New lighting, energy efficient heating, ventilation, and air conditioning (HVAC) equipment, and high efficiency water heaters
- 17 new parking spaces created by restriping an existing paved area south of the building

- Installation of security cameras
- Creation of small outdoor animal area that is located behind the installed perimeter gate
- Upsizing approximately 250 linear feet of existing 1-inch potable water pipe and 1.5-inch potable and irrigation water to provide a 2- to 2.5-inch-diameter branch

Construction and site improvements would begin in Fall 2019, with expected operation in mid-2020.

The other half of the industrial building (approximately 15,000 square feet) would be leased to a tenant(s) by the City for industrial warehouse use consistent with the existing purpose, zoning, and land use designation. The leased space would have a separate meter, address, and entrance and would have access to the existing loading docks.

### 1.6.1 - Shelter Operations and Services

At full build-out, the proposed project would serve up to a maximum 100 shelter clients at any given time (however, the City will only serve 50 clients at project opening) and provide access to a range of programs and supportive services. To ensure that the shelter will meet the needs of the community in serving chronic and vulnerable homeless people, clients will be admitted with minimal requirements, so that chronic and vulnerable homeless people can easily enter and remain in shelter until they can find permanent housing. All necessary safety precautions will be implemented.

Those accessing the shelter will include homeless single men and single women, ages 18 and over. Special alternate accommodations will be made off-site for families who are experiencing homelessness. To minimize neighborhood impact, all clients seeking to access the shelter and services will do so through a designated Intake and Bed Reservation Hotline (“hotline”). A client interested in shelter will be vetted by City of Costa Mesa Outreach or the City of Costa Mesa Police Department personnel. A prospective client may also contact the hotline and complete an initial phone intake process. Clients meeting eligibility requirements will be assigned a bed reservation number and given instructions on transportation options and designated arrival time.

Each client will be pre-screened for sex offender, arsonist, and active felony warrant status before admission (screening will take place prior to the arrival at the facility as part of the bed reservation system). No person validated on the sex offender registry (Megan’s Law) will be allowed to access the bridge shelter property. Additionally, no felons with open warrants will be allowed to access the shelter property or individuals identified as a registered arsonist. This screening process will be vetted through the City of Costa Mesa Police Department upon entry to the shelter.

### 1.6.2 - Hours of Operation

The shelter will operate 24 hours a day, seven days a week, and 365 days per year. The shelter will accommodate indoor, overnight sleeping for up to 100 individuals per evening at full build-out. The Shelter Operator will provide on-site staff to track daily bed inventory and communicate daily bed vacancies with City Outreach staff, as well as the Costa Mesa Police Department and/or Costa Mesa Fire Department (CMFD) staff upon request. Up to five beds will be held until 10:00 p.m. each night

to prioritize referrals from local police and for emergency or special situations on a first come, first served basis. Bed reservations will give preference to Costa Mesa homeless individuals.

Table 7, below, shows the proposed daily schedule for the shelter.

**Table 7: Proposed Daily Schedule for the Permanent Bridge Shelter Facility**

Time	Category
5:00 a.m.	Early wakeup call
5:30 a.m.–8:00 a.m.	Breakfast served
6:00 a.m.	First bus/shuttle for morning drop-offs
6:00 a.m.	Commons area open
6:00 a.m.–10:00 p.m.	Pet kennel area open
7:00 a.m.	Second wakeup call
9:00 a.m.	Second (final) bus/shuttle for morning drop-offs
10:00 a.m.–10:00 p.m.	Computer/Technology Lab open (by appointment only)
11:30 a.m.–1:30 p.m.	Lunch served
12:00 p.m.	Mid-day shuttle for drop-offs and pick-ups
12:00 p.m.–4:00 p.m.	Sleeping area closed for cleaning
3:00 p.m.–4:00 p.m.	Snack served
4:00 p.m.	First bus/shuttle for evening pick-ups
6:00 p.m.	Sleeping area open
6:00 p.m.–8:00 p.m.	Dinner served
7:00/7:30 p.m.	Second bus/shuttle for evening pick-ups
10:00 p.m.–6:00 a.m.	Lights out in sleeping area

There is no set maximum length of stay for clients. However, a client will be reviewed every 30 days to ensure each client is supporting their progress toward housing stabilization. The program is designed to provide this support until a housing option becomes available. However, at any time, a client may be exited from the shelter for safety or continual shelter violations as outlined in the “Exit and Readmission Policies” (see Appendix A). Consistent with national best practices and trends, the goal for length of stay will be 30 days or less. If a client exceeds 30 days, intensified housing location and exit plan strategies will be implemented. The Operator will be required to maintain reports that account for clients with lengths of stay exceeding 30 days and the reasons why, with accountability to Management personnel. One hundred-eighty days is the City’s desired maximum length of stay for any client, but if a client is actively working on their housing plan, they may be granted an extension to complete their housing plan and enter housing.

### 1.6.3 - Intake/Assessment

The City and its Shelter Operator would provide initial assessments on a Monday through Friday schedule. The Shelter Operator would provide Homeless Management Information System (HMIS) input and provide soft intakes during the evenings, weekends, and holidays. The Shelter Operator would collect and share information about individuals who access their services. The information would be confidentially stored in a local electronic database called the Orange County HMIS. The HMIS securely records information and data about persons accessing housing and homeless services in Orange County.

Upon arrival, clients would work with an Intake Specialist or the Logistical Coordinator to be informed of rules and regulations of the shelter, complete necessary intake paperwork, and obtain a shelter identification card. A Data Specialist would input all client intakes, exits, and services into the Orange County HMIS system. At this point, a client would be assigned a bed, a clean set of linens, and a new set of clothing and given access to storage, showers, and a meal.

### 1.6.4 - Transportation Services and Assistance

No walk-up clients would receive access to the shelter. New clients and returning clients would receive direct transportation to and from the shelter daily. The Shelter Operator would not drop-off/pick-up other than at agreed upon locations. As previously discussed, there are two current established shuttle pick-up and drop-off locations: Share Ourselves (SOS) at 1540–1550 Superior Avenue and The Crossings Church at 2115 Newport Boulevard. Security guards with a list of approved clients will be located on each shuttle vehicle and be stationed at both locations during drop-off and pick-up times. The City of Costa Mesa reserves the right to change shuttle locations as shelter demands change. For a 50-bed facility, 13 shuttle runs would take place Monday through Friday at both locations, between 6:00 a.m. and 7:00 p.m. On Saturdays, 13 shuttle runs would take place between 8:00 a.m. and 7:30 p.m. at both locations. On Sundays, the 13 shuttle runs would operate between 9:00 a.m. and 7:00 p.m.

At full build-out, with a 100-bed facility, 22 shuttle runs would take place Monday through Friday at both locations, between 6:00 a.m. and 7:30 p.m. On Saturdays, 24 shuttle runs would take place between 8:00 a.m. and 7:30 p.m. at both locations. On Sundays, 22 shuttle runs would serve both locations between 9:00 a.m. and 7:00 p.m.

As shown in the shuttle schedules in Tables 1 through 6, morning shuttles will be available to clients who have a desire to leave the shelter during the earlier part of the day for employment or personal appointments. Afternoon shuttles will be available to clients who desire to leave the shelter during the afternoon for employment or personal appointments.

Clients arriving later than the final shuttle scheduled time due to special circumstances, such as employment or discharge from a hospital, must communicate with their Case Manager their anticipated arrival time. No client will be allowed into the shelter after 10:00 p.m. unless for valid reasons pre-approved by their Case Manager or a shelter bed reservation staff member. Failure to communicate this could result in forfeiture of their bed reservation. Clients who are unable to meet



the final shuttle schedule must arrange alternate transportation, as no later pickups will be provided and no walk-up arrivals are permitted.

The Shelter Operator would secure the provision of transportation to and from the shelter by internal-trained staff members or utilizing a transportation vendor. The vendor may have a previously established relationship with other emergency shelters operated by the Shelter Operator. The Shelter Operator would work cooperatively with City staff to establish designated pick up/drop off locations.

### 1.6.5 - Security

Security guards would be staffed at each shuttle location, and/or on the shuttle bus and at the shelter to ensure only prescreened clients with bed reservations receive transportation to the shelter and to provide security at the shuttle sites. Prior to occupancy, a safety plan would be created to ensure the safe and effective flow of traffic on and off the shelter property based on the schematics of the shelter grounds and the surrounding neighborhood.

The Shelter Operator would follow policies and procedures that promote utmost safety for clients, staff, volunteers, and the community and will strive to provide an atmosphere that promotes the creation of a sense of community, stays alert for signs of conflict, and diffuses behaviors before they escalate. The security plan will include a multi-faceted approach involving screening for sex offenders, registered arsonists, and felons with open warrants, as well as secured entrances, security searches upon entrance, confiscation of harmful contraband, trained security personnel providing around-the-clock indoor and outdoor coverage, security alarms, cameras, and outdoor lighting. Other program elements that will support security efforts include no walk-ups and no loitering policies.

The Shelter Operator would provide a sufficient number of trained security guards to ensure the safety of clients and the surrounding neighborhood 24-hours-a-day, 365-days-a-year. Security would be on-site at all times and would be stationed both inside and outside the shelter to ensure maximum coverage. Security guards would carry non-lethal weapons such as mace, batons, and handcuffs and would receive “Homeless Sensitivity Training” through the Shelter Operator’s resources. Security guards will ride on each shuttle and be present at the shuttle stop locations 30-minutes prior to the shuttle arrival and until 30-minutes after the shuttle departs. Table 8 and Table 9 depict the required staff to security guard ratio for each operating hour of the proposed 50-bed and 100-bed facility, as well as the proposed shifts for Operations staff and security professionals.

**Table 8: Daily Recommended Operational Staff to Security Ratios for 50-Bed Facility**

Time	Staff	Security Guards
6:00 a.m.	4	3
7:00 a.m.	6	3
8:00 a.m.	7	3
9:00 a.m.	8	3
10:00 a.m.	9	5
11:00 a.m.	9	5

Time	Staff	Security Guards
12:00 p.m.	8	3
1:00 p.m.	8	3
2:00 p.m.	9	5
3:00 p.m.	11	5
4:00 p.m.	7	3
5:00 p.m.	7	3
6:00 p.m.	5	3
7:00 p.m.	4	3
8:00 p.m.	4	3
9:00 p.m.	4	3
10:00 p.m.	4	3
11:00 p.m.	5	3
12:00 a.m.	2	3
1:00 a.m.	2	3
2:00 a.m.	2	3
3:00 a.m.	2	3
4:00 a.m.	2	3
5:00 a.m.	4	3
Notes: Excludes Program Manager and Cook, who have flexible schedules.		

**Table 9: Proposed Shift Coverage and Staffing Levels for 50-Bed Facility**

Shift Coverage	Time	Staffing Levels	Security Levels
Morning Coverage	6:00 a.m.–1:00 p.m.	4–9 staff	3–5 Security Guards
Afternoon Coverage	1:00 p.m.–10:00 p.m.	4–11 staff	3–5 Security Guards
Night/Sleeping Coverage	10:00 p.m.–6:00 a.m.	2–5 staff	3 Security Guards

Table 10 and Table 11 depict the required staff to security guard ratio for each operating hour of the proposed 100-bed facility, as well as the proposed shifts for Operations staff and security professionals.

**Table 10: Daily Recommended Operational Staff to Security Ratios for 100-Bed Facility**

Time	Staff	Security Guards
6:00 a.m.	6	5
7:00 a.m.	9	5
8:00 a.m.	11	5
9:00 a.m.	12	5
10:00 a.m.	13	8
11:00 a.m.	13	8
12:00 p.m.	12	5
1:00 p.m.	12	5
2:00 p.m.	14	5
3:00 p.m.	15	8
4:00 p.m.	11	5
5:00 p.m.	11	5
6:00 p.m.	11	5
7:00 p.m.	6	5
8:00 p.m.	6	5
9:00 p.m.	6	5
10:00 p.m.	6	5
11:00 p.m.	8	5
12:00 a.m.	4	5
1:00 a.m.	4	5
2:00 a.m.	4	5
3:00 a.m.	4	5
4:00 a.m.	4	5
5:00 a.m.	6	5
Notes: Excludes Program Manager and Cook, who have flexible schedules		

**Table 11: Proposed Shift Coverage and Staffing Levels for 100-Bed Facility**

Shift Coverage	Time	Staffing Levels	Security Levels
Morning Coverage	6:00 a.m.–1:00 p.m.	6–13 staff	5–8 Security Guards
Afternoon Coverage	1:00 p.m.–10:00 p.m.	6–15 staff	5–8 Security Guards
Night/Sleeping Coverage	10:00 p.m.–6:00 a.m.	4–8 staff	5 Security Guards

All clients will present identification upon entry. Clients without valid California identification cards will be given supportive services to secure a valid identification card. Clients will also receive a shelter-specific identification card to use for admission into the shelter during the duration of their stay. As previously discussed, no person validated on the sex offender registry (Megan’s Law) or registered arsonist would be allowed to access the shelter property. Additionally, no felons with open warrants would be allowed to access the shelter property.

### 1.6.6 - Sleeping Areas

Single beds and/or bunk beds could be provided at the shelter. Each client would be assigned a bed and bedding for the length of their stay. Separate sleeping areas would be provided for both men and women. Flexible sleeping space may also be provided for transgender or non-binary populations, those dealing with illness or in recuperative care, or for other special needs populations. Dormitory rooms may be closed from 12:00 p.m. to 4:00 p.m. daily for necessary cleaning. During this time, the clients remaining at the shelter will be able to utilize the non-sleeping areas of the shelter, such as dining areas, computer rooms, or meet with counselors.

### 1.6.7 - Meals

Breakfast, lunch, dinner, and snacks would be provided for all clients daily in a central dining area. The Shelter Operator would coordinate and provide necessary food vendors and volunteers. The Shelter Operator would be responsible for providing and calendaring all meals and snacks either through a food volunteer network or through a registered food vendor.

### 1.6.8 - Hygiene Facilities and Laundry Services

Hygiene facilities, including restrooms and showers, would be provided on-site for all clients. Clients will be encouraged to utilize these facilities daily. Toiletries would be provided by the Shelter Operator to clients as needed. Accessible restrooms and showers would also be provided on-site.

Laundry facilities would be located on-site and would include several washers and dryers for use by Logistics staff. Logistics staff would be in charge of maintaining shelter cleanliness, including completing laundry tasks on-site. This would include a minimum of weekly services for clients who are in the shelter, for any bed turnover, and in cases of sickness or other hygiene concerns. Staff would be trained in on-boarding precautions including proper handling of fluids, client clothing, laundry, and in the proper cleaning of the premises.

### 1.6.9 - Storage and Storage Management

All clients would have access to personal storage space. Each client bed would have a small storage locker for personal valuables. A limited number of outdoor storage bins would be available to clients through a reservation process that would accommodate a maximum of 65 gallons of storage space per client. Additionally, a refrigerated storage area would be available to clients with medication needs, with the supervision and assistance of shelter staff.

### Animal Management

Ten percent of the clients may be permitted to bring pets and/or service animals to the shelter. For example, a maximum of five animals for a 50-bed shelter and 10 animals for a 100-bed shelter would be allowed at the facility at any one time. Clients would be encouraged to have their pet registered and receive current vaccinations in order to access the bridge shelter program. Not having their pet registered or vaccinated would not be a disqualifier, but is something that will be worked on with their Case Manager. Emotional Support/Service animals would be permitted to stay in the shelter and living areas, all other animals would be required to stay in the provided kennels on the grounds. In order to qualify as a service animal, a client would be required to produce an official letter from a licensed physician stating that the animal is needed to help the disabled individual perform some of the functions and tasks that an individual with a disability cannot perform for him or herself.

The health and well-being of all pets and service animals brought into the bridge shelter would be the responsibility of their owner. Clients would be required to feed and clean up after their pets and service animals. Shelter staff may provide food for pets. Clients who are unable to care for or feed for their pets or cannot control them while at the shelter will be asked to remove the pets from the facility.

The Shelter Operator would work with the City to define rules and policies around pets, service animals, and animal management at the shelter. The Operator would contract with Heart-Healthcare and Emergency Animal Rescue Team, who works at the Bridges at Kraemer Place shelter, or with a similar provider to help provide animal management services at the shelter. Such services would include but would not be limited to examination of pet health upon entering shelter and throughout, spaying/neutering services, vaccinations, treatments for injuries/health issues, and pet owner education. All animals would remain either inside the facility or within the gated area of the shelter in the designated outdoor animal area. Animals would not be allowed to be walked outside of the facility within the 0.5-mile radius area.

### 1.6.10 - Staffing Plan

The shelter staffing plan includes Administrative and Operations positions. The Administrative positions would be filled by staff from the Shelter Operator. Administrative positions would allocate only a percentage of their workday to the Costa Mesa Bridge Shelter Facility. The balance of their workday would be spent on other Shelter Operator projects. Operations staff would be located at the bridge shelter site and would include both full-time and part-time positions. Some positions may spend all or part of their time in the field working with homeless individuals located in and around the Costa Mesa area. For a 50-bed shelter, up to 8 full-time and 16 part-time individuals would be employed by the Shelter Operator over a 24-hour period. A 100-bed shelter would employ

approximately 12 full-time individuals and up to 24 part-time employees over the 24-hour period. Table 12, below, lists the proposed shelter staff (not including security personnel) and summarizes their duties. Table 13 and Table 14 show the recommended daily staffing schedules for each position for a 50-bed and 100-bed facility, respectively.

**Table 12: Shelter Staffing Roles**

Position Title	Duties	Supervisor
<b>Administrative Positions</b>		
Executive Director	Manages overall agency and acts as the primary contact for media, agencies, and government officials. Only a percentage of this position is allocated to the Permanent Bridge Shelter Facility and the staff person is located off-site.	Shelter Operator Board of Directors
Associate Director	Assists upper management in setting goals that promote quality programs. Oversees daily activity of the agency. Prepares budgets and staff plans. Only a percentage of this position is allocated to the Permanent Bridge Shelter Facility and the staff person is located off-site.	Executive Director
Chief Operations Director	Monitors program performance, budget and operations. Develops new programs. Only a percentage of this position is allocated to the Permanent Bridge Shelter Facility and the staff person is located off-site.	Associate Director
Financial Manager	Responsible for organizing and preparing the agency's accounting information to ensure that the organization's financial records are accurate. Only a percentage of this position is allocated to the Permanent Bridge Shelter Facility and the staff person is located off-site.	Associate Director
Accounting Clerk	Responsible for routine accounting work, including regular grant reports and issuing checks to vendors. This staff person is located off-site.	Financial Manager
HMIS Data Specialist	Responsible for data collection and entry of client enrollments and services into HMIS. Only a percentage of this position is allocated to the Permanent Bridge Shelter Facility and the staff person is located off-site.	Program Manager
Human Resources	Oversees all Human Resources tasks for the agency, employee trainings, worker-compensation tasks, and benefit packages. Only a percentage of this position is allocated to the Permanent Bridge Shelter Facility and the staff person is located off-site.	Associate Director
Administrative Associate	Responsible for daily administrative duties including ordering supplies, filing, and inventory. Only a percentage of this position is allocated to the	Human Resources (HR)/Finance Manager

Position Title	Duties	Supervisor
	Permanent Bridge Shelter Facility and the staff person is located off-site.	
Program Director	Oversees emergency shelter programs to ensure effective services and housing focus. Manages, supervises, and mentors program managers. Assists with case management and client issues when necessary. Only a percentage of this position is allocated to the Permanent Bridge Shelter Facility and the staff person is located off-site.	Chief Operations Director
<b>Operations Positions</b>		
Program Manager	Responsible for coordinating all day-to-day activities and program services for the Emergency Shelter Program. Provides oversight and direction to Site Leaders, Intake Specialists, Overnight Coordinators, and Logistics Team.	Program Director
Site Leader	Oversees and assists in the implementation of shelter activities, including logistics and guest intakes to ensure quality, guest focused, and trauma informed delivery of services.	Program Manager
Logistics Staff	Responsible for providing supportive services and logistical support to the Emergency Shelter Program during designated shifts. Assist with shelter setup and maintenance. This position includes Overnight, AM, and PM Logistics staff as well as staff specific to tasks such as meals, laundry, and Client Intake Specialists.	Program Manager
Leasing Agent	Develops relationships with local landlords and properties. Provides one-on-one mobile (on-and off-site) housing navigation for those seeking housing.	Program Manager
Call Center	Manages guest reservation process. Conducts diversion interviews. Manages the intake process.	Program Manager
Shuttle Driver	Responsible for operating a shuttle bus and driving the designated routes to pick-up and drop-off individuals arriving or leaving the shuttle site.	Program Manager

**Table 13: Recommended Daily Staffing Schedules—50-Bed Facility**

Category	Time
Program Manager (1.0 FTE)	Program Manager will have a flexible schedule offering day and/or night support throughout the week as needed
Overnight Logistics Coordinator (2.8 FTE)	11:00 p.m.–7:00 a.m.

Category	Time
AM Logistics Meals-Breakfast/Lunch(1.75 FTE)	5:00 a.m.–10:00 a.m. 10:00 a.m.–3:00 p.m.
AM Driver (1.4 FTE)	5:30 a.m.–1:30 p.m.
AM Logistics Laundry (1.4 FTE)	5:00 a.m.–1:00 p.m. 7:00 a.m.–3:00 p.m. 7:30 a.m.–1:30 p.m.
AM Logistics—Intake Specialist/Call Center (1.2 FTE)	8:00 a.m.–3:00 p.m.
AM Site Leader (1.4 FTE)	7:00 a.m.–3:00 p.m.
Leasing Agent (1.0 FTE)	9:00 a.m.–5:00 p.m.
Data Input (.5 FTE)	10:00 a.m.–3:00 p.m.
PM Driver (1.4 FTE)	2:00 p.m.–10:00 p.m.
PM Site Leader (1.4 FTE)	3:00 p.m.–11:00 p.m.
PM Logistics—Intake Specialist (1.2 FTE)	2:00 p.m.–11:00 p.m.
PM Logistics—Meals (1.4)	3:00 p.m.–11:00 p.m.
In-reach Staff (2.0 FTE)	Hours vary
Out-reach Staff (2.2 FTE)	Hours vary
Notes: FTE = Full-time Equivalent	

**Table 14: Recommended Daily Staffing Schedules—100-Bed Facility**

Category	Time
Program Manager (1.5)	Program Managers will have a flexible schedule offering day and/or night support throughout the week as needed
Overnight Logistics Coordinator (4.2)	11:00 p.m.–7:00 a.m.
AM Logistics Meals—Breakfast/Lunch (2.6)	5:00 a.m.–10:00 a.m. 10:00 a.m.–3:00 p.m.
AM Drivers (2.1 FTE)	5:30 a.m.–1:30 p.m.
AM Logistics Laundry (2.1 FTE)	5:00 a.m.–1:00 p.m. 7:00 a.m.–3:00 p.m. 7:30 a.m.–1:30 p.m.
AM Logistics—Intake Specialist/Call Center (1.8 FTE)	8:00 a.m.–3:00 p.m.



Category	Time
AM Site Leader (2.1 FTE)	7:00 a.m.–3:00 p.m.
Leasing Agent (1.5)	9:00 a.m.–5:00 p.m.
Data Input (.75 FTE)	10:00 a.m.–3:00 p.m.
PM Driver (2.1 FTE)	2:00 p.m.–10:00 p.m.
PM Site Leader (2.4 FTE)	3:00 p.m.–11:00 p.m.
PM Intake Specialist (1.8 FTE)	3:00 p.m.–10:00 p.m.
PM Logistics—Meals (2.1 FTE)	3:00 p.m.–11:00 p.m.
In-reach staff (3.0 FTE)	Hours vary
Out-reach staff (3.3 FTE)	Hours vary
Notes: FTE = Full-time Equivalent	

### 1.6.11 - Daytime Programs and Additional Services

As a 24-hour Bridge Shelter Program, the Shelter Operator will encourage all clients to stay on-site during the day and to take advantage of the on-site services provided to them during the daytime. Daytime program activities include but are not limited to, the following:

- Full access to service providers through appointments made at the bridge shelter
- Life skills classes and workshops
- Indoor and outdoor recreational activities
- Access to on-site computer lab and study area

The Shelter Operator and/or community partners would provide the following additional services:

- **Benefits Enrollment:** The Shelter Operator would work with County agencies and Veterans Affairs (VA) to provide on-site and off-site referrals for benefits enrollment, in addition to securing the commitment and support of SOS as a partner agency to the shelter who may also provide these services.
- **Life Skills Classes:** The Shelter Operator would work in cooperation with the City’s Volunteer Coordinator to help establish on-site life skills classes. Volunteer groups such as Trellis, may help support classes such as financial literacy and tenant education to help prepare shelter clients for their transition back into housing. Life skills classes would be provided during the day to encourage clients to stay at the shelter and take advantage of available services and programming.
- **Recreational Activities:** The Shelter Operator would work with the City’s Volunteer Coordinator to help establish on-site health and recreational activities such as games, movie nights, and yoga classes. These types of activities would help shelter clients maintain a positive attitude while at the shelter, deflect conflict, isolation and depression, and encourage clients to stay on-site during the day.

- **Rapid Rehousing Resources:** The Shelter Operator would secure and have pending Rapid Rehousing resources specifically targeted to Costa Mesa residents that would be used to support shelter clients and ensure that the shelter has early positive housing outcomes. Shelter clients may also have potential access to other shelter housing programs available through the Coordinated Entry System.

## 1.7 - Site Access

Shelter shuttle buses and future employees would access the site via the existing unsignalized driveway on Airway Avenue. As previously discussed, the proposed project would be a reservation only entry. A shuttle bus to and from the proposed project would be the only ingress and egress allowed for individuals experiencing homelessness. Up to three shuttle bus stop locations would be utilized throughout the City after consulting with City staff and the Shelter Operator, including the two locations described previously. Individuals that leave without transportation would risk losing their ability to stay at the shelter. Additionally, the proposed project would have year-round on-site security at all times as well as daily roaming security to deter illegal loitering or trespassing within a half-mile radius of the property.

## 1.8 - Utilities

The project site is currently served by underground utilities at the street. The proposed project would continue to be served by all required public services and utilities including electricity, natural gas, sewage, water, solid waste removal, and telecommunication. Table 15 lists the utility providers for the proposed project site.

**Table 15: Utility Providers**

Utility	Provider
Electricity	Southern California Edison (SCE)
Natural Gas	Southern California Gas Company (SoCalGas)
Sewage	City of Costa Mesa Sanitary District
Potable Water	Mesa Water District
Solid Waste Removal	Costa Mesa Sanitary District
Telecommunication	AT&T, Charter Communications
Source: Santolucito Dore Group, Inc., 2019	

According to the information provided by Mesa Water District (Mesa Water) staff<sup>1</sup> on May 8, 2019, the current meter sizes for the property are a 1-inch meter for potable water, a 1.5-inch meter for potable water and irrigation, and an 8-inch service line for the fire protection system. The project

<sup>1</sup> John Robinson (Principal, John Robinson Consulting, Inc., Consultant for Mesa Water District), email message to Peggy Schneble, May 8, 2019.

would need to upsize the existing meters for potable water and irrigation to allow for a 2- to 2.5-inch branch connection; best estimates indicate that up to 250 linear of pipeline would need to be upgraded. According to Mesa Water, the existing 8-inch fire sprinkler lateral should be more than sufficient to serve the project.

The Consulting District Engineer<sup>2</sup> to the City of Costa Mesa Sanitary District indicated on May 9, 2019, that the portion of the sewer lateral in the street right-of-way is a 6-inch vitrified clay pipe. A 6-inch lateral is the minimum pipe size required to support a 100-bed facility.

The facility would utilize cascading tankless water heaters, gas fired cooking equipment, and possibly a boiler-based heating system. Initial estimates calculate that the facility could use upwards of 12,000 to 18,000 cubic feet of gas per hour. A 600 Amp electrical panel would be sufficient for the use of a 100-bed facility.

## 1.9 - Required Discretionary Approvals

The City of Costa Mesa has discretionary authority over the project and is the CEQA Lead Agency for the preparation of this IS/MND. In order to implement the project, the City would need to secure the following permits/approvals:

- Planning Commission recommendation and City Council approval of the Initial Study/Mitigated Negative Declaration
- Planning Commission recommendation and City Council approval of the Code Amendment CO-19-01
- Building Permits to construct the project
- Approval of a Construction Management Plan
- Design Review for the project

## 1.10 - Intended Uses of this Document

This IS/MND has been prepared to determine the appropriate scope and level of detail required in completing the environmental analysis for the proposed project. This document will also serve as a basis for soliciting comments and input from members of the public and public agencies regarding the proposed project. The Draft IS/MND will be circulated for a minimum of 30 days, during which period comments concerning the analysis contained in the IS/MND should be sent to:

Barry Curtis, AICP  
Economic and Development Services Director  
Economic and Development Services Department  
77 Fair Drive  
Costa Mesa, CA 92628  
Phone: 714.754.5278  
Email: Barry.curtis@costamesaca.gov

<sup>2</sup> Rob Hamers, PE (Robin B. Hamers & Associates, Inc., Consultant District Engineer to Costa Mesa Sanitary District), email to Peggy Schneble, May 9, 2019.

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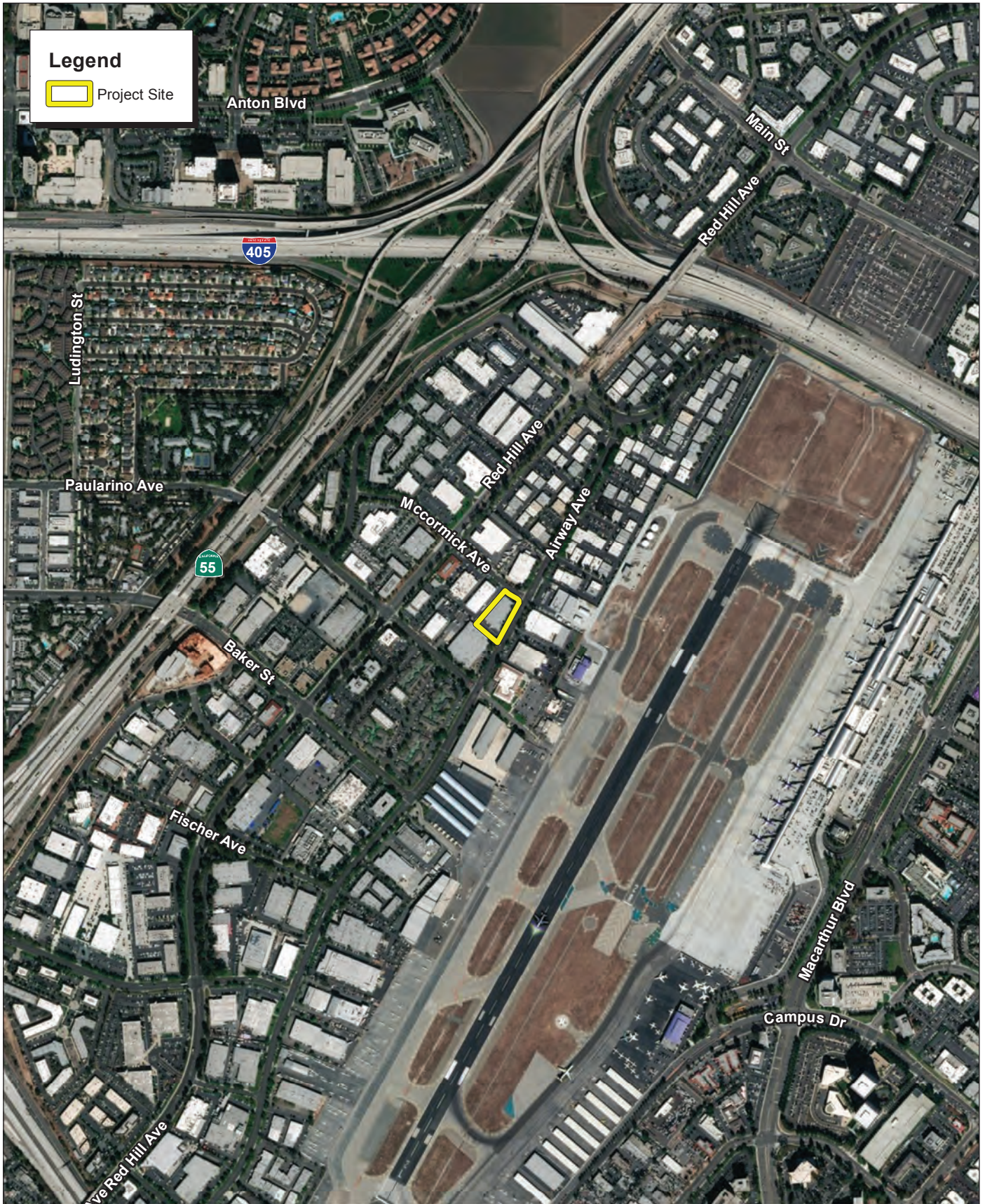
Source: Census 2000 Data, The CaSIL.

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## Exhibit 1 Regional Location Map

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Source: ESRI Aerial Imagery.

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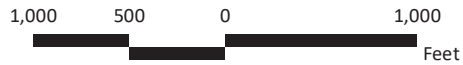
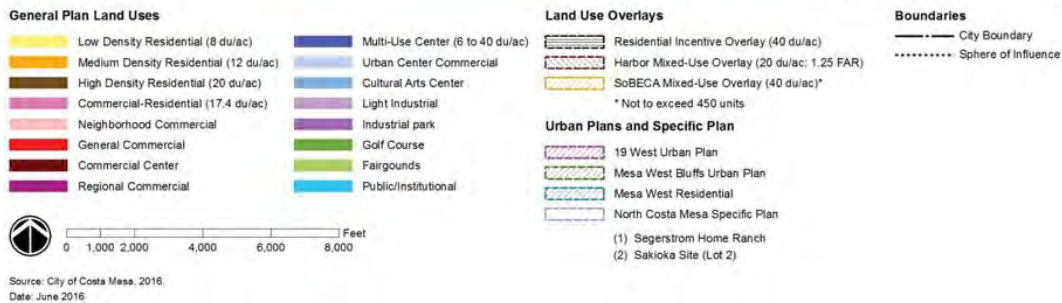
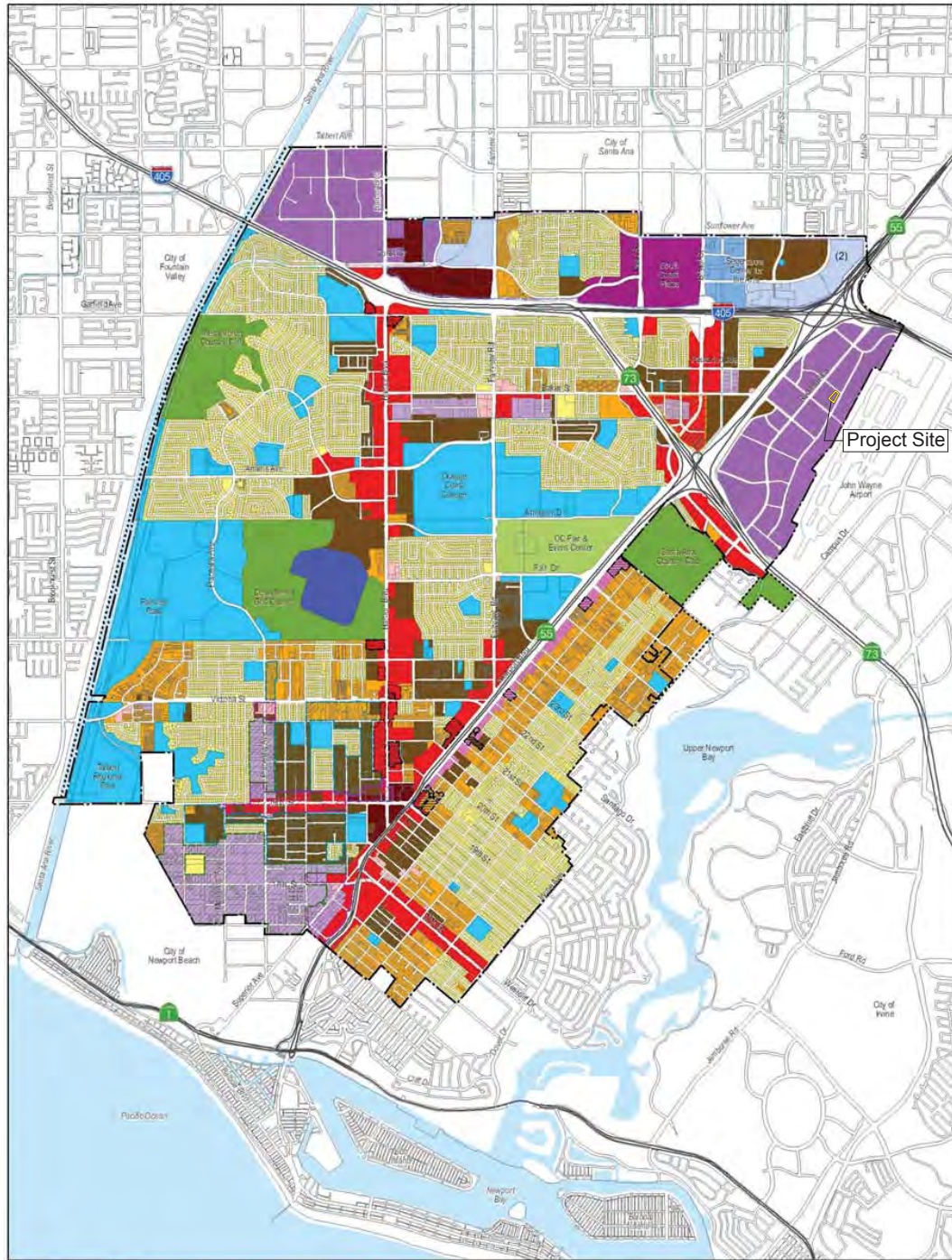


Exhibit 2  
Local Vicinity Map  
Aerial Base

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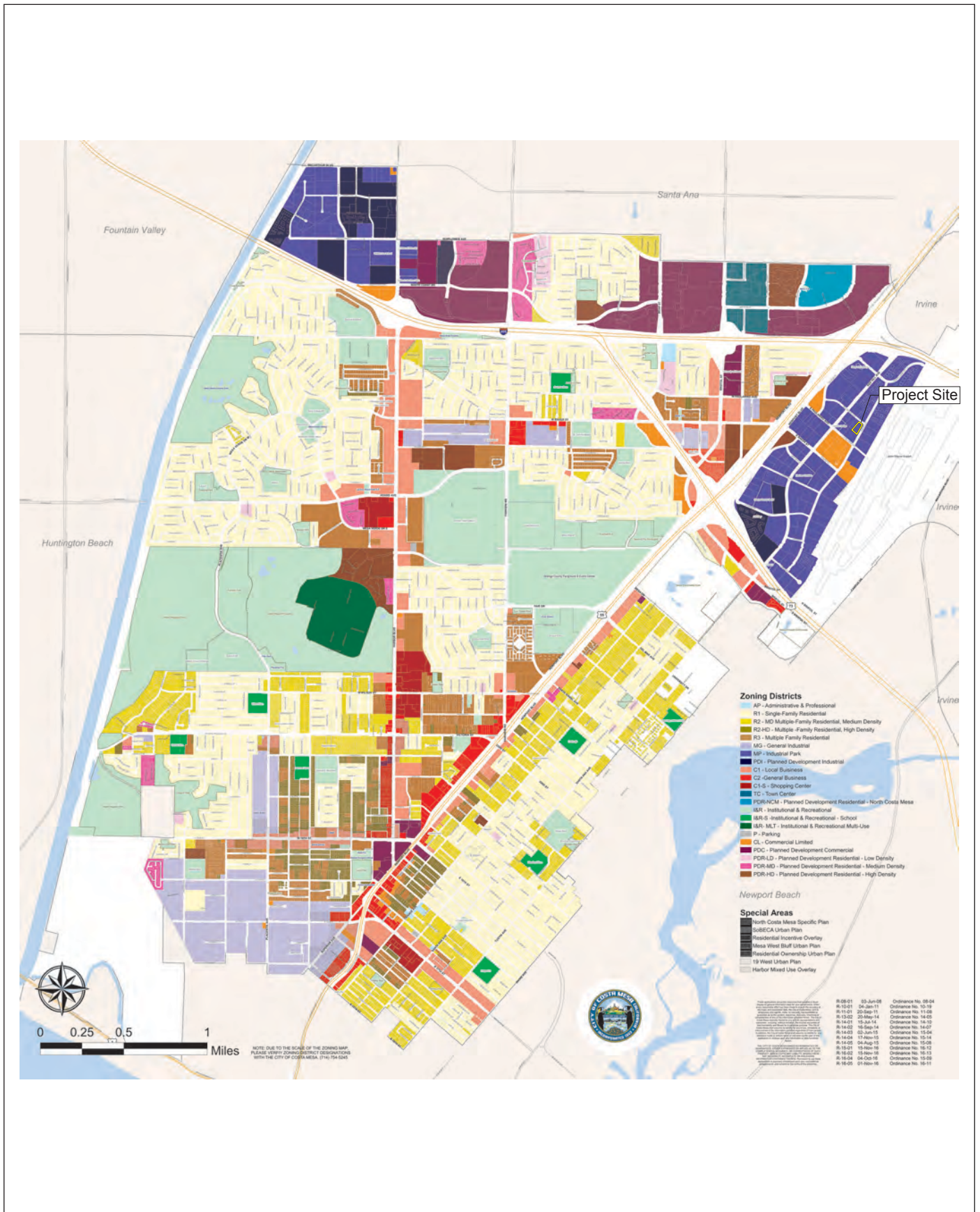




Source: City of Costa Mesa.



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Source: City of Costa Mesa.



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## Exhibit 4 City of Costa Mesa Zoning Map

CITY OF COSTA MESA  
PERMANENT BRIDGE SHELTER FACILITY  
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

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Source: City of Costa Mesa.



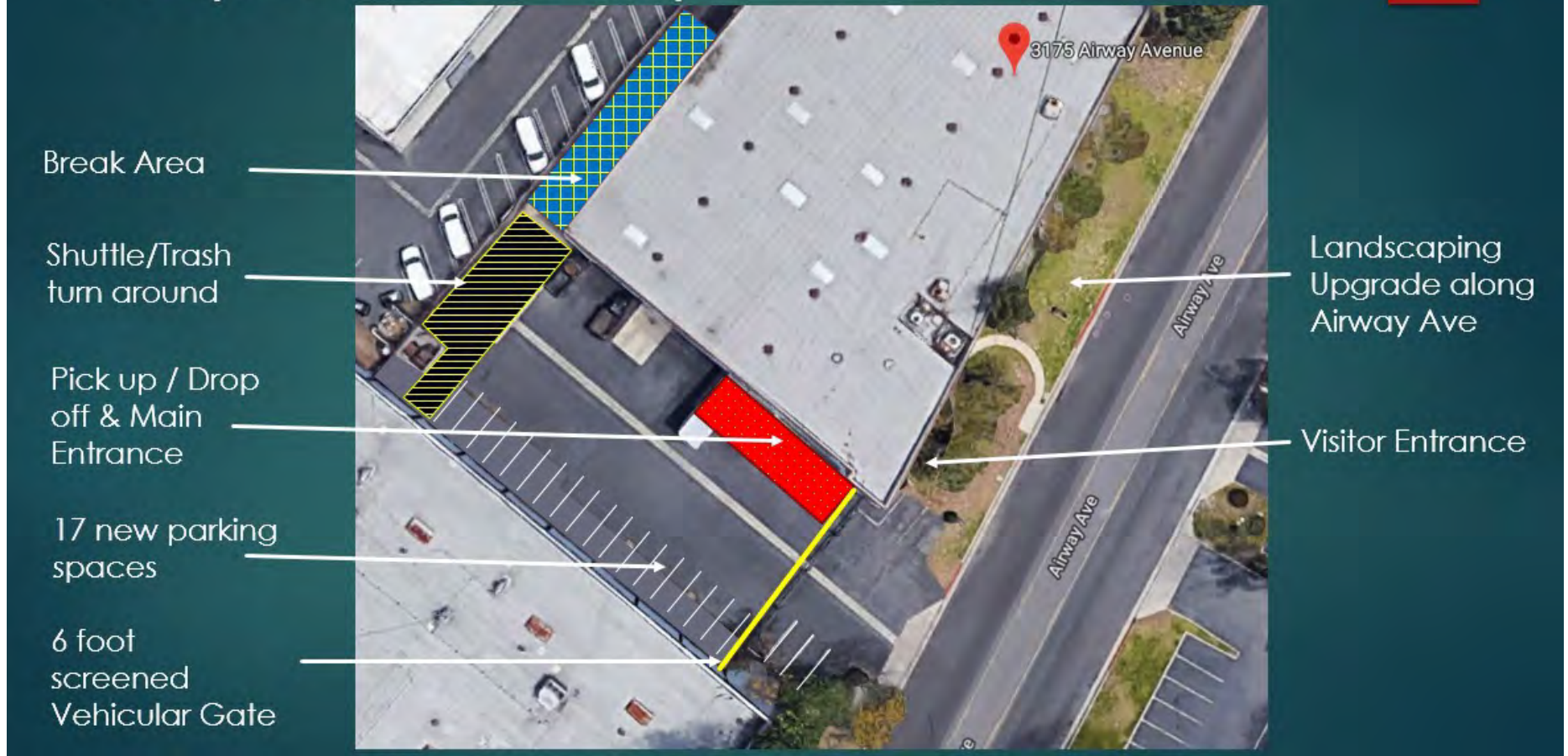
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## Exhibit5 City of Costa Mesa Proposed Emergency Shelter Zones

CITY OF COSTA MESA  
PERMANENT BRIDGE SHELTER FACILITY  
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

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# Proposed Site Layout Plan



Source:

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Exhibit 6  
Site Plan

CITY OF COSTA MESA  
PERMANENT BRIDGE SHELTER FACILITY  
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

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## SECTION 2: ENVIRONMENTAL CHECKLIST AND ENVIRONMENTAL EVALUATION

Environmental Factors Potentially Affected		
The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.		
<input type="checkbox"/> Aesthetics	<input type="checkbox"/> Agriculture and Forestry Resources	<input type="checkbox"/> Air Quality
<input checked="" type="checkbox"/> Biological Resources	<input checked="" type="checkbox"/> Cultural Resources	<input type="checkbox"/> Energy
<input checked="" type="checkbox"/> Geology/Soils	<input type="checkbox"/> Greenhouse Gas Emissions	<input checked="" type="checkbox"/> Hazards/Hazardous Materials
<input type="checkbox"/> Hydrology/Water Quality	<input type="checkbox"/> Land Use/Planning	<input type="checkbox"/> Mineral Resources
<input type="checkbox"/> Noise	<input type="checkbox"/> Population/Housing	<input type="checkbox"/> Public Services
<input type="checkbox"/> Recreation	<input type="checkbox"/> Transportation	<input checked="" type="checkbox"/> Tribal Cultural Resources
<input type="checkbox"/> Utilities/Services Systems	<input type="checkbox"/> Wildfire	<input checked="" type="checkbox"/> Mandatory Findings of Significance

### Environmental Determination

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measure based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Date: 7-9-19 Signed: Peggy Schulte

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>1. Aesthetics</b> <i>Except as provided in Public Resources Code Section 21099, would the project:</i>				
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic building within a State Scenic Highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

The City of Costa Mesa planning area is almost completely urbanized. The City is approximately 1 mile from the Pacific Ocean and sits atop a plateau. Its proximity to the Pacific Ocean gives the City a distinctive visual background. The City is surrounded by the Pacific Ocean to the west, views of Upper Newport Bay to the east, and the San Gabriel Mountains and Santa Ana Mountains to the northeast. The City comprises primarily residential neighborhoods, with several commercial districts and light industrial districts scattered around the City. The City also has open space areas throughout, which include river-adjacent parks, city parks, and three golf courses.

Scenic vistas are generally defined as areas where natural landscapes form views of unique flora, geologic, or any other natural features that can be viewed without urban intrusions. The City’s General Plan does not identify any scenic vistas/views in the City of Costa Mesa, although the views of the Santa Ana River and San Gabriel Mountains as well as the Pacific Ocean play a large role in the way the community defines itself. Scenic highways follow the same guidelines as scenic vistas. The City’s General Plan identifies Highway 1 as an eligible State Scenic Highway, which has not yet been designated. Highway 1 runs parallel to the Pacific Ocean, but generally does not afford views toward Costa Mesa.

The existing visual character of Costa Mesa is divided into three sub-areas, or districts, that carry their own visual pattern: Residential Districts, Commercial Districts, and the Industrial Districts. Each district has its own sub-areas as well.

Established industrial land uses encompass approximately 10.5 percent of land and are primarily concentrated in three major districts: The Westside District, the Airport Industrial/Business Park District, and the Harbor Gateway District (City of Costa Mesa 2015).

The project site is located within the 390-acre Airport Industrial Area, which is a component of the much larger Irvine Business and Industrial Complex, which extends into the cities of Irvine and Tustin. This area is characterized by large parcels and wide landscaped building setbacks. Several firms have located their main or regional headquarters in the area and are often the single tenants in large structures (City of Costa Mesa 2015).

## Environmental Evaluation

Would the project:

**a) Have a substantial adverse effect on a scenic vista?**

**No impact.** Scenic vistas can be impacted by development in two ways. First, a structure may be constructed that blocks the view of a vista. Second, the vista itself may be altered (i.e., development on a scenic hillside). As described above, the General Plan does not designate any areas within Costa Mesa as scenic vistas. Furthermore, the project site is currently developed with an existing industrial building. The proposed project would repurpose approximately half of the existing industrial building for a Permanent Bridge Shelter Facility for individuals experiencing homelessness. The other half of the industrial building would be leased to a tenant(s) by the City for industrial warehouse use consistent with the existing purpose, zoning, and land use designation. Implementation would not have an adverse effect on a scenic vista or block any view sheds in the surrounding area.

**b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic building within a state scenic highway?**

**Less than significant impact.** The Costa Mesa General Plan Land Use Map designates the project site as Industrial Park. According to the California Department of Transportation (Caltrans) California Scenic Highway Mapping System, the project is not located on or near a designated scenic highway. SR-1, which is approximately 5.75 miles southeast of the site, is an eligible State Scenic Highway but not officially designated. The closest State-designated scenic highway is SR-91, located approximately 11 miles northeast of the project site. The project is located in an urbanized area. Desktop studies indicate that the existing structure has remained on-site since 1973, which makes the structure ineligible to be considered a potential historic resource. Unless the property possesses exceptional significance, it must be at least 50 years old to be eligible. Furthermore, the project site is not located on a State Scenic Highway. Therefore, no impacts within a State Scenic Highway would occur.

- c) **In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?**

**Less than significant impact.** The proposed project would repurpose approximately half of the existing industrial building for a Permanent Bridge Shelter Facility serving individuals experiencing homelessness. The other half of the industrial building would be leased to a tenant(s) by the City for industrial warehouse use consistent with the existing purpose, zoning, and land use designation.

The project is located in a highly urbanized area of Costa Mesa, and therefore this analysis will discuss whether the project would conflict with applicable zoning and other regulations governing scenic quality. The General Plan and Zoning Code designate the site as Industrial Park and MP, respectively. The project would require a Code Amendment to modify and revise the CMMC in Title 13 Planning, Zoning, and Development, the Citywide Land Use Matrix, and the Special Land Use Regulations to permit emergency shelters within MP zones, in addition to PDI zones, which currently permit such uses.

The project would be consistent with surrounding General Plan and zoning designations, which are also zoned MP. Furthermore, the proposed project would comply with all CMMC requirements related to scenic quality as part of the design review to ensure the project design is consistent with the surrounding uses. As such, the proposed project would not conflict with applicable zoning and other regulations pertaining to scenic quality and no impacts would occur.

- d) **Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?**

**Less than significant impact.** As described above, the existing visual character of the project site is comprised of industrial uses. The project is located in an urbanized area with high levels of existing light. The site is an existing industrial building that currently generates levels of light and glare typical of an industrial use. Existing lighting conditions in the project area include light emanating from building interiors, security lights, and street lighting surrounding the project. The proposed project consists of the repurposing approximately half of the existing building into a Permanent Bridge Shelter Facility and the other half would be used for industrial warehouse purposes. The project would be required to comply with existing CMMC requirements and General Plan policies related to light spillage. Implementation of the project would introduce new lighting sources; however, these would be consistent with current lighting and follow the requirements and standards of the CMMC and Standard Condition 2.1-1. Because of the nature of the project and the existing levels of lighting on the site and surrounding area, project implementation would not create a new source of substantial light or glare that would adversely affect day or nighttime views in the area. As such, impacts related to light and glare would be less than significant.

## Standard Conditions

**SC 2.1-1** Prior to the issuance of Building Permits, a Lighting Plan and Photometric Study shall be approved by the City's Development Services Department. The Lighting Plan shall demonstrate compliance with the following:

- The mounting height of lights on light standards shall not exceed 18 feet in any location on the project site unless approved by the Development Services Director.
- The intensity and location of lights on buildings shall be subject to the Development Services Director's approval.
- All site lighting fixtures shall be provided with a flat glass lens. Photometric calculations shall indicate the effect of the flat glass lens fixture efficiency.
- Lighting design and layout shall limit spill light to no more than 0.5 foot-candle at the property line of the surrounding neighbors, consistent with the level of lighting that is deemed necessary for safety and security purposes on-site.
- Glare shields may be required for select light standards.

## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<p><b>2. Agriculture and Forestry Resources</b>  <i>In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</i></p>				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

### Agricultural Resources

The California Department of Conservation (DOC) Farmland Mapping and Monitoring Program (FMMP) was established by the State Legislature in 1982 to assess the location, quality, and quantity of agricultural lands and conversion of these lands over time. The FMMP has established five farmland categories:

- Prime Farmland is farmland with the best combination of physical and chemical features able to sustain long-term agricultural production. This land must have been used for irrigated agricultural production at some time during the last four years before the mapping date and have the ability to store moisture in soil well.
- Farmland of Statewide Importance is similar to Prime Farmland but contains greater slopes and a lesser ability to store soil moisture.
- Unique Farmland is usually irrigated, but may include non-irrigated orchards or vineyards as found in some climate zones in California. This land must still have been cropped some time during four years prior to the mapping date.
- Farmland of Local Importance is important to the local agricultural economy as determined by each county's board of supervisors and local advisory committee.
- Grazing Land is land on which the existing vegetation is suited to the grazing livestock. This category was developed in cooperation with the California Cattlemen's Association, University of California Cooperative Extension, and other groups interested in the extent of grazing activities.

The Williamson Act, codified in 1965 as the California Land Conversation Act, allows local governments to enter into contracts with private landowners, offering tax incentives in exchange for an agreement that the land will remain undeveloped or related open space use only for a period of 10 years (DOC 2004).

### **Forest Resources**

CEQA requires the evaluation of forest and timber resources where those resources are present; land as described in Public Resources Code Section 12220(g), timberland as defined by Public Resources Code Section 4526, or property zoned for Timberland Production as defined by Government Code Section 51104(g) on the site or in its vicinity.

## **Environmental Evaluation**

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the DOC as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection (CAL FIRE) regarding the State's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board (ARB).

Would the project:

- a) **Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?**

**No impact.** The project is located in an urban developed area. The project site is currently developed as an industrial warehouse surrounded by other industrial uses. The project site is currently zoned as MP under the City's Zoning Map and designated as Industrial Park in the City's General Plan. According to the DOC FMMP, there are two parcels consisting of less than 1 square mile of farmland that are recognized as either Prime Farmland or Farmland of Statewide Importance in the City of Costa Mesa (DOC 2019). The Costa Mesa General Plan EIR identifies the two Farmland sites (City of Costa Mesa 2016). One consists of only Prime Farmland and is located at Sakioka Lot 2 (325 Anton Boulevard), approximately 0.74 mile northeast of the project site, next to SR-55. The other site is located at Segerstrom Home Ranch (3315 Fairview Road) approximately 2.26 miles northwest of the project site along the I-405. Due to the distance of the designated farmland from the project site, and intervening land uses, project implementation would have no impacts on Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.

- b) **Conflict with existing zoning for agricultural use, or a Williamson Act contract?**

**No impact.** The project is located in an urban developed area and is zoned as MP. The Costa Mesa Zoning Map does not zone any lands for agricultural use (City of Costa Mesa 2019). There are no Williamson Act contracts in the City of Costa Mesa (DOC 2004), and therefore, the project would not impact a Williamson Act contract or any lands zoned for agricultural use.

- c) **Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?**

**No impact.** The project is located in an urban developed area and is zoned as MP. The proposed project is not located on or within the vicinity of an existing forest. The Costa Mesa Zoning Map does not contain any forest land or timberland within its jurisdiction (City of Costa Mesa 2019). Therefore, project implementation would not conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production.

- d) **Result in the loss of forest land or conversion of forest land to non-forest use?**

**No impact.** The project site is currently developed with an existing industrial warehouse and is located within an urban developed area. Therefore, the implementation of the project would not have any impacts on forest land or conversion of forest land to non-forest use.



- e) **Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?**

**No impact.** According to the Costa Mesa General Plan EIR, the City contains less than 1 square mile of farmland designated Prime Farmland and Farmland of Statewide Importance under the DOC Conservation Act Maps (City of Costa Mesa 2016). However, as stated previously, neither of the two parcels of farmland are within 0.5-mile of the project site. Project implementation would not convert any Farmland to non-agricultural use. The City does not have any land designated for forest land. The project site is currently developed with existing industrial uses, and the surrounding area is designated for industrial uses. Project implementation would not involve changes in the existing environment that could result in conversion of Farmland to non-agricultural use, or conversion of forest land to non-forest use. Therefore, no impacts would occur.

### Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>3. Air Quality</b> <i>Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations.</i> <i>Would the project:</i>				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or State ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in other emissions (such as those leading to odors or) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

This analysis is based on the Permanent Bridge Shelter Project Air Quality, Global Climate Change, and Energy Impact Analysis by Ganddini Group Inc., which is contained in Appendix B.

The report analyzes the air quality impacts of toxic air contaminants, odor impacts, and greenhouse gas (GHG) emissions during the construction and operation phases of the proposed project. Where available, the significance criteria established by the applicable air quality management district or air pollution control district, as well as relevant policies from the City of Costa Mesa General Plan, may be relied upon to make the following determinations.

Would the project:

**a) Conflict with or obstruct implementation of the applicable air quality plan?**

**Less than significant impact.** CEQA requires a discussion of any inconsistencies between a proposed project and applicable General Plans and Regional Plans (CEQA Guidelines § 15125). The regional plan that applies to the proposed project includes the South Coast Air Quality Management District (SCAQMD) 2016 Air Quality Management Plan (AQMP). Therefore, this section discusses any potential inconsistencies of the proposed project with the AQMP.

The purpose of this discussion is to set forth the issues regarding consistency with the assumptions and objectives of the AQMP, and to discuss whether the proposed project would interfere with the region's ability to comply with federal and State air quality standards. If the decision-makers

determine that the proposed project is inconsistent, the Lead Agency may consider project modifications or inclusion of mitigation to eliminate the inconsistency.

A proposed project should be considered to be consistent with the AQMP if it furthers one or more policies and does not obstruct other policies. The SCAQMD CEQA Handbook identifies two key indicators of consistency:

1. Whether the project will result in an increase in the frequency or severity of existing air quality violations or cause or contribute to new violations, or delay timely attainment of air quality standards or the interim emission reductions specified in the AQMP.
2. Whether the project will exceed the assumptions in the AQMP in 2016 or increments based on the year of project buildout and phase.

Both of these criteria are evaluated in the following sections.

### **Criterion 1: Increase in the Frequency or Severity of Violations**

Based on the air quality modeling analysis contained in the project-specific technical report in Appendix B, short-term construction impacts will not result in significant impacts based on the SCAQMD regional and local thresholds of significance. Similarly, long-term operations impacts will not result in significant impacts based on the SCAQMD local and regional thresholds of significance.

Therefore, the proposed project is not projected to contribute to the exceedance of any air pollutant concentration standards and is found to be consistent with the AQMP for the first criterion. Impacts would be less than significant.

### **Criterion 2: Assumptions in the AQMP**

Consistency with the AQMP assumptions is determined by performing an analysis of the proposed project with the assumptions in the AQMP. The emphasis of this criterion is to ensure that the analyses conducted for the proposed project are based on the same forecasts as the AQMP. The 2016-2040 Regional Transportation/Sustainable Communities Strategy prepared by SCAG (SCAG 2016) includes chapters on the challenges in a changing region, creating a plan for our future, and the road to greater mobility and sustainable growth. These chapters currently respond directly to federal and State requirements placed on SCAG. Local governments are required to use these as the basis of their plans for purposes of consistency with applicable regional plans under CEQA. For this project, the City of Costa Mesa Land Use Plan defines the assumptions that are represented in the AQMP.

The General Plan land use designation for the site is Industrial Park and the site is zoned MP. Per the City of Costa Mesa, a combination of residential, institutional, and commercial uses may be allowed in areas designated as Industrial Park in the General Plan through the Planned Development process; however, emergency shelters are only permitted in the PDI zone, with a maximum allowance of 30 beds at each shelter. Therefore, the project is proposing a Code Amendment that will modify the Citywide Land Use Matrix to allow emergency shelters in the MP zone. A CUP would be required prior to operation of an emergency shelter in an MP zone.

Therefore, the proposed project is not currently consistent with the existing zoning. However, once the Code Amendment is approved, the project would be consistent with the City's zoning. Although the project may initially result in an inconsistency with the AQMP on paper, the inconsistency would not necessarily constitute a conflict with the AQMP. The SCAQMD acknowledges that strict consistency with all aspects of the AQMP is not required in order to make a finding of no conflict. Rather, a project is considered to be consistent with the AQMP if it furthers one or more policies and does not obstruct other policies. The project would implement contemporary energy-efficient technologies and regulatory/operational programs required per Title 24, California Green Building Standards Code (CALGreen) and City standards. Generally, compliance with SCAQMD emissions reductions and control requirements also act to reduce project air pollutant emissions. Project compliance with regulatory/operational programs is consistent with and supports overarching AQMP air pollution reduction strategies. Project support of these strategies promotes timely attainment of AQMP air quality standards and would bring the project into conformance with the AQMP. Therefore, the proposed project is not anticipated to exceed the AQMP assumptions for the project site and is found to be consistent with the AQMP for the second criterion.

Based on the above two criteria, the proposed project would not result in an inconsistency with the SCAQMD AQMP. Therefore, a less than significant impact would occur.

**b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?**

**Less than significant impact.** This impact is related to the cumulative effect of a project's regional criteria pollutant emissions. The region is currently non-attainment for ozone, PM<sub>10</sub> (particulate matter less than 10 microns in diameter) and PM<sub>2.5</sub> (particulate matter less than 2.5 microns in diameter). However, by its nature, air pollution is largely a cumulative impact resulting from emissions generated over a large geographic region. The non-attainment status of regional pollutants is a result of past and present development within the South Coast Air Basin (SoCAB), and this regional impact is a cumulative impact. In other words, new development projects (such as the proposed project) within the SoCAB would contribute to this impact only on a cumulative basis. No single project would be sufficient in size, by itself, to result in non-attainment of regional air quality standards. Instead, a project's emissions may be individually limited, but cumulatively considerable when taken in combination with past, present, and future development projects. All new development that would result in an increase in air pollutant emissions above those assumed in regional air quality plans would contribute to cumulative air quality impacts.

The cumulative analysis focuses on whether a specific project would result in cumulatively considerable emissions. According to Section 15064(h)(4) of the CEQA Guidelines, the existence of significant cumulative impacts caused by other projects alone does not constitute substantial evidence that the project's incremental effects would be cumulatively considerable.

Rather, the determination of cumulative air quality impacts for construction and operational emissions is based on whether the project would result in regional emissions that exceed SCAQMD regional thresholds of significance for construction and operations on a project level. Projects that

generate emissions below the SCAQMD significance thresholds would be considered consistent with regional air quality planning efforts and would not generate cumulatively considerable emissions.

### Cumulative Construction Emissions

The following provides a discussion of the methodology used to calculate regional construction air emissions and an analysis of the proposed project’s short-term construction emissions for the criteria pollutants.

#### Methodology

Typical emission rates from construction activities were obtained from the California Emissions Estimator Model (CalEEMod) Version 2016.3.2. CalEEMod is a computer model published by the SCAQMD for estimating air pollutant emissions. The CalEEMod program uses the EMFAC2014 computer program to calculate the emission rates specific for the northeastern portion of Orange County for construction-related employee vehicle trips and the OFFROAD2011 computer program to calculate emission rates for heavy truck operations. EMFAC2014 and OFFROAD2011 are computer programs generated by the ARB that calculates composite emission rates for vehicles. Emission rates are reported by the program in grams per trip and grams per mile or grams per running hour. Using CalEEMod, the peak daily air pollutant emissions during each phase was calculated. These emissions represent the highest level of emissions for each of the construction phases in terms of air pollutant emissions. The construction emissions printouts from CalEEMod are provided in the attached technical report in Appendix B.

Per SCAQMD Rule 1113 as amended on June 3, 2011, the architectural coatings that would be applied after January 1, 2014, will be limited to an average of 50 grams per liter or less.

The phases of the construction activities that have been analyzed are building construction and application of architectural coatings. Details pertaining to the project’s construction timing and the type of equipment modeled for each construction phase are available in the CalEEMod output in the attached technical report in Appendix B.

#### Project Impacts

As shown below in Table 16, none of the project’s construction-related criteria pollutant emissions will exceed regional thresholds. Therefore, a less than significant regional air quality impact would occur from construction of the proposed project.

**Table 16: Construction-Related Regional Pollutant Emissions<sup>1</sup>**

Activity		Pollutant Emissions (pounds/day)					
		ROG	NO <sub>x</sub>	CO	SO <sub>2</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Building Construction	On-site <sup>1</sup>	0.96	9.82	7.54	0.01	0.61	0.56
	Off-site <sup>2</sup>	0.06	0.26	0.45	0.00	0.14	0.04
	Subtotal	1.02	10.08	8.00	0.01	0.74	0.60
	On-site <sup>1</sup>	8.67	1.68	1.83	0.00	0.11	0.11

Activity		Pollutant Emissions (pounds/day)					
		ROG	NO <sub>x</sub>	CO	SO <sub>2</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Architectural Coating	Off-site <sup>2</sup>	0.01	0.01	0.07	0.00	0.02	0.01
	Subtotal	8.68	1.69	1.90	0.00	0.13	0.12
Total for overlapping phases <sup>3</sup>		9.70	11.77	9.89	0.02	0.88	0.71
SCAQMD Thresholds		75	100	550	150	150	55
Exceeds Thresholds?		No	No	No	No	No	No
<p>Notes:</p> <p><sup>1</sup> On-site emissions from equipment operated on-site that is not operated on public roads.</p> <p><sup>2</sup> Off-site emissions from equipment operated on public roads.</p> <p><sup>3</sup> Construction and painting phases may overlap.</p> <p>Source: CalEEMod Version 2016.3.2; Ganddini Group Inc. 2019 (Appendix B)</p>							

### Cumulative Operational Emissions

The operations-related criteria air quality impacts created by the proposed project have been analyzed through the use of the CalEEMod model. The operating emissions were based on the year 2020, which is the anticipated opening year for the proposed project. These assumptions, and the operations daily emissions printouts from the CalEEMod model, are provided in the technical report in Appendix B. The CalEEMod model analyzes operational emissions from area sources, energy usage, and mobile sources, which are discussed below. Table 17 summarizes these results.

#### Mobile Sources

Mobile sources include emissions from the additional vehicle miles generated from the proposed project. The vehicle trips associated with the proposed project have been analyzed by inputting the project-generated vehicular trips from the Revised 3175 Airway Trip Generation Memorandum for the proposed project (Trip Generation Memorandum) prepared by the City of Costa Mesa Department of Public Services/Transportation Services Division (May 3, 2019; Appendix H) into the CalEEMod model. The Trip Generation Memorandum found that the proposed project will generate approximately 149 vehicle trips per day.

#### Area Sources

Area sources include emissions from consumer products, landscape equipment and architectural coatings. Landscape maintenance includes fuel combustion emissions from equipment such as lawn mowers, rototillers, shredders/grinders, blowers, trimmers, chain saws, and hedge trimmers, as well as air compressors, generators, and pumps. As specifics were not known about the landscaping equipment fleet, CalEEMod defaults were used to estimate emissions from landscaping equipment.

#### Energy Usage

Energy usage includes emissions from the generation of electricity and natural gas used on-site. No changes were made to the default energy usage parameters.

**Project Impacts**

Calculations of the worst-case summer or winter criteria pollutant emissions created from the proposed project’s long-term operations show that none of the SCAQMD regional thresholds would be exceeded. Therefore, a less than significant regional air quality impact would occur from operation of the proposed project.

**Table 17: Regional Operational Pollutant Emissions**

Activity	Pollutant Emissions (pounds/day)					
	ROG	NO <sub>x</sub>	CO	SO <sub>2</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Area Sources <sup>1</sup>	0.38	0.24	1.32	0.00	0.02	0.02
Energy Usage <sup>2</sup>	0.01	0.04	0.02	0.00	0.00	0.00
Mobile Sources <sup>3</sup>	0.26	1.08	3.48	0.01	1.09	0.30
Total Emissions	0.64	1.36	4.82	0.01	1.12	0.33
SCAQMD Thresholds	55	55	550	150	150	55
Exceeds Threshold?	No	No	No	No	No	No

Notes:  
<sup>1</sup> Area sources consist of emissions from consumer products, architectural coatings, and landscaping equipment.  
<sup>2</sup> Energy usage consists of emissions from generation of electricity and on-site natural gas usage.  
<sup>3</sup> Mobile sources consist of emissions from vehicles and road dust.  
 Source: CalEEMod Version 2016.3.2; the higher of either summer or winter emissions; Ganddini Group Inc. 2019 (Appendix B)

**c) Expose sensitive receptors to substantial pollutant concentrations?**

**Less than significant impact.** This impact evaluates the potential for the project’s construction and operational emissions to expose sensitive receptors to substantial pollutant concentration. Sensitive receptors are defined as those individuals who are sensitive to air pollution including children, the elderly, and persons with preexisting respiratory or cardiovascular illness. For purposes of CEQA, the SCAQMD considers a sensitive receptor to be a location where a sensitive individual could remain for 24 hours, such as residences, hospitals, or convalescent facilities (SCAQMD 2008). Commercial and industrial facilities are not included in the definition because employees do not typically remain on-site for 24 hours. However, when assessing the impact of pollutants with 1-hour or 8-hour standards (such as NO<sub>2</sub> and CO), commercial and/or industrial facilities would be considered sensitive receptors. The nearest sensitive receptors are the Mariners Christian School located 1,825 feet (556 meters) southwest of the project site, and multi-family attached residential dwelling units located approximately 2,050 feet (625 meters) northwest of the project site.

**Local Air Quality Impacts from Construction**

The proposed project involves the renovation of the interior of an existing industrial building with only minor exterior upgrades; therefore, as there will be no grading or earthwork-related activities, local emissions are anticipated to be minimal. However, to be conservative, the maximum number of acres disturbed in a day has been anticipated to be approximately 0.34 acres (14,861-square-foot) to

match the estimated area of overall site improvements. The local air quality emissions from construction were analyzed using the SCAQMD’s Mass Rate Localized Significant Threshold Look-up Tables and the methodology described in Localized Significance Threshold Methodology prepared by SCAQMD (revised July 2008). The Look-up Tables were developed by the SCAQMD in order to readily determine if the daily emissions of CO, NO<sub>x</sub>, PM<sub>10</sub>, and PM<sub>2.5</sub> from the proposed project could result in a significant impact to the local air quality. The emission thresholds were calculated based on the North Coastal Orange County source receptor area 18 and a disturbance value of 1 acre per day, as this is the lowest acreage provided in the look-up tables. The nearest sensitive receptors are located 1,825 feet (556 meters) southwest of the project site; therefore, to be conservative, the SCAQMD Look-up Tables for 500 meters were used.

As shown below in Table 18, none of the analyzed criteria pollutants would exceed the calculated local emissions thresholds at the nearest sensitive receptors. Therefore, a less than significant local air quality impact would occur from construction of the proposed project.

**Table 18: Local Construction Emissions at the Nearest Receptors**

Activity	On-site Pollutant Emissions (pounds/day)			
	NO <sub>x</sub>	CO	PM <sub>10</sub>	PM <sub>2.5</sub>
Building Construction	9.82	7.54	0.61	0.56
Architectural Coating	1.68	1.83	0.11	0.11
SCAQMD Thresholds <sup>1</sup>	219	6,841	135	76
Exceeds Threshold?	No	No	No	No

Notes:  
<sup>1</sup> The nearest sensitive receptors to the project include Mariners Christian School located 1,825 feet (~556 meters) southwest and the multi- family attached residential dwelling units located approximately 2,050 feet (~625 meters) northwest of the project site; therefore, the 500-meter threshold was used.  
 General Note: The proposed project will disturb up to a maximum of 0.34 acres a day per the total square footage of improvements.  
 Source: Calculated from CalEEMod and SCAQMD’s Mass Rate Look-up Tables for 1 acre at a distance of 500 meters in source receptor area 18 North Coastal Orange County; Ganddini Group Inc. 2019 (Appendix B)

### Local Air Quality Impacts from On-site Operations

Project-related air emissions from on-site sources such as architectural coatings, landscaping equipment, on-site usage of natural gas appliances as well as the operation of vehicles on-site may have the potential to exceed the State and federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the SoCAB.

According to SCAQMD Localized Significance Thresholds (LST) methodology, LSTs would apply to the operational phase of a project, if the project includes stationary sources, or attracts mobile sources (such as heavy-duty trucks) that may spend long periods queuing and idling at the site; such as industrial warehouse/transfer facilities. The proposed project is the development of the site with a 14,816-square-foot 100-bed Permanent Bridge Shelter Facility for those experiencing homelessness



and does not include such uses. Therefore, due the lack of stationary source or other substantial on-site emissions, no long-term localized significance threshold analysis is warranted.

### Health Risk Assessment

The greatest potential for toxic air contaminant emissions would be related to diesel particulate emissions associated with heavy equipment operations during construction of the proposed project. According to SCAQMD methodology, health effects from carcinogenic air toxics are usually described in terms of “individual cancer risk.” “Individual Cancer Risk” is the likelihood that a person exposed to concentrations of toxic air contaminants over a 30-year lifetime will contract cancer, based on the use of standard risk-assessment methodology. Given the relatively limited number of heavy-duty construction equipment and the short-term construction schedule, the proposed project would not result in a long-term (i.e., 30 years) substantial source of toxic air contaminant emissions and corresponding individual cancer risk. Construction-based particulate matter (PM) emissions (including diesel exhaust emissions) do not exceed any local or regional thresholds. Furthermore, emissions disperse and the concentration at any one point greatly diminishes at around 300 to 500 feet; all sensitive receptors are located more than 500 feet from the project site. During operation, the proposed project would primarily generate vehicle trips for employee and shuttle bus travel to and from the project site. Because these vehicles would be primarily gasoline-combusted, the project would not generate significant amount of diesel particulate matter emissions during operation. Therefore, no significant short-term toxic air contaminant impacts would occur during construction or operation of the proposed project.

#### **d) Result in other emission (such as those leading to odors) adversely affecting a substantial number of people?**

**Less than significant impact.** The SCAQMD CEQA Handbook states that an odor impact would occur if the proposed project creates an odor nuisance pursuant to SCAQMD Rule 402, which states:

A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.

If the proposed project results in a violation of Rule 402 with regards to odor impacts, then the proposed project would create a significant odor impact.

### Construction-related Odors

Potential sources that may emit odors during construction activities include the application of materials such as asphalt pavement. The objectionable odors that may be produced during the construction process are of short-term in nature and the odor emissions are expected cease upon the drying or hardening of the odor producing materials. Due to the short-term nature and limited amounts of odor producing materials being utilized, no significant impact related to odors would occur during construction of the proposed project. Diesel exhaust and volatile organic compounds

would be emitted during construction of the project, which are objectionable to some; however, emissions would disperse rapidly from the project site and therefore should not reach an objectionable level at the nearest sensitive receptors. Impacts would be less than significant.

### **Operational-related Odors**

Potential sources that may emit odors during the on-going operations of the proposed project would include odor emissions from diesel truck emissions and trash storage areas. Due to the distance of the nearest receptors from the project site, and through compliance with SCAQMD's Rule 402, no significant impact related to odors would occur during the on-going operations of the proposed project. Odors may also be associated with pets and service animals that clients bring to the shelter. However, the shelter will limit the number of animals that may be on site at any given time and will comply with all applicable CMMC regulations. Impacts would be less than significant.

### **Mitigation Measures**

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>4. Biological Resources</b> <i>Would the project:</i>				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Evaluation

Would the project:

- a) **Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?**

**Less than significant impact with mitigation incorporated.** The project is located within the Tustin, California United States Geological Survey (USGS) 7.5-Minute Topographical Quadrangle.

Descriptions and analysis in this section are based on results from the California Department of Fish and Wildlife (CDFW) California Natural Diversity Database (CNDDDB) and the United States Fish and Wildlife Service (USFWS) database searches. Supporting information is provided in Appendix C.

For the purpose of this analysis, special-status species refers to all species formally listed as threatened and/or endangered under the Federal Endangered Species Act (FESA) or the California Endangered Species Act (CESA); California Species of Special Concern; designated as Fully Protected by CDFW; given a status of 1A, 1B, or 2 by California Native Plant Society (CNPS); or designated as special-status by city, county, or other regional planning documents. Federal and State listed threatened and/or endangered species are legally protected under FESA/CESA. The designated special-status species listed by CNPS have no direct legal protection, but require an analysis of the significance of potential impacts under CEQA guidelines.

Special-status plant and wildlife species typically occur in undeveloped areas. Although it is less likely, it is also possible for them to occur within developed areas. The project site contains characteristics of land that has been developed or disturbed, including impervious gravel surfaces, on-site buildings and structures, and disturbed soils. Nine special-status plant species and 21 special-status wildlife species were evaluated for their potential to occur on the project site, based on their ecology and regional occurrences within USGS Tustin, California 7.5 minute quadrangle. Potential impacts occurring to special-status species, if found on-site, would likely be significant.

It was determined, based on the absence of suitable habitat that all nine special-status plant species are unlikely to occur on the project site. The project site contains no undeveloped natural land capable of supporting natural vegetation. Impacts to special-status plant species would be less than significant and no further studies are necessary.

A total of 21 special-status wildlife species were identified and evaluated for their potential to occur on the project site based on their habitat requirements. Of these 21 species, none are expected to occur on-site due to the high level of disturbance and activity within project boundaries and the surrounding areas. The project site is completely built-out and lacks any sensitive habitat or favorable foraging or nesting habitat. However, the project site and its adjacent areas contain mature trees that support potential habitat for bird species protected under the Migratory Bird Treaty Act (MBTA).

Construction activities could disturb nesting and breeding birds in trees within and around the construction site. Potential impacts on migratory birds that could result from the construction and operation of the project include the destruction of eggs or occupied nests, mortality of young, and

the abandonment of nests with eggs or young birds prior to fledging. If these species were found to be present, impacts to these species would be significant.

Implementation of Mitigation Measure (MM) BIO-1 is required to reduce potential impacts to migratory and nesting birds and raptors. As such, with implementation of MM BIO-1, the project would not have a substantial adverse effect, either directly or indirectly or through habitat modification, on any species identified as candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the CDFW or USFWS. Impacts would be less than significant with the implementation of mitigation.

**b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?**

**No impact.** Riparian habitats are those on, relating to, or near the banks of a river, stream, creek, spring, seep, pond or lake. The project site is developed and completely dry and does not support aquatic features, natural or man-made water bodies, wetlands or jurisdictional areas necessary to support riparian vegetation. The project site consists of an existing industrial building and associated parking. The project site does not contain riparian habitat or other sensitive natural communities. Therefore, the project would not have a substantial adverse effect on any riparian habitat or other sensitive natural community. No impact would occur.

**c) Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?**

**No impact.** The project site is fully developed and consists of an existing building and associated parking. The site does not contain any wetlands or other areas designated as waters of the United States or State. The project would not have a substantial adverse effect on State or federally protected wetlands. As such, no impact would occur.

**d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of wildlife nursery sites?**

**No impact.** The project is located the highly urbanized area of Costa Mesa. The project surrounded by dense urban development, including John Wayne Airport to the east, SR-55 to the west, and highly trafficked roadways. The project site does not contain and is not connected to an established wildlife corridor; therefore, the project is not anticipated to have direct or indirect impacts on wildlife corridors or wildlife movement. The project site does not support resident or migratory fish species or wildlife nursery sites; therefore, the project is not anticipated to have direct or indirect impacts on wildlife nursery sites. The project is not expected to interfere with the movement of native resident or migratory fish or wildlife species or impede the use of wildlife nursery sites. As such, no impact would occur.

**e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?**

**No impact.** The project does not propose the removal or alteration of trees. Additionally, the CMMC does not provide specific regulations for the protection of trees on private property. In addition, the project would be required to comply with all policies relating to biological resources outlined in the Conservation Element of the General Plan. Therefore, the project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. No impact would occur.

**f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan?**

**No impact.** The City of Costa Mesa is within the boundaries of the Orange County Central/Coastal Subregional Natural Community Conservation Plan (NCCP) and Habitat Conservation Plan (HCP), adopted in 1996. While Costa Mesa falls within the Plan boundary, the City is not a participant in the Plan (City of Costa Mesa 2016). Because the City is not a participant in the Orange County Central/Coastal Subregional NCCP, the project would not conflict with the provisions of an adopted HCP, NCCP, or other approved local, regional, or State HCP. The project site does not contain undeveloped natural lands subject to the Central/Coastal Orange County NCCP/HCP. The project site does not contain biological features that could potentially support covered habitats or covered plant/wildlife species and the project is not anticipated to impact covered habitats or species. As such, no impact would occur.

## Mitigation Measures

### Nesting Birds

Implementation of the following avoidance and minimization measures would reduce impacts to nesting birds protected under the MBTA.

**MM BIO-1** If construction activity associated with development of the property is to occur during nesting bird season (February 1 through August 31), a qualified biologist shall conduct a pre-construction survey for nesting birds to identify any potential nesting activity. The pre-construction surveys for nesting birds shall be conducted within 14 days prior to any construction-related activities (grading, ground clearing, etc.). If nesting birds are identified on-site, a buffer (e.g., 250 feet for raptors, 100 feet for native songbirds) shall be maintained around the nests; no construction-related activities shall be permitted within the buffer. A qualified biologist shall monitor the nests, and construction activities may commence within the buffer area at the discretion and in the presence of the biological monitor. This mitigation measure is not required if construction activities occur outside of the nesting bird season (September 1 through January 31).

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>5. Cultural Resources and Tribal Cultural Resources</b>				
<i>Would the project:</i>				
a) Cause a substantial adverse change in the significance of a historical resource as pursuant to Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:</i>				
d) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

### Cultural Resources

Would the project:

- a) **Cause a substantial adverse change in the significance of a historical resource as pursuant to Section 15064.5?**

**No impact.** CEQA Guidelines Section 15064.5 defines “historic resources” as resources listed in the California Register of Historical Resources (CRHR), or determined to be eligible by the California Historical Resources Commission for listing in the CRHR. The criteria for eligibility are generally set by the Historic Sites Act of 1935, which established the National Register and which recognizes properties that are significant at the national, State, and local levels. To be eligible for listing in the

National Register, a district, site, building, structure, or object must possess integrity of location, design, setting, materials, workmanship, feeling and association relative to American history, architecture, archaeology, engineering, or culture (National Register Bulletin 1986). In addition, unless the property possesses exceptional significance, it must be at least 50 years old to be eligible.

Desktop studies indicate that the structure has remained on-site since 1973, which makes the structure ineligible to be considered a potential historic resource. As such, the project would not cause a substantial adverse change in the significance of a historical resource. No impact would occur.

**b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?**

**Less than significant impact with mitigation incorporated.** Section 15064.5 of the CEQA Guidelines defines significant archaeological resources as resources that meet the criteria for historical resources, as discussed above, or resources that constitute unique archaeological resources. A project-related significant adverse effect could occur if a project were to affect archaeological resources that fall under either of these categories.

The project site consists of developed land that has been permanently disturbed by the construction of belowground and aboveground improvements (buildings, driveways, streets, hardscapes, and utilities). Given the highly disturbed condition of the site, the potential to impact an unidentified archeological resource is considered low. The project would be subject to compliance with Standard Condition 2.5-1, which provides direction in the event archeological resources are unearthed during project subsurface activities. Furthermore, implementation of MM CUL-1 through MM CUL-3 would further reduce the project's impacts to a less than significant level for archaeological resources.

**c) Disturb any human remains, including those interred outside of formal cemeteries?**

**Less than significant impact.** As noted above, the project site has been significantly disturbed and developed. Therefore, the potential for the disturbance of any human remains is considered low. However, in the event that human remains are encountered during earth removal or disturbance activities, California Health and Safety Code Section 7050.5 requires that all activities cease immediately and a qualified archaeologist and Native American monitor be contacted immediately. The Coroner would also be contacted pursuant to Sections 5097.98 and 5097.99 of the Public Resources Code relative to Native American remains. If the Coroner determines the human remains are of Native American descent, the coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC would then be required to contact the most likely descendant of the deceased Native American, who would then serve as consultant on how to proceed with the remains. Compliance with the established regulatory framework (California Health and Safety Code § 7050.5 and Public Resources Code [PRC] § 5097.98), as required by Standard Condition 2.5-2, would reduce impacts involving the disturbance of human remains to less than significant levels.

### **Tribal Cultural Resources**

Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape



that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

**d) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or**

**Less than significant impact with mitigation incorporated.** The City of Costa Mesa has gathered a Historical Resources Inventory that can be found within the City's General Plan EIR on page 4.5-4, Table CUL-1 (City of Costa Mesa 2016). The table outlines 31 historical resources that are either eligible for the National, State, or Local Register Listings. The project site is not located on or within the vicinity of any site listed on that table. Additionally, the project site is located in an industrialized area in an existing structure. A records search conducted at the South Central Coastal Information Center did not indicate any recorded archaeological sites located on the project site. Results of the record searches are located in Appendix D. Moreover, this project will be conducted in compliance with Assembly Bill (AB) 52 and Senate Bill (SB) 18, which require Lead Agency consultation with California Native American tribes for projects that involve an amendment to a general plan or specific plan, for the purpose of preserving or mitigating impacts to tribal cultural resources. The NAHC has provided the City a list of tribes requesting consultations pursuant to AB 52. These tribal members were sent letters on June 10, 2019, initiating the consultation process.

Subsequently, Chairperson Andrew Salas of the Gabrieliño Band of Mission Indians—Kizh Nation, notified the City and requested a formal consultation pursuant to AB 52. On June 26, 2019, the City and Chairperson Salas consulted via a phone call regarding the Tribe's interest in the project. Chairperson Salas requested the City notify him in the event any cultural resources are discovered during any ground-disturbing activities occurring during the project. The City agreed to comply with this request. In the event of a discovery, Chairman Salas and the City will determine the appropriate actions to be taken to mitigate the discovery, as described in MM CUL-1.

**e) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.**

**Less than significant impact.** On April 11, 2019, FCS sent a letter to the NAHC in an effort to determine whether any sacred sites are listed on its Sacred Lands File for the project. The response from the NAHC was received on May 8, 2019, and it indicated that cultural resources may be present within the project site. A list of four Native American tribal members who many have additional knowledge of the project area was included with the results. These tribal members were sent letters on May 9, 2019, asking for any information they might have concerning cultural resources on or near the project area. As of the date of this document, no responses had been received. Based on the available information, impacts are considered less than significant.

## Standard Conditions

- SC 2.5.-1** In the event that archaeological resources are encountered during grading and construction, all construction activities shall be temporarily halted or redirected to permit the sampling, identification, and evaluation of archaeological materials as determined by the City, who shall establish, in cooperation with the project Applicant, a certified archaeologist, and the Native American representative, the appropriate procedures for exploration and/or salvage of the artifacts.
- SC 2.5-2** If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 24 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials.

## Mitigation Measures

- MM CUL-1** In the event that buried cultural resources are discovered during remodel/renovations, operations shall stop in the immediate vicinity of the find and a qualified archaeologist and Native American representative shall be consulted to determine whether the resource requires further study. The qualified archeologist and Native American representative shall make recommendations to the Lead Agency on the measures that shall be implemented to protect the discovered resources, including but not limited to excavation of the finds and evaluation of the finds in accordance with Section 15064.5 of the CEQA Guidelines. Potentially significant cultural resources consist of but are not limited to stone, bone, fossils, wood, or shell artifacts or features, including hearths, structural remains, or historic dumpsites. Any previously undiscovered resources found during construction within the project area should be recorded on appropriate Department of Parks and Recreation (DPR) forms and evaluated for significance in terms of CEQA criteria.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>6. Energy</b> <i>Would the project:</i>				
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

This analysis is based on the Permanent Bridge Shelter Project Air Quality, Global Climate Change, and Energy Impact Analysis by Ganddini Group Inc., which is contained in Appendix B.

Would the project:

- a) **Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?**

**Less than significant impact.**

### Construction Energy Demands

The construction schedule is anticipated to occur between September 2019 and June 2020 and to be completed in one phase. As the proposed project includes renovation of an existing industrial building for a homeless shelter, no import or export of soil will be required. Staging of construction vehicles and equipment will occur on-site.

### Construction Equipment Fuel Estimates

Fuel consumed by construction equipment would be the primary energy resource expended over the course of project construction. Fuel consumed by construction equipment was evaluated with the following assumptions:

- Construction schedule of 10 months
- All construction equipment was assumed to run on diesel fuel
- Typical daily use of 8 hours, with some equipment operation 4-6 hours
- Aggregate fuel consumption rate for all equipment was estimated at 18.5 horsepower hour/day
- Project construction represents a “single-event” for diesel fuel demand and would not require on-going or permanent commitment of diesel fuel resources during long-term operation.

Project construction activities would consume an estimated 20,131 gallons of diesel fuel. As stated previously, project construction would represent a “single-event” diesel fuel demand and would not require on-going or permanent commitment of diesel fuel resources for this purpose.

### **Construction Worker Fuel Estimates**

It is assumed that all construction worker trips are from light duty autos along area roadways. With respect to estimated vehicle miles traveled (VMT), the construction worker trips would generate an estimated 33,633 VMT. Data regarding project-related construction worker trips were based on CalEEMod 2016.3.2 model defaults.

Vehicle fuel efficiencies for construction workers were estimated in the air quality and GHG analyses of the attached technical report in Appendix B, based on information generated using the ARB’s EMFAC model. An aggregate fuel efficiency of 28.57 miles per gallon (mpg) was used to calculate vehicle miles traveled for construction worker trips. An estimated 1,177 gallons of fuel would be consumed for construction worker trips.

### **Construction Vendor/Hauling Fuel Estimates**

Vendor and hauling trips during building construction and architectural coating would also consume energy. With respect to estimated VMT, the vendor and hauling trips would generate an estimated 2,843 VMT. Data regarding project-related vendor and hauling trips were based on CalEEMod model defaults.

For the architectural coatings it is assumed that the contractors would be responsible for bringing coatings and equipment with them in their light duty vehicles. Therefore, vendors delivering construction material or hauling debris from the site during site preparation would use medium to heavy duty vehicles with an average fuel consumption of 8.5 mpg. An estimated 334 gallons of fuel would be consumed for vendor and hauling trips.

### **Construction Energy Efficiency/Conservation Measures**

Construction equipment used over the approximately 10-month construction phase would conform to the ARB regulations and California emissions standards. There are no unusual project characteristics or construction processes that would require the use of equipment that would be more energy intensive than is used for comparable activities; or equipment that would not conform to current emissions standards (and related fuel efficiencies).

The project would utilize construction contractors which practice compliance with applicable ARB regulations regarding retrofitting, repowering, or replacement of diesel off-road construction equipment. Additionally, the ARB has adopted the Airborne Toxic Control Measure to limit heavy-duty diesel motor vehicle idling in order to reduce public exposure to diesel particulate matter and other Toxic Air Contaminants. Idling restrictions and the use of newer engines and equipment would result in less fuel combustion and energy consumption.

Additionally, as required by California Code of Regulations Title 13, Motor Vehicles, section 2449(d)(3) Idling, idling times of construction vehicles are limited to no more than five minutes, thereby minimizing or eliminating unnecessary and wasteful consumption of fuel due to unproductive idling of

construction equipment. Enforcement of idling limitations is realized through periodic site inspections conducted by City building officials, and/or in response to citizen complaints.

The proposed project would not result in an inefficient, wasteful, or unnecessary use of energy. Construction energy impacts would be less than significant.

### **Operational Energy Demands**

Energy consumption in support of or related to project operations would include transportation energy demands (energy consumed by employee vehicles and a shuttle bus accessing the project site) and facilities energy demands (energy consumed by building operations and site maintenance activities).

### **Transportation Fuel Consumption**

Using the CalEEMod output from the air quality and GHG analyses of the attached technical report in Appendix B, autos and light trucks were assumed to travel an average of 14.7 miles and 3- and 4-axle trucks were assumed to travel an average of 8.7 miles. To present a worst-case scenario, it was assumed that vehicles would operate 365 days per year rather than the more likely 253 days (excluding weekends and up to 8 holidays).

The proposed project would generate 149 trips per day; 138 auto and/or light trucks, and 11 medium to heavy trucks. The vehicle fleet mix was based on the CalEEMod output. An estimated 41,713 gallons of gasoline and diesel would be consumed per year for the operation of the proposed project.

### **Facility Energy Demands (Electricity and Natural Gas)**

Building operation would result in the consumption of electricity (provided by Southern California Edison [SCE]) and natural gas (provided by Southern California Gas Company). Based on CalEEMod energy use estimations from the air quality and GHG analyses of the attached technical report in Appendix B, operations for the proposed bridge shelter would consume approximately 58,898 kWh of electricity and an estimated 169,309-kilo British thermal unit (kBTU) of natural gas on an annual basis (Appendix B).

The project would be designed and constructed in accordance with the State's Title 24 energy efficiency standards. Title 24 standards include a broad set of energy conservation requirements that apply to the structural, mechanical, electrical, and plumbing systems in a building. For example, the Title 24 Lighting Power Density requirements define the maximum wattage of lighting that can be used in a building based on its square footage. Title 24 standards, widely regarded as the most advanced energy efficiency standards, would help reduce the amount of energy required for lighting, water heating, and heating and air conditioning in buildings and promote energy conservation.

Therefore, the proposed project would not result in an inefficient, wasteful, or unnecessary use of energy. Operational energy impacts would be less than significant.

**b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?**

**Less than significant impact.** Regarding the State’s Energy Plan and compliance with Title 24 California Code of Regulations energy efficiency standards, the applicant is required to comply with the CALGreen requirements for energy efficient buildings and appliances. CalGreen Standards require that new buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant-emitting finish materials.

Regarding Pavley (AB 1493) regulations, an individual project does not have the ability to comply or conflict with these regulations because they are intended for agencies and their adoption of procedures and protocols for reporting and certifying GHG emission reductions from mobile sources.

California’s Renewables Portfolio Standard (RPS) requires that 33 percent of electricity retail sales be served by renewable energy sources by 2020. The proposed project would be served with gas provided by Southern California Gas (SoCalGas). SoCalGas offers renewable natural gas captured from sources like dairies, wastewater treatment plants and landfills (SoCalGas 2019). The proposed project would be served with electricity provided by SCE (SCE 2019). SCE’s 2017 power mix included 32 percent eligible renewable (biomass and biowaste, geothermal, eligible hydroelectric, solar, and wind), 34 percent unspecified sources of power, 20 percent natural gas, 8 percent large hydroelectric, and 6 percent nuclear (CEC 2018). SCE also offers a Green Rate 50 percent option that sources 66 percent of its power mix from eligible renewable energy sources, and a Green Rate 100 percent option that sources 100 percent of its power mix from eligible renewable energy sources. SCE is on track to meet the California RPS of 33 percent by 2020 mandate.

Finally, as the City of Costa Mesa does not currently have a Climate Action Plan, project compliance has been compared to the goals of the ARB Scoping Plan. The Scoping Plan contains measures to reduce the State’s emissions, and one of its key elements is to expand and strengthen existing energy efficiency programs as well as building and appliance standards. The proposed project is consistent with the applicable strategies of the ARB Scoping Plan.

Therefore, the proposed project would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency. Impacts would be less than significant.

## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>7. Geology and Soils</b> <i>Would the project:</i>				
a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

Information and analysis for Geology and Soil impacts are based on the Costa Mesa General Plan Safety Element, General Plan EIR and DOC Geologic Survey maps.

The City of Costa Mesa is located within the vicinity of several known active and potentially active earthquake faults, including the Newport-Inglewood Fault Zone and the San Joaquin Hills Fault Zone

(City of Costa Mesa 2016). Other faults such as the San Andreas, Whittier, Elsinore, Palos Verdes, and Puente Hills Faults are predicted to affect Costa Mesa with strong shaking but light damage (City of Costa Mesa 2016). According to Figure 4.6-6, Geologic Hazards Map, in the General Plan EIR, the project is not adjacent to any fault zones. The site is not located in a State Seismic Hazard Zone for liquefaction identified in Costa Mesa’s General Plan EIR Liquefaction Map, Figure 4.6-4 (City of Costa Mesa 2016).

## Environmental Evaluation

This analysis is based on the Seismic Report (Probable Maximum Loss) 3175 Airway Avenue by EBI Consulting, which is contained in Appendix E.

Would the project:

- a) **Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury or death involving:**
  - i) **Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.**

**Less than significant impact.** Seismically induced ground rupture is defined as the physical displacement of surface deposits in response to an earthquake’s seismic waves. Ground rupture is most likely to occur along active faults, and typically occurs during earthquakes of magnitude 5.0 or higher. Ground rupture only affects the area immediately adjacent to a fault.

The Alquist-Priolo Earthquake Fault Zoning Act was passed in 1972 to mitigate the hazard of surface faulting to structures for human occupancy. The Act’s main purpose is to prevent the construction of buildings used for human occupancy on the surface trace of active faults. The Act requires the State Geologist to establish regulatory zones, known as “Alquist-Priolo (AP) Earthquake Fault Zones,” around the surface traces of active faults and to issue appropriate maps. If an active fault is found, a structure for human occupancy cannot be placed over the trace of the fault and must be set back from the fault (typically 50 feet).

As indicated in the Seismic Report, the project is not located near any fault zones. The nearest fault zone is the Newport-Inglewood Fault Zone: Bolsa-Fairview fault which is located approximately two miles west of the project. According to the Seismic Report, the project site soil type is Alluvium, S<sub>D</sub>—Seismic Zone 4 (assumed soil profile), which is assumed to have a low fault rupture potential. As such, the project would not expose substantial numbers of people or structures to significant risk of loss, injury, or death due to a rupture of a known fault. Additionally, the DOC Geologic Survey does not identify the project to be located within an Alquist-Priolo Fault zone (DOC 2019). Therefore, impacts would be less than significant.



**ii) Strong seismic ground shaking?**

**Less than significant impact.** The project is located in Southern California, and would therefore be subject to strong ground shaking associated with seismic activity, especially since it is located near faults with the potential to cause moderate to large earthquakes. As previously mentioned, the project site is not located within an AP earthquake fault zone. Additionally, prior to tenant improvements to the existing industrial building, the project would be required to adhere to the seismic design parameters of the latest California Building Standards Code (CBC).

Compliance with the seismic design parameters as outlined in the most recent CBC would ensure that impacts are reduced to less than significant levels.

**iii) Seismic-related ground failure, including liquefaction?**

**Less than significant impact.** Liquefaction describes the behavior whereby a saturated or partially saturated soil substantially loses strength and stiffness in response to an applied stress, usually strong ground shaking during an earthquake. A low relative density and loose consistency of the granular materials, shallow groundwater table, long duration, and high acceleration of seismic shaking are some of the factors that can cause liquefaction. Presence of predominately cohesive or fine-grained materials and/or absence of saturated conditions can preclude liquefaction. According to Figure 4.6-4, Liquefaction Map, in the Costa Mesa General Plan EIR and the DOC Geologic Survey maps, the project site is not located within a State Seismic Hazard Zone for liquefaction (City of Costa Mesa 2016).

The project must be compliant with Standard Condition 2.7-1, which requires compliance with the California Building Code.

According to the Seismic Report, the project site soil type is Alluvium,  $S_D$ —Seismic Zone 4 (assumed soil profile), which is assumed to have a low liquefaction potential. Thus, impacts related to liquefaction would be less than significant.

**iv) Landslides?**

**Less than significant impact.** The project is located in an urban and developed area surrounded by other industrial buildings and the project site is on a relatively flat area. As such, landslides are not anticipated to occur on the project site. The DOC Geologic Survey maps indicate the project is not located within an earthquake-induced landslide zone of required investigation (DOC 2019). According to the Seismic Report, the project site soil type is Alluvium,  $S_D$ —Seismic Zone 4 (assumed soil profile), which is assumed to have a low landslide potential. Therefore, no impacts related to landslides would occur.

**b) Result in substantial soil erosion or the loss of topsoil?**

**No impact.** The project site is currently developed with an industrial building and the conversion of the building would not involve any demolition to existing structures. The project site is generally flat. No erosion would occur due to construction being limited to internal building improvements. Exterior building improvements would be limited to minor landscaping, ground disturbing activities

within the property perimeter to upgrade utilities, installation of a gate and restriping of existing pavement. No earthwork movement involving import/export of dirt or grading is proposed. Additionally, the existing industrial building was designed and constructed in compliance with CBC standards, which addressed the potential for soil erosion and loss of topsoil. There is no evidence that such potential exists at this time. As such, no impacts would occur.

- c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?**

**No impact.** The project site is currently developed with an industrial building. The current building was designed to address any soils and geological constraints including on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse. Because the site is flat, the potential for landslides to occur does not exist. There is no evidence of these potential impacts to exist at this time. As such, no impacts would occur.

- d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?**

**No impact.** The project site is currently developed with an industrial building. The current building was designed to address any soils and geological constraints at the time the building was constructed. At present time, no geologic issues direct or indirect, exist for the project site. As such, no impacts would occur.

- e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?**

**No impact.** The project site is currently developed with an industrial building, which is currently served by an existing sanitary sewer system, which is connected to the City's municipal sewer system. No septic tanks are proposed for the project site. As such, no impacts would occur.

- f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?**

**Less than significant impact with mitigation incorporated.** According to the paleontological records search response received from the Natural History Museum of Los Angeles County (NHM), there are no vertebrate localities that lie directly within project boundaries. However, there are localities nearby from sedimentary deposits similar to those occurring at depth in the proposed project area. Geologic mapping concluded that the entire project area contains surface material composed of marine younger Quaternary Terrace deposits, although vertebrate fossil localities in the project area almost always contain just terrestrial fossil vertebrates. Additionally, these deposits typically do not contain significant vertebrate fossils in the uppermost layers, but are usually underlain by older Quaternary deposits that frequently contain significant vertebrate fossils.

The paleontological records search also identified vertebrate fossil localities LACM 4219, LACM 3267, LACM 1339 in areas surrounding the project site. With implementation of Mitigation Measure GEO-

1, potential impacts to paleontological resources or unique geologic features would be brought to a less than significant level.

## Standard Conditions

**SC 2.7-1** The Applicant shall comply with the requirements of the most current California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards Code, and the California Energy Code (or the applicable adopted California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards, California Energy Code at the time of plan submittal or permit issuance), and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Areas of alteration and additions shall comply with the California Green Building Standards Code section 5.303.2 and 5.303.2.

## Mitigation Measures

**MM GEO-1** Any inadvertent excavations in the project site shall be monitored closely to quickly and professionally recover any fossil remains discovered while not impeding development.

Sediment samples shall be collected and processed to determine the small fossil potential in the proposed project area. Any fossils recovered during mitigation shall be deposited in an accredited and permanent scientific institution for the benefit of current and future generations.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>8. Greenhouse Gas Emissions</b> <i>Would the project:</i>				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

This analysis is based on the Permanent Bridge Shelter Project Air Quality, Global Climate Change, and Energy Impact Analysis by Ganddini Group Inc. (Ganddini Group Inc. 2019; Appendix B).

Would the project:

- a) **Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?**

**Less than significant impact.** Gases that trap heat in the atmosphere are referred to as GHGs. The effect is analogous to the way a greenhouse retains heat. Common GHGs include water vapor, carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), nitrous oxide (N<sub>2</sub>O), chlorofluorocarbons, hydrofluorocarbons, perfluorocarbons, sulfur hexafluoride, ozone, and aerosols. Natural processes and human activities emit GHGs. The presence of GHGs in the atmosphere affects the earth’s temperature. It is believed that emissions from human activities, such as electricity production and vehicle use, have elevated the concentration of these gases in the atmosphere beyond the level of naturally occurring concentrations.

The proposed project is anticipated to generate GHG emissions from area sources, energy usage, mobile sources, waste, water, and construction equipment. Results of the GHG emissions calculations, and the CalEEMod Model run for the proposed project, are included in the attached technical report in Appendix B. A summary of the results is shown below in Table 19. The proposed project’s unmitigated emissions would be 253.73 MT CO<sub>2</sub>e per year. A cumulative global climate change impact would occur if the GHG emissions created from the on-going operations of the proposed project would exceed the SCAQMD threshold of 3,000 MT CO<sub>2</sub>e per year for all land uses. Compliance with 2016 Green Building Standards will further reduce project-related GHG emissions. Therefore, the proposed project’s GHG emissions are considered to be less than significant.

**Table 19: Project-Related Greenhouse Gas Emissions**

Category	Greenhouse Gas Emissions (Metric Tons/Year)					
	Bio-CO <sub>2</sub>	NonBio-CO <sub>2</sub>	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Area Sources <sup>1</sup>	0.00	3.45	3.45	0.00	0.00	3.48
Energy Usage <sup>2</sup>	0.00	27.80	27.80	0.00	0.00	27.92
Mobile Sources <sup>3</sup>	0.00	203.74	203.74	0.01	0.00	203.95
Waste <sup>4</sup>	2.74	0.00	2.74	0.16	0.00	6.80
Water <sup>5</sup>	0.31	6.16	6.47	0.03	0.00	7.50
Construction <sup>6</sup>	0.00	4.05	4.05	0.00	0.00	4.08
Total Emissions	3.05	245.20	248.25	0.21	0.00	253.73
SCAQMD Draft Threshold						3,000
Exceeds Threshold?						No
Notes:						
<sup>1</sup> Area sources consist of GHG emissions from consumer products, architectural coatings, and landscape equipment.						
<sup>2</sup> Energy usage consist of GHG emissions from electricity and natural gas usage.						
<sup>3</sup> Mobile sources consist of GHG emissions from vehicles.						
<sup>4</sup> Solid waste includes the CO <sub>2</sub> and CH <sub>4</sub> emissions created from the solid waste placed in landfills.						
<sup>5</sup> Water includes GHG emissions from electricity used for transport of water and processing of wastewater.						
Construction GHG emissions CO <sub>2</sub> e based on a 30-year amortization rate.						
Source: CalEEMod Version 2016.3.2 for Opening Year 2020; Ganddini Group Inc. 2019 (Appendix B)						

**b) Conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?**

**Less than significant impact.** The proposed project would have the potential to conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of GHGs. The City of Costa Mesa does not currently have a Climate Action Plan; therefore, the project has been compared to the goals of the ARB Scoping Plan.

**Scoping Plan**

Emission reductions in California alone would not be able to stabilize the concentration of GHGs in the earth’s atmosphere. However, California’s actions set an example and drive progress towards a reduction in GHGs elsewhere. If other states and countries were to follow California’s emission reduction targets, this could avoid medium or higher ranges of global temperature increases. Thus, severe consequences of climate change could also be avoided.

The ARB approved a Climate Change Scoping Plan in December 2008 (ARB 2008). The Scoping Plan outlines the State’s strategy to achieve the 2020 GHG emissions limit. The Scoping Plan “proposes a comprehensive set of actions designed to reduce overall GHG emissions in California, improve our environment, reduce our dependence on oil, diversify our energy sources, save energy, create new

jobs, and enhance public health” (ARB 2008). The measures in the Scoping Plan have been in place since 2012.

This Scoping Plan calls for an “ambitious but achievable” reduction in California’s GHG emissions, cutting approximately 30 percent from business-as-usual emission levels projected for 2020, or about 10 percent from today’s levels. On a per-capita basis, that means reducing annual emissions of 14 tons of carbon dioxide for every man, woman, and child in California down to about 10 tons per person by 2020.

In May 2014, the ARB released its *First Update to the Climate Change Scoping Plan* (ARB 2014). This *Update* identifies the next steps for California’s leadership on climate change. While California continues on its path to meet the near-term 2020 GHG limit, it must also set a clear path toward long-term, deep GHG emission reductions. This report highlights California’s success to date in reducing its GHG emissions and lays the foundation for establishing a broad framework for continued emission reductions beyond 2020, on the path to 80 percent below 1990 levels by 2050.

In November 2017, ARB released the 2017 Scoping Plan. This Scoping Plan incorporates, coordinates, and leverages many existing and ongoing efforts and identifies new policies and actions to accomplish the State’s climate goals, and includes a description of a suite of specific actions to meet the State’s 2030 GHG limit. In addition, Chapter 4 provides a broader description of the many actions and proposals being explored across the sectors, including the natural resources sector, to achieve the State’s mid and long-term climate goals.

Guided by legislative direction, the actions identified in the 2017 Scoping Plan reduce overall GHG emissions in California and deliver policy signals that will continue to drive investment and certainty in a low carbon economy. The 2017 Scoping Plan builds upon the successful framework established by the Initial Scoping Plan and First Update, while identifying new, technologically feasible, and cost-effective strategies to ensure that California meets its GHG reduction targets in a way that promotes and rewards innovation, continues to foster economic growth, and delivers improvements to the environment and public health, including in disadvantaged communities. The 2017 Scoping Plan includes policies to require direct GHG reductions at some of the State’s largest stationary sources and mobile sources. These policies include the use of lower GHG fuels, efficiency regulations, and the Cap-and Trade Program, which constrains and reduces emissions at covered sources.

Project consistency with applicable strategies of both the 2008 and 2017 Scoping Plans are assessed in Table 20 below (from the attached technical report in Appendix B). As shown in Table 20, the proposed project is consistent with the applicable strategies of these Scoping Plans. Therefore, the project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of GHGs. Furthermore, the project will also comply with applicable Green Building Standards and City of Costa Mesa’s policies regarding sustainability (as dictated by the City’s General Plan). Impacts would be less than significant.

**Table 20: Project Consistency with ARB Scoping Plan Policies and Measures**

2008 Scoping Plan Measures to Reduce Greenhouse Gas Emissions	Project Compliance with Measure
California Light-Duty Vehicle Greenhouse Gas Standards—Implement adopted standards and planned second phase of the program. Align zero-emission vehicle, alternative and renewable fuel and vehicle technology programs with long-term climate change goals.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Energy Efficiency—Maximize energy efficiency building and appliance standards; pursue additional efficiency including new technologies, policy, and implementation mechanisms. Pursue comparable investment in energy efficiency from all retail providers of electricity in California.	Consistent. The proposed project will be compliant with the current Title 24 standards.
Low Carbon Fuel Standard—Develop and adopt the Low Carbon Fuel Standard.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Vehicle Efficiency Measures—Implement light-duty vehicle efficiency measures.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Medium/Heavy-Duty Vehicles—Adopt medium and heavy-duty vehicle efficiency measures.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Green Building Strategy—Expand the use of green building practices to reduce the carbon footprint of California’s new and existing inventory of buildings.	Consistent. The CALGreen (proposed Part 11, Title 24) was adopted as part of the California Building Standards Code in the CCR. Part 11 establishes voluntary standards, that are mandatory in the 2016 edition of the Code, on planning and design for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants. The proposed project will be subject to these mandatory standards.
High Global Warming Potential Gases—Adopt measures to reduce high global warming potential gases.	Consistent. ARB identified five measures that reduce hydrofluorocarbons emissions from vehicular and commercial refrigeration systems; vehicles that access the proposed project that are required to comply with the measures will comply with the strategy.
Recycling and Waste—Reduce methane emissions at landfills. Increase waste diversion, composting, and commercial recycling. Move toward zero-waste.	Consistent. The state is currently developing a regulation to reduce methane emissions from municipal solid waste landfills. The proposed project will be required to comply with City programs, such as City’s recycling and waste reduction program, which comply, with the 75 percent reduction required by 2020 per AB 341.

2008 Scoping Plan Measures to Reduce Greenhouse Gas Emissions	Project Compliance with Measure
Water—Continue efficiency programs and use cleaner energy sources to move and treat water.	Consistent. The proposed project will comply with all applicable City ordinances and CAL Green requirements.
2017 Scoping Plan Recommended Actions to Reduce Greenhouse Gas Emissions	Project Compliance with Recommended Action
Implement Mobile Source Strategy: Further increase GHG stringency on all light-duty vehicles beyond existing Advanced Clean Car regulations.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement Mobile Source Strategy: At least 1.5 million zero emission and plug-in hybrid light-duty electric vehicles by 2025 and at least 4.2 million zero emission and plug-in hybrid light-duty electric vehicles by 2030.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement Mobile Source Strategy: Innovative Clean Transit: Transition to a suite of to-be- determined innovative clean transit options. Assumed 20 percent of new urban buses purchased beginning in 2018 will be zero emission buses with the penetration of zero-emission technology ramped up to 100 percent of new sales in 2030. Also, new natural gas buses, starting in 2018, and diesel buses, starting in 2020, meet the optional heavy-duty low-NO <sub>x</sub> standard.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement Mobile Source Strategy: Last Mile Delivery: New regulation that would result in the use of low NO <sub>x</sub> or cleaner engines and the deployment of increasing numbers of zero-emission trucks primarily for class 3-7 last mile delivery trucks in California. This measure assumes zero emission vehicles (ZEVs) comprise 2.5 percent of new Class 3–7 truck sales in local fleets starting in 2020, increasing to 10 percent in 2025 and remaining flat through 2030.	Consistent. These are ARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement SB 350 by 2030: Establish annual targets for statewide energy efficiency savings and demand reduction that will achieve a cumulative doubling of statewide energy efficiency savings in electricity and natural gas end uses by 2030.	Consistent. The proposed project will be compliant with the current Title 24 standards.
By 2019, develop regulations and programs to support organic waste landfill reduction goals in the SLCP and SB 1383.	Consistent. The proposed project will be required to comply with City programs, such as City’s recycling and waste reduction program, which comply, with the 75 percent reduction required by 2020 per AB 341.
<p>Notes:</p> <p>(1) Source: ARB Scoping Plan (2008 and 2017)</p>	



## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>9. Hazards and Hazardous Materials</b> <i>Would the project:</i>				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Expose people or structures, either directly or indirectly to a significant risk of loss, injury or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

A project-specific Phase I Environmental Site Assessment (ESA) was prepared on September 26, 2018 by AES Due Diligence. The purpose of the Phase I ESA was to identify recognized environmental conditions (RECs) associated with the project site, using Environmental Data Resources, Inc. (EDR) database searches, interviews and field observations (Appendix F).

The Phase I ESA findings are summarized below:

According to the EDR report review, neither the project site nor any of the nearby properties are listed on the Cortese List.

Based on site observations, no Historical Recognized Environmental Conditions (HRECs), RECs, Business Environmental Risk, or Controlled Recognized Environmental Conditions (CREC) were found on the project site.

Based on the construction date of 1973, and on-site observations the present building is suspect for containing lead-based paint (LBP) as a *de minimis* condition. The building is also suspect for asbestos containing material (ACM). The suspect materials are non-friable (asbestos-containing materials that cannot be easily reduced to powder by hand when dry) and in good condition. Therefore, according to the United States Environmental Protection Agency (EPA), the ACM can be maintained under an Asbestos Operations and Maintenance (O&M) Plan to maintain the suspect materials in place.

**Initial Study for John Wayne Airport New Jet Fuel Pipeline and Tank Farm (Adopted 2016).** This IS/MND analyzed the potential impacts associated with the implantation of an approximately 5-mile-long, 12-inch California Public Utilities Commission regulated common carrier jet fuel pipeline connecting the John Wayne Airport in Orange County, California, to an existing 16-inch products pipeline operated by Kinder Morgan Energy Partners. This project provided airline companies operating at the John Wayne Airport with an enhanced jet fuel storage and transportation system (SNA Pipeline). The SNA Pipeline increased airport-related jet fuel storage capabilities, while allowing airlines to access jet fuel from all Long Beach area refineries and terminals without the need for highway truck transportation resulting in the elimination of 44 to 70 individual tanker truck trips per day. The two new storage tanks constructed as part of this project in 2018 are located approximately 590 feet east of the proposed project boundary. Deliveries of jet fuel occur weekly via the 12-inch pipeline, and deliveries from the new storage tanks to the three previously-existing tanks located further northeast occur daily. The three previously existing storage tanks have a total shell capacity of 900,000 gallons but a net operating capacity of only approximately 650,000 gallons. The two recently constructed storage tanks each have a total shell capacity of 1,722,000 gallons and a net operating capacity of 1,554,000 gallons. This volume is required to store enough fuel to supply the Airport for an entire week between pipeline delivery cycles.

## Environmental Evaluation

Would the project:

- a) **Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?**

**Less than significant impact with mitigation incorporated.** The project proposes to convert and reuse approximately 14,816 square feet of the existing industrial building for an emergency Permanent Bridge Shelter use. The other 15,000 square feet of the building would remain as an industrial building. The project-specific Phase I ESA indicates the existing building may contain ACM and LBP and would be remodeled in order to implement the proposed emergency Permanent Bridge Shelter.

The proposed project would be required to comply with existing hazardous materials regulations, and verification of compliance would be monitored by state agencies (such as the Occupational Safety and Health Administration in the workplace or Department of Toxic Substances Control for Hazardous waste) and local agencies (such as the CMFD). According to CMMC Title 7 Chapter II, the City adopted the California Fire Code, 2016 Edition, for the purpose of prescribing regulations governing conditions hazardous to life and property from hazardous materials or explosions (as well as fire). Compliance with existing safety standards related to the handling, use, and storage of hazardous materials, and compliance with the safety procedures mandated by applicable federal, state, and local laws and regulations (e.g., CMMC Title 7 Chapter II, the Resource Conservation and Recovery Act, California Hazardous Waste Control Law, and principles prescribed by the California Department of Health Services, Centers for Disease Control and Prevention, and National Institute of Health) would be required.

In addition, the proposed project would result in the on-site use of common types of hazardous materials, such as cleaning and degreasing solvents, fertilizers, pesticides, and other materials used by the maintenance team on-site. Thus, the project would result in an increase in the use of cleaning products and other materials routinely used in building maintenance and landscaping. These potentially hazardous materials, however, would not be of a type or occur in sufficient quantities to pose a significant hazard to the public and safety or the environment. Therefore, with implementation of Standard Conditions 2.9-1 through 4.8-3 and Mitigation Measure HAZ-1, impacts would be less than significant.

**b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?**

**Less than significant impact with mitigation incorporated.** As mentioned above, the project-specific Phase I ESA indicates due to the prior and existing industrial use of the building, it is possible that ACM and/or LBP could be released into the environment during renovations and remodeling.

If ACMs are identified and need to be disturbed, repaired or removed, a licensed abatement contractor should be consulted. The project would comply with the survey, notification and work plan requirements of SCAQMD Rule 1403, Asbestos Emissions from Demolition/Renovation Activities. Suspect ACMs can also be managed under the auspices of an O&M plan. According to the EPA, ACM that is intact and in good condition can usually be safely managed in place under the O&M program until removal is dictated by renovation, demolition, or deteriorating material conditions. Mitigation Measure HAZ-1 and Standard Conditions 2.9-1 through 2.9-3 are included to ensure that the project would not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.

Implementation of MM HAZ-1 and compliance with applicable regulations and Standard Conditions would ensure impacts related to accidental release of hazardous materials into the environment during project construction would be less than significant.

As analyzed in the IS/MND for the John Wayne Airport New Jet Fuel Pipeline and Tank Farm (Jet Fuel IS/MND), Table 21 below summarizes the probabilities of release and release with fire for the two recently constructed storage tanks.

**Table 21: Probabilities of Combined Storage Facility Accidents**

Spill Size	Annual Probability of Spill	Expected Frequency between Spills	Annual Probability of Spill with Fire	Expected Frequency between Fires
10% loss (126,000 gal)	$4.5 \times 10^{-4}$	2,200 yrs	$4.5 \times 10^{-5}$	22,200 yrs
100% loss (1,260,000 gal)	$5.0 \times 10^{-5}$	50,000 yrs	$5.0 \times 10^{-6}$	500,000 yrs
Any Size Loss	$5.0 \times 10^{-4}$	2,000 yrs	$5.0 \times 10^{-5}$	20,000 yrs

Source: Michael Brandman Associates 2013.

The Jet Fuel IS/MND analyzed the risk associated with the implementation of the Jet Fuel Pipeline and Tank Farm project. The combined probability of an aircraft impacting one of the two tank storage areas would be  $1.3 \times 10^{-5}$  or once every 77,000 years. This would still be classified as rare based on the Risk Matrix. The probability of an aircraft impact with ensuing fire is estimated to be  $6.5 \times 10^{-6}$  or once every 154,000 years. Again, this is also classified as rare according to the Risk Matrix.

The consequences of such an accident would be dependent on many factors, including the type of aircraft involved. If the secondary containment walls are not breached, the consequence of the fire would be the same as that presented for a tank farm fire. If the tank is ruptured and a wall is breached, then the jet fuel could escape and spread into the surrounding area. According to the Risk Matrix, an accident classified as rare is acceptable as proposed if its resulting consequence is major or less. If the resulting consequence is severe or catastrophic, the risk is still classified as acceptable if the project is equipped with engineering and/or administrative controls. For the Jet Fuel Pipeline and Tank Farm project, Project Design Features as well as Mitigation Measures were identified and implemented to ensure that hazards and risk impacts would remain less than significant. Therefore, the potential for impacts related to aircraft operations near the proposed storage tank location is considered less than significant.

Accumulation of static electricity during project operation is minimized within the Jet Fuel project components through a number of methods. First, a static dissipater additive is added to the jet fuel at the source of production to increase the electrical conductivity of the fuel. This assists in reducing the accumulation of static electricity by increasing the rate of charge dissipation. Additionally, the pipeline and the nozzles at the inlet of the storage tanks were designed to limit velocities to below standard and accepted values. Low flow velocities further reduce the accumulation of static electricity. Finally, all equipment is bonded to equalize electrical charges and grounded to direct any static discharge to a safe location. This includes both permanent structures such as tanks, tank roofs, and pipeline receiving equipment, as well as temporary equipment such as maintenance trucks, welding equipment, etc. Therefore, impacts associated with static electricity are considered less than significant.

**c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?**

**No impact.** There are no schools within a 0.25-mile radius of the project. The nearest school is Mariners Christian School located at 300 Fischer Avenue, approximately 0.40 mile southwest of the project. Project implementation would not involve the use of significant quantities of hazardous materials and therefore would not have the potential to expose nearby schools to hazardous materials, substances or wastes. As such, no impacts would occur.

**d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?**

**Less than significant impact.** As mentioned above, the project specific Phase I ESA was conducted by AES Due Diligence to identify recognized environmental conditions associated with the project site. Based on site observations and review of EDR reports, no HRECs, RECs, BER or CREC were found on the project site. However, due to the building's original construction date of 1973, it is possible that ACM and/or LBP could be released into the environment during renovations and remodeling the building. Additionally, the project is located 0.14 mile from a storage tank farm located on John Wayne Airport and approximately 0.12 mile from an underground jet fuel pipeline that runs along Red Hill Avenue. A Leak Prevention, Detection, and Response Addendum was prepared for the John Wayne Airport Jet Fuel Pipeline and Fuel Storage Tanks in 2013. This document provides direction should there be any leaks in the storage tanks. John Wayne Airport staff regularly inspects these tanks and follows all the Best Management Practices (BMPs) to ensure public safety. Implementation of project would not have any impact on the tanks, nor would it expose the project employees or clients to unreasonable risks. Therefore, with implementation of Mitigation Measure HAZ-1, impacts would be reduced to less than significant.

**e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?**

**Less than significant impact.** John Wayne Airport is located approximately 0.17 mile southeast of the project. Because of the orientation of the airport runways, the project site is located outside of the 70 A-weighted decibel (dBA) Community Noise Equivalent Level (CNEL) airport noise contours (experiencing noise levels from 65 dBA up to 70 dBA CNEL in the project vicinity). These noise levels are within the City of Costa Mesa's conditionally acceptable land use compatibility threshold of 70 dBA CNEL for transient lodging land use developments. Based on EPA Protective Noise Levels, the existing building would provide 25 dBA in exterior-to-interior noise reduction, which would meet the State's interior noise standard of 45 dBA CNEL for indoor sleeping areas (i.e., 70 dBA–25 dBA = 45 dBA). Therefore, implementation of the project would not expose persons visiting or working in the project vicinity to excessive noise levels from airport activity, and impacts would be less than significant.

**f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?**

**No impact.** The City of Costa Mesa adopted an Emergency Operations Plan (EOP) in 2013. The purpose of the EOP is to provide guidance during emergencies and natural disasters that would require a coordinated and immediate response. The EOP complies with State law and interfaces with other cities and counties within Southern California. Additionally, the EOP coordinates with other State and Southern California governmental agencies, special districts and non-governmental organizations involved in emergency preparedness, management and response operations (City of Costa Mesa 2013). The plan addresses a warning system, emergency broadcast system (EBS), Emergency Operations Center (EOC), and shelter system. The EOP considered the City's evacuation routes in its planning. General Plan Safety Element Figure S-7, Emergency Evacuation Routes, illustrates the City's emergency evacuation routes and indicates that Adams Avenue and Harbor Boulevard, are designated emergency evacuation routes. The project does not include any characteristics that would physically impair or otherwise interfere with emergency response or evacuation in the project vicinity.

The City also participates in the Standardized Emergency Management System (SEMS) in compliance with the National Incident Management System. The Governor's Office of Emergency Services administers SEMS and coordinates multi-agency responses to disasters. SEMS is required by the California Government Code and was developed to provide a "common language" for emergency response personnel to request resources and equipment from other agencies (Cal OES 2019). In addition to resource allocation, SEMS was established to minimize the duplication of efforts during emergency response by defining common tactics and identifying a clear chain of command. The SEMS program is developed to respond to incidents as they occur, and does not provide long-term recovery guidelines.

The project would result in the conversion of an existing industrial building to a Permanent Bridge Shelter. Prior to approval, the project would be required to accommodate emergency vehicles to ensure adequate response and operation by Costa Mesa Police and Fire Departments. Therefore, project implementation is not anticipated to impair implementation of or physically interfere with an adopted emergency response plan. As such, no impacts would occur.

**g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?**

**No impact.** According to the Orange County Fire Hazard Severity Zone Maps, the project is not within a Very High Fire Hazard Severity Zone of State, federal or Local Responsibility Area (LRA) (CAL FIRE 2007). The project is located in an urbanized area surrounded by other industrial uses. As such, the project site is not subject to potential wildland fires. The Costa Mesa Fire Department would provide fire protection and respond to fire and/or emergency situations occurring in the project area, including the project site. The nearest fire station to the project is Orange County Fire Authority Station #33 located approximately 0.11 miles east of the project site. The nearest CMFD fire station is the Baker Fire Station #2 located at 800 Baker Street, approximately 1.07 miles west of

the proposed project. Therefore, no associated impacts to people or structures involving wildland fires would occur.

## Standard Conditions

- SC 2.9-1** Prior to remodeling or renovations, removal and/or abatement of asbestos containing building materials, lead based paints, and hazardous materials associated with the existing building materials, an investigation shall be conducted by a qualified environmental professional in consultation with the Costa Mesa Fire Department. An asbestos and hazardous materials abatement plan shall be developed by the qualified environmental professional, in order to clearly define the scope and objective of the abatement activities.
- SC 2.9-2** During any construction activities, including remodeling or renovations, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1529, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practices by workers exposed to asbestos. Asbestos-contaminated debris and other wastes shall be managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.
- SC 2.9-3** During any construction activities, including remodeling or renovations, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1532.1, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practice by workers exposed to lead. Lead-contaminated debris and other wastes shall be managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.

## Mitigation Measures

- MM HAZ-1** Based on the age of the existing building, there is a potential that asbestos-containing materials (ACMs) and lead-based paints (LBPs) are present within the on-site structures. In the event that on-site structures are to be impacted or during remodeling/renovation activities, an asbestos and lead paint survey shall be conducted prior to the disturbance or removal of any suspect ACMs and LBPs; these materials shall be characterized for asbestos and lead by a reliable method. All activities involving ACMs and LBPs shall be conducted in accordance with governmental regulations.



Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>10. Hydrology and Water Quality</b> <i>Would the project:</i>				
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(i) result in substantial erosion or siltation on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(iv) impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

Would the project:

- a) **Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?**

**Less than significant impact.** As part of Section 402 of the Clean Water Act, EPA has established regulations under the National Pollutant Discharge Elimination System (NPDES) program to control

direct storm water discharges. The NPDES program regulates industrial pollutant discharges, including construction activities. Remodel and renovations to the existing industrial building would proceed with the existing NPDES permit for the project site.

Pursuant to CMMC Section 8-32, Water Quality, all new development and redevelopment within the City must be undertaken in accordance with the Orange County Drainage Area Management Plan (DAMP), including but not limited to the Development Project Guidance; and any conditions and requirements established by the Development Services Department and the Public Services Department, which are reasonably related to the reduction or elimination of pollutants in stormwater runoff from the project site. Prior to the City's issuance of a Building Permit for the project, the Development Services Department and Public Services Department would review the plans and impose terms, conditions, and requirements, as needed, in accordance with CMMC Section 8-32.

Compliance with the NPDES, DAMP, and CMMC requirements would ensure that the project's impacts to water quality would be less than significant.

**b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?**

**Less than significant impact.** According to the Mesa Water 2015 Urban Water Management Plan (UWMP), the City relies on groundwater from the Orange County Basin. The OC Basin is managed by the Orange County Water District and covers approximately 350 square miles. The project does not propose to remove an existing groundwater recharge area or substantially reduce runoff that results in groundwater recharge such that existing wells would no longer be able to operate. The proposed project consists of the use of an existing developed site. Thus, the project would not substantially decrease water supplies or interfere substantially with groundwater recharge. Impacts would be less than significant.

**c) Substantially alter the existing drainage pattern of area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:**

**(i) result in substantial erosion or siltation on- or off-site;**

**Less than significant impact.** The project is located within an urbanized area of the City of Costa Mesa. The City contains approximately 42 miles of storm drains and 1,165 catch basins and is responsible for the maintenance of its storm drain system (City of Costa Mesa 2016). Implementation of the project does not propose grading which may result in loose sediment that can be transported by surface water or wind into nearby storm drains and waterways. Because the project plans to utilize the existing on-site structure, the project would not result in substantial erosion or siltation on- or off-site. Impacts related to erosion and siltation would be less than significant.

- (ii) **substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite;**

**Less than significant impact.** The site is currently developed and covered with impervious surfaces, the project would not substantially increase the rate or amount of surface runoff resulting in flooding on- or off-site. As such, impacts related to the alteration of existing drainage patterns in the area resulting in flooding on- or off-site would be less than significant.

- (iii) **create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or**

**Less than significant impact.** Project implementation would not result in alteration of any existing drainage course. The project would utilize existing drainage systems. The increase in discharges would not impact local storm drain capacity. The project would not result in substantial pollutant loading such that treatment control BMPs would be required to protect downstream water quality. With implementation of the BMPs as noted in Impact (a), other impacts from polluted runoff, such as from oil and other pollutants from parking areas, would be reduced to acceptable levels. Impacts would be less than significant.

- (iv) **impede or redirect flood flows?**

**No impact.** The project site is not located within a floodplain. The project will not add additional impervious surfaces or alter the course of a stream or river, as the Santa Ana River is located approximately 3.75 miles west of the project site. Therefore, there are no impacts related to impeding or redirecting flood flow would occur.

- d) **In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?**

**Less than significant impact.** According to the Costa Mesa General Plan Safety Element, the project site is located outside of the 100-Year and 500-Year Flood Zone (City of Costa Mesa 2016). The Safety Element also indicates that the site is not within a dam inundation area for Santiago Creek or Prado Dam. The nearest dam inundation area is approximately 0.83 mile northwest of the site, near South Coast Plaza, which is an area of inundation overlap.

A tsunami is a sea wave generated by an earthquake, landslide, volcanic eruption, or even by a large meteor hitting the ocean. An event such as an earthquake creates a large displacement of water resulting in a rise or mounding at the ocean surface that moves away from this center as a sea wave. Tsunamis generally affect coastal communities and low-lying (low-elevation) river valleys in the vicinity of the coast. As shown in Figure S-7, Tsunami and Sea Level Rise, of the Safety Element, the project site is not within a tsunami hazard zone or within an area of sea level inundation. As such, the project is not within a flood hazard, tsunami, or seiche zone, and would not risk the release of pollutants due to project inundation. Impacts related to project inundation would be less than significant.

**e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?**

**Less than significant impact.** The project would be served by the City's stormwater drainage system. The Santa Ana Water Quality Control Board adopted a Water Quality Control Plan (Basin Plan) in 1998, which was updated in 2005. The plan establishes water quality standards for regulatory programs of the board, in addition to water quality goals and policies for the region. The project would be required to comply with the goals and policies outlined in the plan. As such, the project would not conflict with or obstruct implementation of a water quality control plan. Impacts would be less than significant.

Additionally, operation of the project would not create or contribute polluted runoff water that would exceed the capacity of existing stormwater drains. Implementation of BMPs would ensure reduction of pollutants from construction activities potentially entering surface waters, and as previously mentioned, the project would not affect groundwater recharge. Therefore, the project would not conflict with or obstruct implementation of a sustainable groundwater management plan. Impacts would be less than significant.

### Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>11. Land Use and Planning</b> <i>Would the project:</i>				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

The existing visual character of Costa Mesa is divided into three sub-areas, or districts, that carry their own visual pattern: Residential Districts, Commercial Districts, and the Industrial Districts. Each district has its own sub-areas as well.

Established industrial land uses encompass approximately 10.5 percent of land and are primarily concentrated in three major districts: The Westside District, the Airport Industrial/Business Park District, and the Harbor Gateway District (City of Costa Mesa 2015).

The project site is located within the 390-acre Airport Industrial Area, which is a component of the much larger Irvine Business and Industrial Complex, which extends into the cities of Irvine, Newport Beach, and Tustin. This area is characterized by large parcels and wide landscaped building setbacks. Several firms have located their main or regional headquarters in the area and are often the single tenants in large structures (City of Costa Mesa 2015).

## Environmental Evaluation

Would the project:

**a) Physically divide an established community?**

**Less than significant impact.** The physical division of an established community typically refers to the construction of a linear feature, such as an interstate highway or railroad tracks, or removal of a means of access, such as a local bridge that would impact mobility within an existing community of between a community and outlying area. The proposed project does not involve any such features, and would not remove any means of access or impact mobility. The proposed project consists of the repurposing of one half of the existing building into a Permanent Bridge Shelter for homeless individuals. The other half of the industrial building would be leased to a tenant(s) by the City for industrial warehouse use consistent with the existing purpose, zoning, and land use designation. Because project implementation would be within an existing structure in a developed area of Costa Mesa, the project would not physically divide an established community. Additionally, the project site is surrounded by

industrial uses and given that clients must enter and exit the property via a shuttle service and/or are restricted to the building site when on-site during the day, the project is not anticipated to interfere with adjacent businesses. In addition, the project would be consistent with surrounding uses and would not result in the alteration of the circulation system. As such, the project would not physically divide an established community. Impacts would be less than significant.

**b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?**

**Less than significant impact.** The project site's General Plan land use designation is Industrial Park and the zoning is MP. As previously mentioned, emergency shelters in Costa Mesa are only permitted in the PDI zone, and there is a maximum allowance of 30 beds at each shelter within this zone. CMMC Section 13-200.79 of Article 18, Emergency Shelters, identifies the bed limitations and other development standards for emergency shelters (City of Costa Mesa 2019).

The proposed project would require a Code Amendment (CO-19-01) to modify and revise the CMMC in Title 13 Planning, Zoning, and Development, the Citywide Land Use Matrix, and the Special Land Use Regulations for Emergency Shelters. The Code Amendment would allow emergency shelters to be located in the MP zone, in addition to the PDI zone. Emergency shelters within the MP zone would require approval of a CUP prior to operation. New Footnote 10 to the Land Use Matrix would state that an emergency shelter located on land owned, controlled, or operated by the City would be permitted by right. Within the PDI zone, emergency shelters would continue to be permitted by right. New Footnote 10 would also state that the standards in Subsection 13-200.79(1), (2), (4), (8), and (10) would not apply to shelters located on land owned, controlled, or operated by the City in the MP and PDI zones.

The proposed project would also revise the CMMC to require a patrol by a shelter operator that includes the area within a 0.5-mile radius area around a shelter location, to ensure that shelter clients and any individuals denied access are not congregating around the shelter site. With approval of the requested zone change and CMMC revision, the project would not conflict with any applicable land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect. As such, impacts would be less than significant.

## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>12. Mineral Resources</b> <i>Would the project:</i>				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The Costa Mesa General Plan Safety Element indicates the mineral resources within the City are oil located near the West Newport Oil Field, located west of Placentia Avenue, along the City’s western boundary. Currently the only active oil wells in Costa Mesa operate in the West Newport Field west of Whittier Avenue between 17<sup>th</sup> Street and 19<sup>th</sup> Street (City of Costa Mesa 2016). These wells produce a relatively low quality crude oil and remained in operation through the mid-1990s.

The other mineral resources are peat deposits located adjacent to the Santa Ana River and in the vicinity of Upper Newport Bay (City of Costa Mesa 2016). The size of the deposits in Costa Mesa is not sufficient to justify extraction. However, peat does provide an unstable base for construction and must be removed prior to development.

## Environmental Evaluation

Would the project:

- a) **Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?**

**No impact.** The project site is currently developed with an industrial warehouse. The project site is designated as Industrial Park in the General Plan and zoned MP. The surrounding land uses are also zoned MP and the project is located in an urbanized area of Costa Mesa. Conversion of the project into a Permanent Bridge Shelter would not result in the loss of mineral production nor adversely affect existing mineral production activities occurring in the City. As mentioned above, the nearest mineral resources are located approximately 2.32 miles away and nearest oil, resource is located approximately 4.54 miles away from the project site. Neither the General Plan nor the DOC Geological Survey identified the project site as potential sources of other mineral resources of Statewide or regional significance (DOC 2019). Therefore, the project would not result in impacts to either oil production or other mineral resources and no impacts would occur.

**b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?**

**No impact.** As mentioned in Impact a) above, the project is not identified as a having potential value as a locally important mineral resource site or oil resource area by the Costa Mesa General Plan nor by the DOC Geological Survey (DOC 2019). The project would convert an existing industrial building into a Permanent Bridge Shelter, and would not result in the loss of any locally important mineral resource site. As such, no impacts would occur.

### Mitigation Measures

None required.



Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>13. Noise</b> <i>Would the project result in:</i>				
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Evaluation

### Characteristics of Noise

Noise is defined as unwanted sound. Sound levels are usually measured and expressed in decibels (dB), with 0 dB corresponding roughly to the threshold of hearing. Most of the sounds that we hear in the environment do not consist of a single frequency, but rather a broad band of frequencies, with each frequency differing in sound level. The intensities of each frequency add together to generate a sound. Noise is typically generated by transportation, specific land uses, and ongoing human activity.

The standard unit of measurement of the loudness of sound is the dB. The 0 point on the dB scale is based on the lowest sound level that the healthy, unimpaired human ear can detect. Changes of 3 dB or less are only perceptible in laboratory environments. A change of 3 dB is the lowest change that can be perceptible to the human ear in outdoor environments. While a change of 5 dBA is considered to be the minimum readily perceptible change to the human ear in outdoor environments.

Since the human ear is not equally sensitive to sound at all frequencies, the A-weighted decibel scale (dBA) was derived to relate noise to the sensitivity of humans, it gives greater weight to the frequencies of sound to which the human ear is most sensitive. The A-weighted sound level is the basis for a number of various sound level metrics, including the day/night sound level ( $L_{dn}$ ) and the CNEL, both of which represent how humans are more sensitive to sound at night. In addition, the equivalent continuous sound level ( $L_{eq}$ ) is the average sound energy of time-varying noise over a sample period and the  $L_{max}$  is the maximum instantaneous noise level occurring over a sample period.

Would the project result in:

- a) **Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?**

### Short Term Construction Impacts

**Less than significant impact.** A significant impact would occur if construction activities would result in generation of a substantial temporary increase in ambient noise levels that would result in annoyance or sleep disturbance of nearby sensitive receptors. Noise impacts from construction activities associated with the project would be a function of the noise generated by construction equipment, equipment location, sensitivity of nearby land uses, and the timing and duration of the construction activities.

Construction activities involved in the proposed project would primarily consist of renovating the interior of the existing building, and the project would not involve the operation of heavy construction equipment on the project site. Therefore, the primary exterior noise source associated with project construction would be associated with the transport of workers, equipment, and materials to and from the project site. The transport of workers and construction equipment and materials to the project site would incrementally increase noise levels on access roads leading to the site. Because workers and construction equipment would use existing routes, noise from passing trucks would be similar to existing vehicle-generated noise on these local roadways. Typically, a doubling of the average daily trip (ADT) hourly volumes on a roadway segment is required in order to result in an increase of 3 dBA in traffic noise levels; which, as discussed in the characteristics of noise discussion above, is the lowest change that can be perceptible to the human ear in outdoor environments. Project-related construction trips would not be expected to double the hourly traffic volumes along any roadway segment in the project vicinity. For these reasons, short-term intermittent noise from trucks would be minor when averaged over an hour or longer time-period. Therefore, short-term construction-related noise impacts associated with worker commute and equipment transport to the project site would not exceed applicable significance thresholds and would be less than significant.

Interior renovation construction activities are expected to consist of the use of hand power tools. Because these activities would occur inside the structure, noise impacts to surrounding uses would be less than significant. Exterior renovations would include installation of a gate, landscaping upgrades, improvements for an outdoor break area, and installation of new mechanical ventilation equipment. These activities would involve the use of hand power tools, and potentially a compressor generator. The loudest of these types of equipment would be the compressor generator. Noise levels from the operation of a compressor generator range up to a maximum of 80 dBA at 50 feet.

The project site is not adjacent to residential areas, schools, or parks. The nearest school is Mariners Christian School located at 300 Fischer Avenue, approximately 0.40 miles southwest of the project. The nearest park is Del Mesa Park located at 2080 Manistee Drive, approximately 0.53 miles northwest from the project. The closest sensitive receptor would be a Grace Fellowship Church located at 3170 Red Hill Avenue, approximately 400 feet northwest of the project. However, there are two intervening industrial structures that block the line of site to this land use. Therefore, due to

distance attenuation and shielding provided by intervening structures, maximum noise levels from construction activities would attenuate to below 50 dBA  $L_{max}$  at this land use. As discussed in more detail in the airport noise impact discussion below, existing 24-hour average ambient noise levels in the project vicinity range from 65 dBA to 70 dBA CNEL in the project vicinity. Therefore, these potential loudest construction noise levels would not exceed the existing background ambient noise levels as measured at this nearest receptor. Furthermore, the City requires that construction activities only take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday and between 9:00 a.m. and 6:00 p.m. on Saturdays.

Therefore, noise from proposed construction activities would not result in a substantial increase in ambient noise levels that would result in annoyance or sleep disturbance of nearby sensitive receptors, temporary construction-related noise impacts associated with construction equipment would be less than significant.

### Operational Noise Impacts

**Less than significant impact.** A significant impact would occur if operational noise levels generated by project-related stationary or mobile noise sources would result in a substantial permanent increase in ambient noise levels in excess of any of the noise performance thresholds established in the City's Municipal Code. The City has established that stationary source operational noise levels should not exceed 55 dBA  $L_{eq}$  from 7:00 a.m. to 11:00 p.m. or 50 dBA  $L_{eq}$  from 11:00 p.m. to 7:00 a.m. at any residential land use, or at any school, hospital, or church while they are in use.

New project-related exterior stationary noise sources would include new upgraded mechanical ventilation equipment. At the time of preparation of this analysis, details were not available pertaining to proposed mechanical ventilation systems for the project; therefore, a reference noise level for typical mechanical ventilation systems was used. Noise levels from typical mechanical ventilation equipment are anticipated to range up to approximately 60 dBA  $L_{eq}$  at a distance of 25 feet.

The project site is not adjacent to residential areas, schools, hospitals, or parks. The closest sensitive receptor would be a Grace Fellowship Church located at 3170 Red Hill Avenue, approximately 400 feet northwest of the project. However, there are two intervening industrial structures that block the line of site to this land use. Therefore, due to distance attenuation and shielding provided by intervening structures, maximum noise levels from mechanical ventilation equipment operation would attenuate to below 24 dBA  $L_{max}$  at this land use. As discussed in more detail in the airport noise impact discussion below, existing 24-hour average ambient noise levels in the project vicinity range from 65 dBA to 70 dBA CNEL in the project vicinity. Therefore, these potential loudest stationary source noise levels would not exceed the existing background ambient noise levels as measured at this nearest receptor, nor would they exceed the noise performance standard of 55 dBA  $L_{eq}$ . Therefore, noise from proposed stationary noise sources would not result in a substantial increase in ambient noise levels at any sensitive receptor land use in the project vicinity, proposed stationary source noise impacts would be less than significant.

A significant impact would occur if implementation of the proposed project would result in a substantial increase in traffic noise levels compared with traffic noise levels existing without the

project. As noted in the characteristics of noise discussion, audible increases in noise levels generally refer to a change of 3 dBA or more, as this level has been found to be barely perceptible to the human ear in outdoor environments. A change of 5 dBA is considered the minimum readily perceptible change to the human ear in outdoor environments. Therefore, for purposes of this analysis, an increase of greater than 3 dBA above existing traffic noise levels would be considered a substantial permanent increase in traffic noise levels.

Based on the trip generation study prepared for this project, the maximum buildout of a 100-bed bridge shelter facility would result in an average of 223 daily trips, predominately associated with shelter employees and vendors. These average daily project trips would not result in a doubling of the average daily trips in the vicinity of the project site. A doubling of the ADT hourly volumes on a roadway segment is required in order to result in an increase of 3 dBA in traffic noise levels; which, as discussed in the characteristics of noise discussion above, is the lowest change that can be perceptible to the human ear in outdoor environments. Therefore, the increase in traffic noise resulting from project operations would not be perceptible. Implementation of the project would not result in a substantial increase in traffic noise levels compared with traffic noise levels existing without the project, and operational traffic noise impacts would be less than significant.

**b) Generation of excessive groundborne vibration or groundborne noise levels?**

**Less than significant impact.** A significant impact would occur if the project would generate groundborne vibration or groundborne noise levels in excess of established standards. The City of Costa Mesa has not adopted criteria for groundborne vibration impacts. Therefore, for purposes of this analysis, the Federal Transit Administration's (FTA) vibration impact criteria are utilized. The FTA has established industry accepted standards for vibration impact criteria and impact assessment. These guidelines are published in its Transit Noise and Vibration Impact Assessment Manual (FTA 2018).

Common sources of groundborne vibration include construction activities such as blasting, pile driving and operating heavy earthmoving equipment. However, construction activities involved in the proposed project would not involve the use of any heavy construction equipment or any other significant sources of groundborne vibration or noise. Therefore, construction activities would not generate groundborne vibration or groundborne noise levels that would exceed potential impact thresholds as measured at existing structures in the project vicinity. Therefore, the impact of short-term groundborne vibration associated with construction to off-site receptors would be less than significant.

Implementation of the project would not include any permanent sources of vibration that would expose persons in the project vicinity to groundborne vibration levels that could be perceptible without instruments at any existing sensitive land use in the vicinity of the project site. Therefore, operational groundborne vibration impacts would be less than significant.

- c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

**No impact.** A significant impact would occur if the project would expose people visiting or working in the project area to excessive noise levels for a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport.

There are no private airstrips within the vicinity of the project site. The John Wayne Airport is located approximately 0.17 miles southeast of the project site. Because of the orientation of the airport runways, the project site is located outside of the 70 dBA CNEL airport noise contours (experiencing noise levels from 65 dBA up to 70 dBA CNEL in the project vicinity). These noise levels are within the City of Costa Mesa's conditionally acceptable land use compatibility threshold of 70 dBA CNEL for transient lodging land use developments.

Based on the EPA Protective Noise Levels, the existing building would provide 25 dBA in exterior-to-interior noise reduction, which would meet the State's interior noise standard of 45 dBA CNEL for indoor sleeping areas (i.e., 70 dBA–25 dBA = 45 dBA). Therefore, implementation of the project would not expose persons visiting or working in the project vicinity to excessive noise levels from airport activity, and no impact would occur.

## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>14. Population and Housing</b> <i>Would the project:</i>				
a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The Department of Finance (DOF) reports the 2018 Costa Mesa population is 115,296 people (DOF 2018). In January 2017, the count found 103 unsheltered individuals in Costa Mesa, 60 percent of which equals 62 beds (City of Costa Mesa 2019). To immediately satisfy the Court’s direction, the City of Costa Mesa reached an agreement with the Lighthouse Church of the Nazarene to operate a 50-bed temporary bridge shelter on a portion of their property located at 1885 Anaheim Avenue. The shelter site on Airway Avenue will be a permanent facility and the temporary facility will close when the permanent shelter is opened.

## Environmental Evaluation

Would the project:

- a) **Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?**

**No impact.** The CEQA Guidelines identify a project as growth inducing if it fosters economic or population growth or the construction of additional housing either directly or indirectly in the surrounding environment (CEQA Guidelines § 15126.2(d)). New employees from commercial or industrial development and new populations from residential development represent direct forms of growth. These direct forms of growth have a secondary effect of expanding the size of local markets and inducing additional economic activity in the area.

Under CEQA, growth inducement is not considered necessarily detrimental, beneficial, or of particular significance to the environment. Typically, the growth-inducing potential of a project would be considered substantial if it is unplanned or fosters growth or a concentration of population in excess of what is assumed in pertinent master plans, land use plans, or in projections made by regional planning agencies (e.g., SCAG).

The project proposes to convert an existing industrial building, which is currently used for office, industrial, and warehouse uses to a Permanent Bridge Shelter. Half of the building, or approximately 14,816 square feet, would be converted into the bridge shelter, and the other half, approximately 15,000 square feet of the warehouse space and associated loading dock would remain industrial and leased by a future tenant. The bridge shelter would accommodate up to 100 beds. Implementation of the proposed Permanent Bridge Shelter would provide temporary accommodations for up to 100 individuals. Special, alternate off-site accommodations will be made for families who are experiencing homelessness.

The proposed project would not result in unplanned or unanticipated residential and/or population growth that could cause the need for expanded public services and facilities in the project area and/or the City. The designated intake process by the Shelter Operator would minimize population impacts by giving preferences to Costa Mesa homeless individuals. The wrap-around services, which is an integral component of the Permanent Bridge Shelter, would provide a range of services, including space for County departments, nonprofit organizations, and faith-based agencies to provide meals, spiritual, mental health, and medical services. In addition, the wrap around services would also provide space for collaboration with other Costa Mesa departments and basic “safety net” services. Once operational, the employees would be staffed via the Shelter Operator and would likely be from the local labor force. Therefore, there would be no impacts associated with growth inducement from the proposed project due to the proposed bridge shelter. The remainder of the building would continue to be leased in the current manner. Therefore, there would be no change to existing conditions and no impact associated with growth inducement from the proposed project due to the industrial warehouse uses.

**b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?**

**No impact.** As mentioned above in Impact a), the project site currently is an industrial building that was previously used for office, industrial, and warehouse uses; no residential dwellings exist on the project site. The project proposes to convert an existing industrial building, approximately 14,816 square feet, to a Permanent Bridge Shelter that is intended to shelter up to 100 people. The other half of the building, approximately 15,000 square feet of the warehouse and associated loading dock would remain industrial and leased by a future tenant. Therefore, the proposed project would not result in substantial displacement of people or housing that would necessitate the construction of replacement housing elsewhere. Therefore, no impacts will occur.

## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>15. Public Services</b>				
<i>Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:</i>				
a) Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Evaluation

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

### a) Fire protection?

**Less than significant impact.** The CMFD provides fire protection and emergency medical services to the City, which include community risk reduction and suppression, paramedic, emergency medical, and hazardous materials management/environmental safety. The CMFD comprises three divisions: Administration; Suppression/Mobile Intensive Care (Emergency Medical Services); and Community Risk Reduction. Correspondence via e-mail with Jon Neal, Assistant Fire Marshal was consulted to determine impacts to fire protection services to the CMFD (Appendix G).

According to Mr. Neal, the primary station for the project site is Fire Station 2 located at 800 Baker Street. Fire Station 5 located at 2450 Vanguard Way and Fire Station 6 located at 3350 Sakioka Drive would provide secondary coverage. Currently, the staffing levels for CMFD are 90 full-time staff members, 84 sworn firefighter positions and 6 non-sworn positions. The part-time staffing levels are 3.25 full-time equivalents to serve within the three divisions.

CMFD current emergency response goals to Code 3 Fire/Rescue/Emergency Medical Services emergencies is within 4 minutes of travel time, 90 percent of the time. The Fiscal Year 2019/2020 budget could change standards of coverage through the implementation of a Costa Mesa specific response plan.



Project implementation impacts could not be anticipated at this time due to pending passage of the FY 2019/2020 budget. Therefore, implementation of Standard Condition 2.15-1 through 2.15-6, compliance with the City's discretionary review process, and CMMC requirements would ensure that project implementation would result in a less than significant impact to fire protection services.

**b) Police protection?**

**Less than significant impact.** Costa Mesa Police Department would provide police services to the project. The Police Department operates from the Police main facility (99 Fair Drive) and two substations (South Coast Plaza Substation at 3333 Bristol Street and the West Side Substation at 567 W. 18<sup>th</sup> Street). The project site will be served by the Police Department's main facility which is located approximately 2.7 miles southwest of the site. According to correspondence with Captain Bryan Glass (Appendix G), department staffing level vary based on specific days and times (morning and evening shifts). Minimum patrolling staffing levels consist of 2 sergeants and 6 to 11 officers, depending on the day and shift. Half of the minimum staffing level is always dedicated to Area 2, the northern portion of the City, which is where the project is located. The department's Community Policing Unit may be tasked with special assignments and involvement depending on the matter and need. Department staff includes sworn officers and civilian support personnel. The department's full-time staffing is comprised of 136 sworn and 76 professional staff positions. Additionally, the department is a part of the Orange County Mutual Aid Agreement for mutual aid assistance when needed. The department also contracts air support services with the City of Huntington Beach.

The department has current effectiveness related to response times of:

- Emergency calls within 5 minutes: 72 percent
- Emergency Calls within 15 minutes: 97 percent
- Non-Emergency calls within 30 minutes: 90 percent

The project is intended to serve the City's existing homeless population in an existing building and would not result in a need for new police protection facilities. Captain Glass stated that the project has the potential to increase service calls and have an effect on response times, but the impact to the project area is unknown at this time (Appendix G). The project would be required to implement Standard Condition 2.15-6, pay their mitigation fees in order to reduce potential impacts related to police services and response times. Thus, impacts would be less than significant.

**c) Schools?**

**No impact.** The project site is located within the Newport-Mesa Unified School District. The nearest school to the project site is Mariners Christian School (grades K-8), located at 300 Fischer Avenue which enrolls approximately 685 students. The school is approximately 0.40 miles southwest from the project site. The project site is located within the attendance boundaries of Kaiser Elementary School, Woodland Elementary School, Ensign Intermediate School, and Back Bay High School. Those accessing the Permanent Bridge Shelter would include homeless single men and single women, age 18 and over. Special, alternate off-site accommodations will be made for families who are experiencing homelessness. Implementation of the proposed project would not generate new

students or increase the demand for school facilities within the Newport-Mesa Unified School District. Thus, no impact would occur.

**d) Parks?**

**No impact.** According to the City’s General Plan, there are 2,067.06 acres of parks and open space in Costa Mesa. The City seeks to provide 4.26 acres of park and recreational land for every 1,000 residents. The project would convert an existing industrial building to a permanent bridge shelter. The project does not propose new or physically altered park facilities.

As of 2019, no public parks are located in the immediate vicinity of the project site, which is located in a heavily developed industrial area. Only one park is within a 1-mile radius of the project site, Del Mesa Park, located at 2080 Manistee Drive. The second nearest open space/recreational area is the Santa Ana Country Club located at 20382 Newport Boulevard in the City of Santa Ana. The project would convert an existing industrial building to a permanent bridge shelter that would accommodate up to 100 beds. Due to the location of the nearest park, residents of the shelter would not utilize Del Mesa Park or the Santa Ana Country Club on the regular basis. Additionally, Clients will not be allowed to loiter in the neighborhood surrounding the Permanent Bridge Shelter facility or the bus and/or shuttle pick up locations at any time. There will be strict enforcement of shelter client contract rules which could result in a permanent exit from the facility if not followed. Drop-off/pick-up locations are an extension of the shelter; therefore, any violation such as loitering, constitutes a violation of the shelter rules which will be strictly enforced. The Shelter Operator and security will conduct random daily checks within a 0.5-mile radius of the shelter and drop-off/pick-up locations to enforce shelter rules and avoid loitering and homeless congregations. Thus, no impacts would occur.

**e) Other public facilities?**

**No impact.** There are three public libraries within the City that are all operated by the County of Orange (City of Costa Mesa 2016). The three libraries serve approximately 55,000 borrowers annually and offer over 68,000 items in circulation. The nearest public library to the project site is the Mesa Verde Branch Library located approximately 3.22 miles west of the project site at 2969 Mesa Verde Drive.

Library service demand is based on population. The proposed project consists of the repurposing one-half of the existing building into a permanent bridge shelter and the other half would continue to be used for industrial warehouse purposes. The Permanent Bridge Shelter would provide access to computers as well as life skill classes and recreational activities. Therefore, the proposed project would not significantly increase the demands for library service from the project area.

## Standard Conditions

**SC 2.15-1** Prior to the issuance of a Building Permit, the project shall submit plans to CMFD for review and approval of the developer’s project design features to assess compliance with the California Building Code and California Fire Code requirements.

- SC 2.15-2** Vehicular access shall be provided and maintained serviceable throughout construction to all required fire hydrants.
- SC 2.15-3** The project shall provide approved smoke detectors to be installed in accordance with the 2016 Edition of the California Fire Code and NFPA 72.
- SC 2.15-4** The project shall provide fire extinguishers with a minimum rating of 2A to be located within 75 feet of travel distance from all areas. Extinguishers may be of a type rated 2A, 10BC as these extinguishers are suitable for all types of fires and are less expensive.
- SC 2.15-5** The project shall provide a fire alarm system to be installed in accordance with the 2016 Edition of the California Fire Code and NFPA 72.
- SC 2.16-6** The project shall upgrade or modify the existing first sprinkler system to meet the requirements of the 2016 Edition of the California Fire Code and NFPA 13.
- SC 2.15-7** As final building plans are submitted to the City of Costa Mesa for review and approval, the Costa Mesa Police Department shall review all plans for the purpose of ensuring that design requirements are incorporated into the building design to increase safety and avoid unsafe conditions. These measures focus on security measures are recommended by the Police Department, including but not limited to, the following:
- Lighting shall be provided in open areas and parking lots.  
Required building address numbers shall be readily apparent from the street and rooftop building identification shall be readily apparent from police helicopters for emergency response agencies.
  - Landscaping requirements (e.g., minimize use of hedges, use of low height shrubs for greater visibility).
  - Emergency vehicle parking areas shall be designated within proximity to buildings.
  - Prior to the issuance of a Building Permit, the City of Costa Mesa Police Department shall review and approve the developer's project design features to satisfy local requirements. The applicant shall then pay the appropriate fee in effect to mitigate the project's proportionate impact to additional demands on police protection services, if any.

## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>16. Recreation</b>				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

- a) **Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?**

**Less than significant impact.** As mentioned in Impact 15(d), the project is located in a predominantly industrial area of Costa Mesa, and no public parks are located in the immediate vicinity of the project site. Only one park is within a 1-mile radius of the project site, Del Mesa Park, located at 2080 Manistee Drive. The second nearest recreational area is the Santa Ana Country Club located at 20382 Newport Boulevard in the City of Santa Ana. Due to the distance to the parks and recreational areas, occupants of the proposed Permanent Bridge Shelter would not be expected to frequent these parks. Clients will not be allowed to loiter in the neighborhood surrounding the Permanent Bridge Shelter facility or the bus and/or shuttle pick up locations at any time. There will be strict enforcement of shelter client contract rules, which could result in a permanent exit from the facility if not followed. Drop-off/pick-up locations are an extension of the shelter; therefore, any violation such as loitering, constitutes a violation of the shelter rules which will be strictly enforced. The Shelter Operator and security will conduct random daily checks within a 0.5-mile radius of the shelter and drop-off/pick-up locations to enforce shelter rules and avoid loitering and congregations of shelter clients and any individuals denied access at the shelter. Thus, no impacts would occur.

- b) **Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?**

**No impact.** The proposed project would not include with the construction of or expansion of existing recreational facilities. The proposed project includes a new outdoor break area on the west site of the existing building and recreational programming that would take place within the Permanent Bridge Shelter. These features would not require extensive exterior or interior improvements that would result in potentially significant adverse physical effects on the environment. Thus, no impacts would occur.

## Mitigation Measures

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>17. Transportation</b> <i>Would the project:</i>				
a) Conflict with a program plan, ordinance or policy of the circulation system, including transit, roadway, bicycle and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

Analysis in this section is based on the Trip Generation Memorandum provided by the City of Costa Mesa Department of Public Services/Transportation Services on April 22, 2019. The Trip Generation Memorandum is included as Appendix H.

Would the project:

- a) **Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?**

**Less than significant impact.** Table 22 summarizes the trip generation for the proposed project. Trip generation was based on the scenario of a 15,000 square foot industrial building with a 100-bed bridge shelter. The trip generation memo is included as Appendix H.

**Table 22: Trip Generation Summary**

Use	Generation Rate	Daily	AM Peak-hour			PM Peak-hour		
			In	Out	Total	In	Out	Total
<b>Scenario 4 Trip Generation</b>								
15 KSF Industrial	ITE Code 110	74	9	2	11	1	8	9
100-Bed Facility (Shuttle Trips)	From Operations Plan	44	8	8	16	10	10	20

Use	Generation Rate	Daily	AM Peak-hour			PM Peak-hour		
			In	Out	Total	In	Out	Total
100-Bed Facility (Employee Trips)	From Operations Plan	70	23	12	35	12	23	35
Total		188	40	22	62	23	41	64
Notes: ITE Trip Generation, 10th Edition. Average rates used. 23 day shift and 12 night shift employees assumed for facility.								

The industrial building would generate up to 188 total daily trips, which includes 74 existing trips for the industrial half of the project, 44 trips for the 100-bed facility, and 70 employee trips for the 100-bed facility.

The project would be required to comply with the Costa Mesa Bicycle Master Plan and the Costa Mesa Master Plan of Streets and Highways. The nearest Orange County Transportation Authority Transit route is Route 71, which has multiple stops along Red Hill Avenue. There is a sidewalk on the other side of the street from the project site along Airway Drive, there are sidewalks along Red Hill Avenue, and on McCormick Avenue past Red Hill Avenue.

Additionally, Red Hill Avenue has bicycle lanes along both sides of the street. With adherence to all applicable programs and policies, the project would not conflict with a program plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities. Impacts would be less than significant.

**b) Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?**

**Less than significant impact.** Section 15064.3 of the CEQA Guidelines provides specific considerations for evaluating a project’s transportation impacts. Per Section 15064.3, analysis of VMT attributable to a project is the most appropriate measure of transportation impacts. Other relevant considerations may include the effects of the project on transit and non-motorized travel. Except as provided in Section 15064.3(b)(2) regarding roadway capacity, a project’s effect on automobile delay does not constitute a significant environmental impact under CEQA. The City does not have adopted VMT thresholds. Currently, the provisions of Section 15064.3 and the determination of impacts based on VMT is not required by the City or mandated Statewide until July 1, 2020. Therefore, there is no conflict with Section 15064.3.

Per Section 15064.3(b)(3), a lead agency may analyze a project’s VMT qualitatively based on the availability of transit, proximity to destinations, consistency with air quality goals, etc. Land use projects within one-half mile of a major transit stop or a stop along a high-quality transit corridor should be presumed to have a less than significant transportation impact. “Major transit stop” means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. A “high-

quality transit corridor” is a corridor with fixed route bus service with service intervals that do not exceed 15 minutes during peak commute hours. (Public Resource Code [PRC] §§ 21064.3, 21155.).

Orange County Transportation Authority (OCTA) provides transit services to the City of Costa Mesa. According to OCTA, Route 71 runs near the project site along Red Hill Avenue. There are five OCTA transit stops for Route 71 within a 0.5-mile radius of the project site. As such, the proposed project would have a less than significant impact on VMT.

**c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?**

**Less than significant impact.** The project consists of a Permanent Bridge Shelter in the City of Costa Mesa. The project does not propose to alter existing site access or substantially alter the existing structure. The proposed project would repurpose approximately half of the existing industrial building at 3175 Airway Avenue (approximately 14,816 square feet) for a permanent bridge shelter for individuals experiencing homelessness. Thus, impacts would be less than significant.

**d) Result in inadequate emergency access?**

**Less than significant impact.** The project consists of a Permanent Bridge Shelter in the City of Costa Mesa. Access to the site would be provided via existing unsignalized driveways on Airway Avenue for shelter shuttle buses and shelter employees. The project applicant will be required to comply with all applicable Fire Department and Division of Building and Safety regulations related to emergency access. Impacts related to emergency access would be less than significant.

## Mitigation Measures

None required.



Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>18. Utilities and Service Systems</b> <i>Would the project:</i>				
a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The project site is currently served by underground utilities at the street. The proposed project would continue to be served by all required public services and utilities including electricity, natural gas, sewage, water, solid waste removal, and telecommunication. Table 23 lists the Utility Providers for the proposed project site.

**Table 23: Utility Providers**

Utility	Provider
Electricity	Southern California Edison (SCE)
Natural Gas	Southern California Gas Company (SoCalGas)
Sewage	City of Costa Mesa Sanitary District

Utility	Provider
Potable Water	Mesa Water District
Solid Waste Removal	Costa Mesa Sanitary District
Telecommunication	AT&T, Charter Communications
Source: Santolucito Dore Group, Inc., 2019 (Appendix A)	

According to the information provided by Mesa Water staff on May 8, 2019, the current meter sizes for the property are a 1-inch meter for potable water, a 1.5-inch meter for potable water and irrigation, and an 8-inch service line for the fire protection system. The project would need to upsize the existing meters for potable water and irrigation to allow for a 2- to 2.5-inch branch connection; best estimates indicate that up to 250 linear of pipeline would need to be upgraded. According to Mesa Water, the existing 8-inch fire sprinkler lateral should be more than sufficient to serve the project.

The Consultant District Engineer to the City of Costa Mesa Sanitary District indicated on May 9, 2019, that the portion of the sewer lateral in the street right-of-way is a 6-inch vitrified clay pipe. A 6-inch lateral is the minimum pipe size required to support a 100-bed facility.

The facility would utilize cascading tank-less water heaters, gas fired cooking equipment, and possibly a boiler-based heating system. Initial estimates calculate that the facility could use upwards of 12,000 to 18,000 cubic feet of gas per hour. A 600a electric panel would be sufficient for the use of a 100-bed facility.

## Water

The Costa Mesa General Plan Conservation Element states that Mesa Water and Irvine Ranch Water District (IRWD) provide domestic water services to the City of Costa Mesa (City of Costa Mesa 2016). The Mesa Water service area covers most of Costa Mesa, a portion of Newport Beach, and John Wayne Airport over approximately 18 square miles. IRWD consists of a 181-square mile service area including portions of Costa Mesa southeast of Newport Boulevard in addition to Irvine and portions of Santa Ana, Tustin, Lake Forest, Orange, unincorporated areas of Orange county, and Newport Beach. Natural Supply is generated from groundwater, local precipitation, and surface flows from the Santa Ana River, which originate in the San Bernardino Mountains.

In compliance with legislative requirements, Mesa Water has prepared its 2015 UWMP. The UWMP provides information on the present and future water resources and demands, and assesses Mesa Water’s water resource needs.

### **Water Supplies and Demand**

According to the UWMP, Mesa Water’s main sources of water supply are groundwater pumped from seven active wells within the Orange County Basin and imported water from Metropolitan Water District of Southern California through Municipal Water District of Orange County (MWDOC) (Mesa Water 2015).

### **Water Treatment**

Mesa Water currently owns and operates the Mesa Water Reliability Facility (MWRF) with a capacity of 8.6 million gallons per day (mgd) that removes color from the water using nanofiltration membrane treatment (Mesa Water 2015). According to the UWMP, Mesa Water’s main sources of water supply are groundwater pumped from seven active wells within the Orange County Basin and imported water from Metropolitan Water District through Municipal Water District of Orange County (Mesa Water 2015). Six wells pump “clear” groundwater directly into the distribution system, following disinfection with chloramines (Mesa Water 2015). The two wells that pump colored groundwater are treated first at the MWRF and then pumped into the distribution system (Mesa Water 2015). Prior to 2011, the colored water was treated at the Colored Water Treatment Facility, which has since been replaced by the MWRF (Mesa Water 2015). As of January 2013 when the MWRF came online, Mesa Water has not needed to import water in order to meet demand (Mesa Water 2015).

### **Water Conveyance**

The project would result in an increase in water demand to the project site. However, the Mesa Water District has the capacity to meet these demands, and the project would be served by existing infrastructure (Mesa Water 2015). The project would connect to existing water conveyance facilities.

## **Environmental Evaluation**

Would the project:

- a) **Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?**

**Less than significant impact.** Water services would be provided to the site by Mesa Water, and wastewater services would be provided by the Orange County Sanitation District (OCSD). The project would connect to and utilize existing water and wastewater services provided to the project area. The proposed project would require 3 gender neutral restrooms, in addition to 9 sinks, 9 toilets, and 9 showers for the men’s area, and 9 sinks, 9 toilets, and 9 showers for the women’s area. The facility will also have separate staff restrooms for up to 15 persons, and kitchen and laundry facilities, although these facilities are not expected to result in substantial water or wastewater needs. Therefore, the project would not require the relocation or construction of new or expanded water or wastewater facilities.

As previously mentioned, the project would utilize existing drainage systems maintained by the City of Costa Mesa. While the project may be required to pay a storm drain impact fee to lessen the volume required for downstream facilities, the project would not require the relocation or construction of new or expanded drainage facilities.

SCE provides the project area with electricity, and will not require new or expanded facilities to serve the project. The project would utilize gas fired equipment for cooking. SoCalGas provides natural gas services to the project site and would not require new or expanded facilities to serve the project. Telecommunications services are provided by AT&T and Charter Communications. The project would

not require new or expanded telecommunications facilities because it is located in an urbanized area that already contains sufficient facilities. Therefore, impacts related to need for relocation or construction of new or expanded relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities would be less than significant.

**b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?**

**Less than significant impact.** The project would require water for daily needs of shelter clients and employees, in addition to the tenants occupying the remaining space within the building. As previously mentioned, the project is within the Mesa Water service area. According to the Mesa Water 2015 UWMP, Mesa Water has full capacity to meet water demands during normal, dry, and multiple dry years through the year 2040 due to diversified supply and conservation measures. Therefore, there would be sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years. As such, impacts would be less than significant.

**c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?**

**Less than significant impact.** Wastewater services would be provided by OCSD. OCSD processes over 200 mgd of wastewater at its treatment plants in Fountain Valley and Huntington Beach. Effluent is used for irrigation or injected into local groundwater basins, which improves the water quality of the basin due to treatment standards for the recycled water. The proposed project would connect to existing sewer lines within the City. Based on Los Angeles CEQA Thresholds Guidelines Sewage Generation Factors, the proposed project is estimated to generate approximately 7,500 gallons per day (2006). This amount of wastewater serves as a small increase based on the current treatment figures. Therefore, OCSD has adequate remaining wastewater treatment capacity to serve the proposed project. Impacts related to wastewater treatment capacity would be less than significant.

**d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?**

**Less than significant impact.** The proposed project would utilize the existing on-site structure and demolition would not occur. Solid waste services would be provided by Costa Mesa Sanitary District. Costa Mesa Sanitary District has developed a number of programs to reduce waste transferred to local landfills, one of which converts yard and kitchen waste into fertilizers and natural gas. Solid waste in the City of Costa Mesa is transferred to one of four landfills serving Orange County: Frank R. Bowerman Landfill, Olinda landfill, Waste Management—Orange County, and Prima Deshecha Landfill. The Frank R. Bowerman Landfill is the nearest landfill to the site, located approximately 9.48 miles northeast. The Frank R. Bowerman Landfill has a remaining capacity of 205 million cubic yards of solid waste, and permits up to 11,500 tons of throughput per day. Using estimated solid waste generation rates provided by the California Department of Resources Recycling and Recovery

(CalRecycle), the proposed project is expected to generate approximately 77.3 pounds of solid waste per day at full buildout with 100 beds. This would not result in a significant increase in solid waste, and with implementation of City solid waste reduction and recycling methods, impacts resulting from solid waste of the project would be less than significant.

**e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?**

**Less than significant impact.** In 1989, the Legislature adopted the California Integrated Waste Management Act of 1989 (AB 939), in order to “reduce, recycle, and re-use solid waste generated in the state to the maximum extent feasible.” AB 939 established a waste management hierarchy: Source Reduction, Recycling, Composting, Transformation, and Disposal. The law also required that each county prepare a new Integrated Waste Management Plan and each city prepare a Source Reduction and Recycling Element (SRRE) by July 1, 1991. The SRRE is required to identify how each jurisdiction will meet the mandatory State waste diversion goal of 50 percent by the year 2000. The Act mandated that California’s 450 jurisdictions (cities, counties, and regional waste management compacts) implement waste management programs aimed at a 25 percent diversion rate by 1995 and a 50 percent diversion rate by 2000. If the 50 percent goal was not met by the end of 2000, the jurisdiction was required to submit a petition for a goal extension to CalRecycle.

Senate Bill (SB) 2202 made a number of changes to the municipal solid waste diversion requirements under AB 939. These changes included a revision to the statutory requirement for 50 percent diversion of solid waste to clarify that local governments shall continue to divert 50 percent of all solid waste on and after January 1, 2000.

SB 1016 introduced a per capita disposal measurement system that measures the 50 percent diversion requirement using a disposal measurement equivalent. The Bill repealed the California State Water Resources Control Board (State Water Board) 2-year process, requiring instead that the State Water Board make a finding whether each jurisdiction was in compliance with the Act’s diversion requirements for calendar year 2006 and to determine compliance for the 2007 calendar year and beyond, based on the jurisdiction’s change in its per capita disposal rate. The State Water Board is required to review a jurisdiction’s compliance with those diversion requirements in accordance with a specified schedule, which is conditioned upon the State Water Board finding that the jurisdiction complies with those requirements or has implemented its source reduction and recycling element and household hazardous waste element. The Bill requires the State Water Board to issue an order of compliance if the State Water Board finds that the jurisdiction has failed to make a good faith effort to implement its source reduction and recycling element or its household hazardous waste element, pursuant to a specified procedure.

The per capita disposal rate is a jurisdiction-specific index, which is used as one of several “factors” in determining a jurisdiction’s compliance with the intent of AB 939, and allows CalRecycle and jurisdictions to set their primary focus on successful implementation of diversion programs. Meeting the disposal rate targets is not necessarily an indication of compliance. CalRecycle reports that the City of Costa Mesa’s Disposal Rate Targets for Reporting Year 2017.

The proposed project is expected to be services by Costa Mesa Sanitary District. Participation in the City's recycling programs during project construction and operation, including CalRecycle's requirements, would ensure that the project would not conflict with federal, state, and local management and reduction statutes and regulations related to solid waste.

## **Mitigation Measures**

None required.

Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>19. Wildfire</b> <i>If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</i>				
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Evaluation

Would the project:

**a) Substantially impair an adopted emergency response plan or emergency evacuation plan?**

**No impact.** According to CAL FIRE, Fire Hazard Severity Zones (FHSZ) Map, the project site is not located within or near a State Responsibility Area (SRA) or Local Responsibility Area (LRA) or lands classified as a Very High Fire Hazard Severity Zone (CAL FIRE 2007). As mentioned in Section 9, Hazards, Impact f), Costa Mesa adopted an EOP in 2013, which complies with State law. The EOP outlines emergency implementation strategies using a warning system, EBS, EOC, and shelter system. Additionally, Costa Mesa participates in the SEMS, which is administered by the Governor’s Office of Emergency Services.

The project would result in the conversion of an existing industrial building to a Permanent Bridge Shelter. Prior to approval, the project would be required to accommodate emergency vehicles to ensure adequate response and operation by Costa Mesa Police and Fire Departments. Therefore, project implementation is not anticipated to impair implementation of or physically interfere with an adopted emergency response plan. As such, no impacts would occur.

- b) **Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?**

**No impact.** According to the CAL FIRE FHSZ Map, the project site is not located within an SRA, LRA, or lands classified as a Very High FHSZ (CAL FIRE 2007). The project site is relatively flat and is located within a heavily urbanized and built-up area of Costa Mesa surrounded by other industrial uses.

Prior to improvements, the project plans would be reviewed and approved by the Costa Mesa Building and Safety Division and the CMFD, which would require adequate compliance with the City's permit process and CMMC requirements. This would ensure that the project would not expose occupants to pollutant concentrations risks or uncontrolled spread due to slope, prevailing winds, wildland fires and other factors. Therefore, no impacts would occur.

- c) **Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?**

**No impact.** The project consists of the conversion of an existing industrial building to provide a Permanent Bridge Shelter in a heavily urbanized and industrial area of Costa Mesa. Nor is the project located within a FHSZ, SRA, or LRA (CAL FIRE 2017). Therefore, the proposed project would not require the installation or maintenance of associated infrastructure that may exacerbate fire risk or result in ongoing impacts to the environment. The project would be reviewed and approved by the Costa Mesa Building and Safety Division and the CMFD, which would require adequate compliance with the City's permit process and CMMC requirements. As such, no impacts would occur.

- d) **Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?**

**No impact.** According to the CAL FIRE FHSZ Map, the project site is not located within or near an SRA or LRA, or lands classified as a Very High FHSZ; therefore, there are no impacts (CAL FIRE 2007). Further, the proposed project is comprised of relatively flat parcels located in an urbanized area surrounded by other industrial uses. The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) No. 06059C0286J indicates the project site is located in Zone X: a zone that corresponds to areas outside of the 500-year flood or areas protected from the 100-year flood by levees (FEMA 2017). In other words, Zone X is defined as areas determined to be outside of the 0.2 percent annual chance of flood (i.e., a 500-year flood hazard area). These conditions preclude the possibility of subjecting people or structures to significant risks related to post-fire slope instability and landslides. Therefore, the proposed project would not be built within a 100-year flood hazard area. As such, there would be no impact.

## Mitigation Measures

None required.



Environmental Issues	Potentially Significant Impact	Less than Significant Impact with Mitigation Incorporated	Less than Significant Impact	No Impact
<b>20. Mandatory Findings of Significance</b>				
a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Environmental Evaluation

- a) **Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?**

**Less than significant impact with mitigation incorporated.** With implementation of MM BIO-1 and CUL-1, the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of major periods of California history or prehistory. MM BIO-1 would protect sensitive bird species from potential impacts resulting from the project. MM CUL-1 would provide direction in the event that buried cultural resources are inadvertently discovered during remodel/renovations.

- b) **Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?**

**Less than significant impact with mitigation incorporated.** The project would result in potentially significant impacts related to biological resources, geological resources, hazards and hazardous materials, and public services. However, with implementation of standard conditions and MM BIO-1, MM GEO-1, and MM HAZ-1 shall be implemented as part of the project. These mitigation measures would reduce impacts to a less than significant level.

All other impacts of the project were determined to have no impact or to be less than significant without the need for mitigation. Cumulatively, the project would not result in any significant impacts that would combine with other impacts of current or future projects. Therefore, the project in conjunction with other future projects, would not result in any cumulatively considerable impacts and no additional mitigation measures are required.

- c) **Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?**

**Less than significant impact with mitigation incorporated.** All potential impacts of the project have been identified and mitigated to below a level of significance. Compliance with applicable existing laws and regulations and implementation of recommended mitigation (and improvement) measures would ensure that the project would not result in substantial adverse effects on human beings, either directly or indirectly. Therefore, impacts would be less than significant and no additional mitigation measures are required.

## Mitigation Measures

Implementation of MM BIO-1, MM CUL-1, MM GEO-1, and MM HAZ-1.

## SECTION 3: REFERENCES

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**Appendix A:  
Management Operations and Procedures**

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**CITY OF COSTA MESA  
BRIDGE SHELTER  
MANAGEMENT OPERATIONS AND  
PROCEDURES**

***DRAFT***  
**June 2019**

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## **SECTION I. PURPOSE & INTRODUCTION**

The purpose of the Management Operations and Procedures Plan (“Plan”) is to provide best practices for the Costa Mesa Bridge Shelter. The Plan may also be used to promote open communication between community stakeholders and to help facilitate a better understanding of the Bridge Shelter in Costa Mesa.

Establishing a year-round bridge shelter will meet critical needs amongst some of the most vulnerable people on our streets and in our neighborhoods, while also addressing a pressing social issue that is deeply impacting local businesses and community members.

The Plan identifies emergency shelter services for homeless persons and best practices to maintain a safe and healthy environment for shelter clients and the community at large. The overall purpose of the program is to connect homeless persons to permanent housing opportunities and resources to maintain housing stability and self-sufficiency. Goals and guidelines of the Plan align to national standards of The HEARTH Act (2009) as well as those of the Orange County Ten Year Plan to End Homelessness (2012) and the Orange County Commission to End Homelessness.



## SECTION II. SHELTER ADMINISTRATION

### A. Program Description

#### 1. *Population Served*

##### Bridge Shelter and Services

The proposed program will serve up-to 50 shelter clients at any given time while providing access to a range of programs and supportive services at the Bridge Shelter. To ensure that the shelter will meet the needs of the community in serving chronic and vulnerable homeless people, clients will be admitted with minimal, “low-threshold” requirements so that chronic and vulnerable homeless people can easily enter and remain in shelter until they can find permanent housing.

Those accessing the Bridge Shelter will include homeless single men and single women, age 18+. Special, alternate accommodations will be made for families who are experiencing homelessness.

Each client will be screened for sex offender, arsonist and active felony warrant status before admission (screening will take place prior to arrival at the facility, as part of the bed reservation system), as detailed in the “Admission Criteria and Procedures” section of this document.

##### Bridge Housing Shelter Provision of Services

All Bridge Shelter clients will have access to, and will be encouraged to, participate in services provided through the Bridge Shelter, the Shelter Operator, and the City of Costa Mesa. The City’s contracted professional shelter operator, will be responsible for coordination of on-site partner agencies and will work closely with City Case Manager staff to coordinate any service appointments with onsite providers. Case Managers will be responsible for coordinating additional outside appointments necessary for their assigned shelter clients to achieve goals established in their housing plan.

#### 2. *Program Description*

The Bridge Shelter is designed to provide safe shelter, basic needs, and access to support to move individuals out of homelessness and into permanent housing opportunities.

##### Access to Safe Shelter

The Bridge Shelter will accommodate indoor, overnight sleeping for up-to 50 individuals per evening. Operations at the Bridge Shelter are provided 24 hours a day, seven days a week, 365 days per year. In order to decrease the impact to the surrounding neighborhood, access to bed availability will be handled through a reservation-based system. No walk-ins/outs for the Bridge Shelter, or services, will be

permitted.

The Shelter Operator will provide on-site staff to track daily bed inventory and communicate daily bed vacancies to City Outreach staff, Costa Mesa Police Department (CMPD) and/or Costa Mesa Fire Department (CMFD) upon request. Additionally, up to five vacant beds will be held until 10pm each night to prioritize referrals from local police and/or for emergency or special situations, on a first come/first served basis. Bed reservations will give preference to Costa Mesa Homeless Residents. Should additional beds be available, non-residents may be eligible to receive a bed reservation.

Only City of Costa Mesa outreach staff and contractors, CMPD and CMFD can refer individuals to open beds at the Bridge Shelter. Shelter Operator staff will keep a comprehensive log detailing bed reservation as well as other relevant information. City outreach and/or public safety staff will be responsible for the initial call-in information, while the Shelter Operator (Mercy House) staff will note actions which occurred after the original reservation is made.

It will be imperative for the Shelter Operator to keep a comprehensive tracking sheet which will note the following information:

- Date
- Time
- Client name called in
- Reservation (y/n)
- Declined (y/n)
- Arrival of client (y/n)
- No beds available

The Shelter Operator will utilize a web-based information management system, which will contain the aforementioned real time information and serve as a centralized communication system for both City staff and the Shelter Operator.

#### Length of Stay

Consistent with national best practices and trends, the goal for length of stay should be 30 days or less; however, there is no set maximum length of stay. When a client has been a guest of the shelter for more than 180 days, they will be reviewed for an additional stay period every 30 days, ensuring each client is supporting their progress toward housing stabilization. If a client exceeds these 30 days, an intensified housing location and exit plan strategies will be implemented. The program is designed to provide this support until a housing option becomes available. However, at any time a client may be exited from the shelter for safety or continual shelter violations as outlined in the "Exit and Readmission Policies". Additionally, The Shelter Operator will maintain a report to account for clients with lengths of stay exceeding 30 days

and reasons why.

### Sleeping Areas

Beds will consist of single and/or bunk beds. Each client will be assigned a bed and bedding for the length of their stay. Space will be divided to allow for separate sleeping areas for both men and women.

Flexible sleeping space may also be provided for transgender populations, those dealing with illness or in recuperative care, or for other special needs populations. Dormitory rooms may be closed from 12pm-4pm daily for necessary cleaning.

### Meals

Breakfast, lunch, dinner and snacks will be provided for all clients daily, in a central dining area.

### Hygiene Facilities

Hygiene facilities will be provided onsite for all clients. These will include restrooms, showers and laundry facilities. Clients will be encouraged to utilize these facilities as daily resources. Toiletries will be provided by the Shelter Operator to clients as needed. Accessible restrooms and showers are also provided onsite.

### Transportation

No walk-up clients will receive Bridge Shelter access. New clients and returning clients will receive direct transportation to and from the shelter daily. Dates and times for daily pick-ups are outlined in the "Transportation Policies. "It is recommended that there be a minimum of three (3) designated locations that provide ample geographic range for those seeking shelter services in Costa Mesa, while also taking into consideration community impact and safety considerations. Locations will be selected by the host city/police department and/or in collaboration with neighboring police departments. The Shelter Operator will not drop-off/pick-up other than at agreed upon locations. Current established locations include: SOS at 1540-1550 Superior and The Crossings Church at 2115 Newport Boulevard. The City of Costa Mesa reserves the right to change shuttle locations as Bridge Shelter demands change.

### Security

The Shelter Operator will follow policies and procedures that promote utmost safety for clients, staff, volunteers, and the community. The Shelter Operator will also strive to provide an atmosphere that promotes community, stays alert for signs of conflict, and confronts harmful behaviors before they escalate. The security plan will include a multi-faceted approach involving screening for sex offenders, registered arsonists and felons with open warrants; secured entrances; security searches upon entrance; confiscation of harmful contraband; trained security personnel providing around-the-clock indoor and outdoor coverage; security alarms, cameras and lighting. Other

program elements that will support security efforts include no walk-ups and no loitering policies.

#### Storage

All clients will have access to personal storage space. Each client bed will have a small storage locker for personal valuables. A limited number of outdoor storage bins will be available to clients through a reservation process. Additionally, a refrigerated storage area will be available to clients with medication needs, with the assistance of shelter staff.

#### Case Management Services

Upon entering the shelter, each client will be assigned to a case manager. The primary function of the case manager is to work side-by-side with the client to create a pathway toward permanent housing opportunities, with the ultimate goal of ending their homelessness. Additionally, the case manager is to provide resources and support to the client during their stay, including encouragement to access any and all services provided at the Bridge Shelter. The case manager will ensure that all clients are entered into the Coordinated Entry System, as the first line of housing engagement.

Together, the case manager and the client will complete a Housing Plan which will guide their efforts toward securing permanent housing opportunities. Meeting weekly, the case manager will document the client's progress towards actions outlined in the Housing Plan.

Upon initial intake, the Shelter Operator intake coordinator will ensure each client has been entered into the County Homeless Management Information System (HMIS) and review all shelter guidelines for the Bridge Shelter.

#### Daytime Program Activities

As a 24-hour Bridge Shelter Program, the Shelter Operator will encourage all clients to stay on-site during the day and to take advantage of the on-site services provided to them during the daytime. Daytime program activities include but are not limited to, the following:

- Full access to service providers through appointments made at the Bridge Shelter
- Life skills classes and workshops
- Indoor and outdoor recreational activities
- Access to onsite computer lab and study area

### 3. **Services Provided**

The Bridge Shelter should incorporate a combination of basic needs services, as well as supportive services aimed at creating pathways into housing.

Based on the work completed by the Commission to End Homelessness Implementation Group 2 in May 2013, the Bridge Shelter should include at a minimum the following *baseline services* (in ranked priority):

<b>Service</b>	<b>Location</b>	<b>Provided by Shelter Operator or Service Partner(s)</b>
1. Intake/Assessment/Case Management/Housing Navigation	Bridge Shelter Program	City of Costa Mesa Staff
2. Crisis Evaluation – Mental Health	Bridge Shelter Program	Mental Health Partner
3. On Site Centralized Intake/HMIS	Bridge Shelter Program	Shelter Operator
4. Domestic Violence Services	Bridge Shelter	Domestic Violence Partner
5. Beds on Site	Bridge Shelter Program	Shelter Operator
6. Health Clinic	Off-Site - Temp Bridge Shelter	FQHC Provider Partner
7. Transportation Services and Assistance	Bridge Shelter/ Bridge Shelter	Shelter Operator/ Service Partner
8. Computers/Email	Bridge Shelter Program	Shelter Operator
9. Security	Bridge Shelter Program	Shelter Operator
10. Meals/Food	Bridge Shelter Program	Shelter Operator/Volunteers
11. Parking	Bridge Shelter Program	Shelter Operator
12. Homeless Prevention/Diversion Assistance	Bridge Shelter	City of Costa Mesa/Mercy house
13. Drug and Alcohol Treatment (on/off site)	Bridge Shelter/ Off-Site	Service Partner
14. Crisis Evaluation – Referral Plan	Bridge Shelter Program	City of Costa Mesa
15. Services for Children	Not applicable	Not applicable
16. Commissary/Dining Hall	Bridge Shelter Program	Shelter Operator
17. 211 (off site)	Off-Site	Service Partner
18. Employment/Job Placement	Bridge Shelter	Service Partner
19. Substance Abuse Treatment (on/off site)	Bridge Shelter/ Off-Site & On-Site	Service Partner
20. Mental Health Treatment (on/off)	Bridge Shelter/ Off-Site & On-Site	FQHC Provider Partner
21. Laundry	Bridge Shelter Program	Shelter Operator

22. Storage (on/off)	Bridge Shelter Program	Shelter Operator
23. Information and Referral services (on/off site)	Bridge Shelter/ Off-Site and On-Site	Shelter Operator/ Service Partner

It is also recommended that in addition to the baseline services recommended, the following services are considered in the design and implementation of the Bridge Shelter:

Service	Location	Provided by Shelter Operator or Service Partner(s)
1. Recuperative Care Beds and Services	Off-Site	FQHC Provider
2. Recreational Activities	Bridge Shelter	Shelter Operator/ Volunteer
3. Pet Kennel and Services	Bridge Shelter	Shelter Operator/Service Partner
4. Clothing Donation and Distribution	Bridge Shelter	Shelter Operator/ Volunteer
5. Electronic Charging Stations	Bridge Shelter	Shelter Operator
6. Bike Repair Services	Bridge Shelter	Service Partner
7. Police Substation	Off-Site	Shelter Operator/ Police Dept.
8. Hair Salon and Services	Bridge Shelter	Shelter Operator/ Volunteer

#### 4. **Coordinated Entry System Integration**

The Shelter Operator will include in its staffing plan designated staff to conduct Diversion screening and prevent those with other resources from entering the homeless shelter system. Additional staff will be trained to complete on-site VI-SPDAT assessments. Case managers will also assist Bridge Shelter clients in obtaining the necessary documentation to move forward in their housing connection process, once matched to permanent housing opportunities by the Coordinated Entry Module.

#### 5. **Target Goals/Expected Outcomes**

The target goals and expected outcomes for the Bridge Shelter will adhere to guidelines and expectations set forth by the U.S. Department of Housing and Urban Development's HEARTH Act as well as the Orange County Ten Year Plan to End Homelessness.

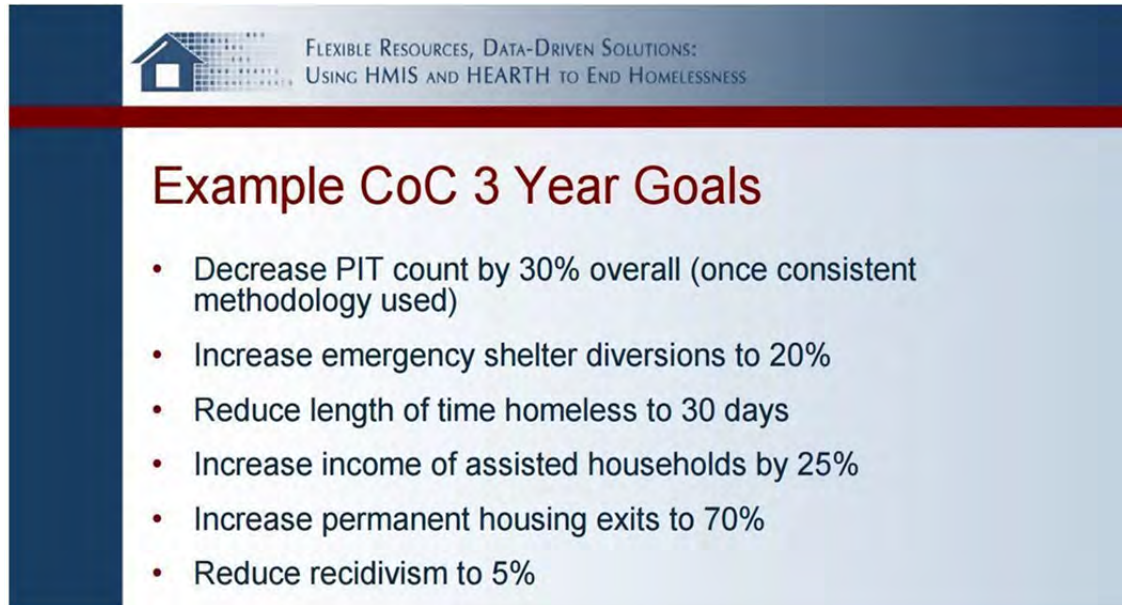
The Bridge Shelter should not be regarded as a singular program(s) but should provide support to the entire Orange County Continuum of Care (CoC), helping to move the system towards higher a level of system performance, a reduction in the number of persons who experience homelessness in our community and an increase in access to housing opportunities for chronically homeless individuals utilizing Bridge Shelter

services. The Costa Mesa Bridge Shelter will offer preferences to Costa Mesa homeless residents who have long-term ties to the community, including other relevant criteria such as level of vulnerability, frequent user of services, and seniors 60 and older.

Indicators for measuring effective system performance should include the following key considerations:

- a. Reduction in Clients Experiencing Homelessness for the First Time:  
Are fewer people experiencing homelessness for the first-time? Are only persons who have no safe, appropriate housing option being admitted to shelter?
- b. Overall Reduction in Number of Persons Who Experience Homelessness:  
Are overall rates of homelessness declining? Is street homelessness declining? Is chronic homelessness declining?
- c. Reduction in the Length of Time Persons Experience Homelessness:  
Do people stay homeless for shorter periods of time? A reasonably short length of time homeless indicates system and program success in rapidly re-housing persons who are homeless. It can also indicate efficiency related to turnover of beds which is essential to meet system demand for Bridge Shelter Program.
- d. Successful Resolution of Housing/Homeless Crisis:  
Do people resolve their housing/homeless crisis successfully by maintaining/obtaining permanent housing? Are people successfully connected to community-based supports?
- e. Reduction in Recidivism (subsequent return to homelessness):  
Are repeat occurrences of homelessness avoided or declining?

The Shelter Provider will work in cooperation with the Orange County Commission to End Homelessness and the Emergency/Transitional Shelter Implementation Group to set community benchmarks and multi-year goals to measure successful program implementation for the Year-Round Shelter and Bridge Shelter.



The slide features a header with a house icon and the text: "FLEXIBLE RESOURCES, DATA-DRIVEN SOLUTIONS: USING HMIS AND HEARTH TO END HOMELESSNESS". The main title is "Example CoC 3 Year Goals". Below the title is a bulleted list of six goals.

- Decrease PIT count by 30% overall (once consistent methodology used)
- Increase emergency shelter diversions to 20%
- Reduce length of time homeless to 30 days
- Increase income of assisted households by 25%
- Increase permanent housing exits to 70%
- Reduce recidivism to 5%

*Source: "The U.S. Department of Housing and Urban Development, Office of Community Planning and Development, "Performance Measurement of Homeless Systems"*

#### 6. **Program Layout**

- Sleeping Dormitory Area with separation between men and women;
- Medical/First Aid Area
- Dining/Commons area
- Security office
- Case management office
- Administrative office
- Intake and Entry Area
- Kitchen
- Shower Areas
- Outdoor Recreational and Facilities Areas
- Outdoor Pet Kennel Area



## **B. Admission Criteria and Procedures**

### **1. Client Rules and Guidelines**

A prospective client must be able to perform all aspects of their care meeting their Activities of Daily Living (ADLs), follow all Bridge Shelter rules and maintain appropriate behavior with consideration for all other clients of the shelter. All clients must review and sign a copy of the "Shelter Rules" document prior to entry (Attachments B and C). Intake staff and City case managers will assist any and all clients who may have difficulty understanding or reviewing the rules. ADL medical exceptions can only be made by the City of Costa Mesa Community Services Director or his designee.

### **2. Identification Requirements**

A form of official identification is required, such as a shelter-issued ID card, to verify identity; however, a client will not be denied access to shelter services without one, so long as their reservation is verified by Shelter Operation staff. Case managers will assist clients in obtaining a California ID, providing each client with a no-cost ID voucher.

Additionally, all Bridge Shelter clients will receive a shelter-specific identification card upon entering the shelter that will be used for readmission during the duration of their stay. Shelter ID components include a photograph, name and other identifying information

### **3. Screening Requirements**

No person validated on the sex offender registry (Megan's Law) will be allowed to access the Bridge Shelter property (screening will take place prior to the arrival at the facility as part of the bed reservation system). Additionally, no felons with open warrants will be allowed to access the bridge shelter property or individuals identified as register arsonist. This screening process will be vetted through the City of Costa Mesa Police Department upon entry to the Bridge Shelter.

### **4. Bed Reservation System**

To minimize neighborhood impact, all clients seeking to access the Bridge Shelter and services will do so through the designated Intake and Bed Reservation Hotline ("hotline").

A client interested in shelter will need to be vetted by City of Costa Mesa Outreach or City of Costa Mesa Public Safety personnel. Clients will be screened for diversion and/or homeless prevention services, utilizing the Coordinated Entry System Diversion and Homeless Prevention Questionnaire. If they have an alternate, habitable location where they may stay, they will be diverted from occupying a shelter bed until their resources have been exhausted.

Clients meeting eligibility requirements will be assigned a bed reservation number and given instructions on transportation options and designated arrival time by the Shelter Operator intake staff.

The Shelter Operator is required to manage and update daily, a designated system for capturing bed inventory, reservations and vacancies, 2-5 shelter beds will be held each night to allow for referrals from local police department and other emergency and/or qualified situations. Shelter Operator staff is also charged with recording excused versus unexcused absences and recording client exits after 2 consecutive unexcused absences in 30 days. By 9am each morning, a new excel spreadsheet should be prepared by Shelter Operator staff noting current beds available, current list of excused versus unexcused absences, and an exit tracking log. These tracking logs will be reviewed by City staff at a minimum of once per week to ensure that there is an internal checks and balances to this transient population.

**5. *New Clients Entering the Costa Mesa Bridge Shelter***

New clients will be screened using the phone intake system and provided a reservation number, bus and/or shuttle pick up time and location.

Beds will be assigned based on availability and eligibility results. Outreach staff and CMPD will ask the potential client if they are able to access a top bunk bed prior to calling the intake line. The Shelter Operator intake staff will check the bed log before assigning the new bed to ensure that an appropriate one exists.

As instructed, new clients should arrive at the designated bus and/or shuttle pick up location or at the shelter through their own transportation, by 7:00 PM each night if they have been approved. Those who do not arrive at the designated time without communicating previous arrangements will forfeit their bed for the night.

Those who do not receive a bed during first bed assignments or miss their scheduled shuttle time, will need to contact the City of Costa Mesa outreach team for initial entry or re-entry to the Costa Mesa Bridge Shelter. If it is after hours, the individual can call the public shelter bed line or other City shelter staff to enquire as to bed availability. City Staff will then reach out to the Shelter Operator intake staff to see if the beds remain reserved. If the client knows ahead of time that he will not be returning to the shelter in the evening, he should call his case manager within standard working hours or leave a detailed message with his name and reason for an excused absence on their voicemail.

A security guard will be assigned to each bus and/or shuttle pick up location with a list of eligible new clients, which have been prescreened for sex offender or active felony warrants. The bus will transport clients directly to the Bridge Shelter site. Security will be in place at the shuttle stop a half hour before and a half hour after the shuttle leaves.

Clients will not be allowed to loiter in the neighborhood surrounding the Bridge Shelter facility or the bus and/or shuttle pick up locations at any time. There will be strict enforcement of shelter client contract rules which could result in a permanent exit from the facility if not followed. Drop-off/pick-up locations are an extension of the shelter; therefore, any violation such as loitering, constitutes a violation of the shelter rules which will be strictly enforced. Operator/Security will conduct random daily

checks of ½ mile radius to shelter and drop-off/pick-up locations to enforce shelter rules and avoid loitering and homeless congregations.

Upon arrival, clients are required to go through a security screening process and work with an Intake Coordinator to be informed of rules and regulations of the Bridge Shelter Program, complete necessary intake paperwork and obtain a shelter ID card.

**6. Day Leave and Returning Clients**

Two morning shuttles will be available to clients (6am and 9am) who have a desire to leave the facility during the earlier part of the day for employment or personal appointments. Two afternoon shuttles will be available to clients (noon and 4pm) who desire to leave the facility during the afternoon part of the day for employment or personal appointments.

Clients who leave the program during the day may return on any later shuttle, but no later than the final 7pm time to ensure that their beds remain claimed. Clients will inform their case manager or shelter bed reservation staff member to ensure their bed reservation is saved.

Clients arriving later than 7pm for special circumstances such as employment or discharge from the hospital, must communicate with their case manager their anticipated arrival time. No client will be allowed into the shelter after 10pm, unless their reason was found to be valid and approved by their case manager and/or the shelter bed reservation staff member. Failure to communicate this could result in forfeiture of their bed reservation and subject to “Readmission Policy” protocols

Clients who are unable to meet the final 7pm shuttle schedule must arrange alternate transportation, i.e. taxi, Uber or alternate vehicle to the shelter site, as no later pickups will be provided.

**7. Hours of Operation**

The Bridge Shelter is open 24 hours, 365 days per year. These hours of operation will be in effect seven days per week, every week regardless of holidays or weather.

5:00 AM	Early Wake Up Call
5:30 AM-8:00 AM	Breakfast served
6:00AM	First bus/shuttle for morning drop-offs
6:00 AM	Commons Area Open
6:00 AM-10:00 PM	Pet Kennel area open
7:00 AM	Second Wake Up Call
10:00 AM	Second (final) bus/shuttle for morning drop-offs

10:00 AM- 4:00 PM	Computer/Technology Lab open (by appt only)
11:30 AM-1:30 PM	Lunch served
3:00 PM-4:00 PM	Snack served
4:00 PM	First bus/shuttle for evening pick- ups
6:00 PM-8:00 PM	Dinner served
7:00-7:30 PM	Second bus/shuttle for evening pick- ups
10:00 PM-6:00 AM	Lights Out in Sleeping Area

### C. Overflow Management

#### 1. ***Coordinated Service Delivery Plan***

It is anticipated that in the early stages of operation for the Bridge Shelter needs and demands will outweigh the capacity of the 50 bed Bridge Shelter Program. Therefore, it is imperative that a Coordinated Service Delivery Plan be implemented that includes coordination of the following diversion and redirection strategies:

##### a. Homeless Diversion

The City of Costa Mesa Outreach staff will screen for Homeless Diversion prior to entry. The Shelter Operator will again review with the client potential Homeless Diversion services at intake to ensure that those with alternative resources will not be accessing the homeless system. Both City of Costa Mesa Outreach and the Shelter Operator will either provide themselves or partner with an agency that can offer successful diversion assistance.

##### b. Coordination with Family Bridge Shelter

The Shelter Operator will work with these countywide family shelter operators to redirect families seeking shelter at the Costa Mesa Bridge Shelter. If no family shelter vacancies are available, the City of Costa Mesa Outreach team will work with families in need by assisting them in seeking alternate shelter until such family programs becomes available.

##### c. Coordination with Transitional and Bridge Housing Providers

The City Case Managers will work with service providers with current transitional and/or bridge housing vacancies. This form of housing will be utilized by returning clients who have been matched with a housing opportunity and will soon move into permanent housing. This strategy will increase the Bridge Shelter bed turnover rate as clients are successfully matched to alternate housing opportunities.

d. Coordination with Other Bridge Shelter Providers

The City of Costa Mesa Case Managers/Outreach will partner with other emergency shelter program providers to redirect overflow to any additional shelter beds that may be available in the County. Case Managers will re-direct clients to shelter providers based on the client's community of origin.

2. ***Overflow Policies***

The Bed Reservation System is designed to prevent and minimize overflow and capacity issues for the bridge shelter. A daily bed utilization count will ensure that the 50-bed capacity will be fulfilled each evening, as need for beds persist.

In the event of a community-wide natural disaster or in extreme weather situations deemed so by state, county, or city authority, the shelter will maintain a "no walk-up" policy. However, the following option could be utilized by the Operator:

- Utilize alternative locations (churches) for additional beds that may accommodate homeless without a bed reservation during inclement weather or disaster. During inclement weather, 15 additional temporary beds may be provided to those in need with the individuals to exit the next day without being a part of the formal Bridge Shelter Program. These individuals will not sleep in the same common area of the Bridge Shelter guests who are part of the program.

**D. Exit and Re-Admission**

1. ***Exit and Readmission Policies***

Clients will be considered to have exited the program when they voluntarily leave or are exited from the shelter for safety or continual shelter violations, or find alternate housing.

When a client exits of their own volition or is exited for shelter violations, the client may contact the admission hotline to screen for readmission eligibility after the time designated by staff (30 days; with approved exceptions made by the Neighborhood Improvement Manager for medical/mental health and extenuating circumstances).

Length of exit for safety violations will depend on the severity of the infraction.

The Shelter Operator and City of Costa Mesa staff should be balanced in their approach to program exits and readmission policies, as it pertains to rule violations and infractions. Such policies should include considerations to maintain a safe and effective facility; safety for clients, volunteers, staff and the surrounding neighborhood; as well as demonstrate compassion toward homeless individuals who face increasingly vulnerable situations if forced to exit from a shelter situation to places not suitable for human habitation. No client shall be exited without review by the Neighborhood Improvement Manager and/or her

designee. Additionally, shelter staff will keep logs of “excused” versus “unexcused” absences to avoid unnecessary exits. Only case managers and/or Neighborhood Improvement Manager and/or her designee can approve excused absences. These excused absences will be promptly reported to shelter staff so that they are notated in appropriate logs.

It is recommended that infractions will be subdivided in a multi-tiered system based on the perceived impact of the infraction. Consequences for each tier level should be fitting and just for the level of the infraction and its perceived impact on the wellbeing of stakeholders.

As an example, a Tier 1 level may include “Basic Program Guideline Infractions” such as smoking in the bathrooms, not leaving sleeping area on time in the morning, cutting in line, etc. Tier 2 may include “moderate infractions” such as possessing alcohol on site, client fighting (minor scuffles), disrespect toward volunteers, etc.

For disobedience of rules in Tier 1 and Tier 2 levels, there will be increasing enforcement actions including verbal warnings and write-ups. After a compounded number of infractions in these tier levels, a client may be asked to leave and staff will determine and give them the designated time line for which they can be readmitted. Infractions at the Tier 3 level would be considered “major infractions” that include illegal drug use or possession, violent attacks/fights, possession of weapons, etc. The Shelter Operator maintains a zero-tolerance policy towards criminal activity including, but not limited to: violence & sexual misconduct, as well as drugs and medications used or possessed beyond the scope permitted in the “Health Policies”. These behaviors, when substantiated, are punishable by immediate expulsion upon first offense and a *minimum of 30 days* expulsion prior to readmission.

Clients who use the facility, programs, and services in violation of a specific rule will be obliged to adhere to those consequences. The consequences may also be subject to intervention by law enforcement, and if necessary, prosecution up to the limit of the law.

## **2. Exit Procedures**

When a client is asked to exit due to disobedience of rules, violence, or criminal activity, security will escort the person off the property and be transported to a self-directed location, out of the surrounding area.

## **E. Case Manager Services Policy**

Upon entering the shelter, each client will be assigned to a Case Manager. The primary function of the Case Manager is to work side-by-side with the client to create a pathway toward permanent housing opportunities, with the ultimate goal of ending their homelessness. The time frame is open-ended; however, the shelter guest will be on a strict housing plan schedule, meeting with their Case Manager on a weekly basis. Additionally, the Case Manager is to provide resources and support to the client during their stay, including encouragement to access any and all services provided at the Bridge Shelter.

The Case Manager will ensure that all clients have a complete assessment and are entered

into the Coordinated Entry system, as the first line of housing engagement. However, this will not be their only housing plan option. The case manager will continue to seek other housing opportunities, which could also include diversion services.

Case Managers will assist Bridge Shelter clients with obtaining the necessary documentation such as: California Identification, Social Security card or Birth Certification to move forward in their housing connection process, once matched to permanent housing opportunities.

Together the Case Manager and the client will complete a Housing Plan which will guide their efforts toward securing permanent housing opportunities. Meeting weekly, the Case Manager will document the client's progress towards actions outlined in the Housing Plan. Additionally, Case Managers will work with clients to provide referrals to services in the Bridge Shelter or any community referrals as necessary.

**1. *Documentation of Case Management Services and Data Security Policies***

Shelter Operator logistical staff, upon client entry, will enter the new shelter guest into HMIS database. Once completed, a warm hand off will be provided to the guest's City Case Manager. Case Managers will keep case notes updated with each contact in the City of Costa Mesa database. The database will track the resources and referrals given, support rendered, and any infractions the client may accrue. Outcomes are recorded at exit and throughout participation in the program. When the client is exited from the Bridge Shelter program, the Shelter Operator logistic staff will update HMIS with their current status. Upon training and approval, City of Costa Mesa case management staff will enter and update HMIS database, when appropriate.

Paper files will be stored in a secure, locked location in the City Case Managers' office, which can only be accessible by necessary shelter staff.

The Shelter Operator will use HMIS as its primary database and ensure that every client completes and signs an Orange County HMIS Client Consent Form upon entry into the program. Intake Specialists will ensure collection of all HUD Data standards as required by the HMIS system.

The Shelter Operator will have a policy restricting computer access records and client information to authorized staff. All database and HMIS access will require passwords by authorized users.

Disclosure of client information to other social service agencies may be permitted only with the client's written consent. Disclosure of records relating to clients may be released without client consent in certain circumstances, as required by law.

**F. Daytime Program Policies**

Clients that are participating in the Bridge Shelter may, but are not required to, leave the facility during the day. The Shelter Operator will make every good-faith effort to

encourage all clients to stay on-site during the day and to take advantage of the on-site services provided to them during the daytime. Access to bed areas will be limited throughout the day to encourage clients to become active participants of the Bridge Shelter Program.

Two morning shuttle times will be available to clients who desire to leave the facility for work or personal appointments using the Bridge Shelter transportation services.

If not utilizing the morning transportation services, clients are encouraged to stay at the facility. Clients will have access to daytime services through the Bridge Shelter's partner organizations and will be able to meet with their assigned Case Manager on a weekly basis. They will also have access to activities provided by shelter staff and volunteer organizations. Clients are welcome to use the facility's recreational areas, lounge, computer lab, and designated outdoor spaces.

## **G. Bridge Shelter Program Policies**

### **1. Bridge Shelter Clients**

Access to the Bridge Shelter will be limited to homeless clients of the Bridge Shelter Program. Transportation to and from the Bridge Shelter for these clients must be provided and coordinated by the shelter staff and/or service partner organizations.

As with Bridge Shelter clients, Bridge Shelter clients are expected to follow all Bridge Shelter rules and maintain appropriate behavior with consideration for all other clients of the shelter. Rules of the Bridge Shelter will prominently be displayed in lobby waiting areas. Those in violation of these rules will be exited from the site, suspended or terminated from receiving services depending on the severity of the offense.

### **2. Lead Agency Protocols**

The role of the Shelter Operator is not to provide all of the supportive services offered at the Bridge Shelter but to recruit and manage a group of partner agencies specialized in providing an array of supportive services beneficial to Bridge Shelter clients and other homeless populations.

The Shelter Operator will include in its staffing plan a Bridge Shelter volunteer coordinator position. The duties of the Bridge Shelter Volunteer Coordinator will be to recruit and encourage participation by outside service providers, maintain service provider room reservation schedule and ensure the day-to-day operational functions of the Bridge Shelter.

The Shelter Operator should ensure that the Bridge Shelter has flexible hours to allow clients to come before or after work, or alternatively, on the weekends. The Shelter Operator may also engage participation in and facilitate quarterly meetings through the formation of a Service Partner Advisory Board.



### 3. **Requirements for Service Provider Partners**

All service providers who desire to offer direct services at the Bridge Shelter will complete an interest application.

Responsibilities of the Service Provider Partners will include, but are not limited to:

- Set and maintain their own appointment schedule with clients;
- Provide clients with access to transportation to fulfill their scheduled appointments, if needed;
- Ensure that all clients are aware of Bridge Shelter rules and enact appropriate; enforcement of client shelter rules for their clients if and when necessary;
- Agree to share service output and outcome information;
- Communicate room reservation conflicts with Bridge Shelter Concierge in advance;
- Respect, maintain and keep clean all areas of the Bridge Shelter;
- Respect and cooperate with Shelter Operator staff, other service providers and clients;
- Participate in quarterly Service Partner Advisory Board meetings and provide input to the improvement of the Bridge Shelter and Bridge Shelter Program; and,
- Screen clients for eligibility (no sex offenses, registered arsonists, or felonies with open warrants will be allowed on-site).

## H. **Good Neighbor Policy - Community Coordination and Communication**

### 1. **Communication and Coordination with Neighborhood, Businesses and Public**

The Shelter Operator is committed to communication with neighbors on an ongoing basis. As part of this commitment, prior to commencement of any services at the Bridge Shelter Program, the Shelter Operator will facilitate a number of Community Forums, as needed. These Community Forums will provide opportunities to answer any questions that members of the surrounding community might have on the operations of the Bridge Shelter Program. The Shelter Operator will provide information to the public including: operational design plans, estimated date to begin and complete construction efforts on the project, and when services will begin.

A public inquiry phone number and contact information will also be posted. Community stakeholders may call this number for information about the site or to have any questions answered. The phone number will be retained as a resource for community members while the shelter is up and operational. All community complaints and/or inquiries about the Bridge Shelter will be recorded and forwarded to the appropriate staff for prompt investigation. The Shelter Operator will be fully committed to an appropriate customer service response and will consider the resolution of community complaints a high priority.

The Shelter Operator will also create and maintain a program website that will include important information for community stakeholders and clients alike. The website will include a "Frequently Asked Questions" section which will help to provide instant

answers to community concerns. Additionally, the website will include a digital copy of the Shelter Operator's full "Good Neighbor Policy" and "Management and Operational Plan" to be made accessible to the public.

Visits by members of the community and tours of the facility will only be available by scheduling an appointment with City Staff. All requests must be submitted no less than 48 hours in advance and must be approved the City Manager or designee. Approved shelter tours will only be given during normal business days (M-F), during the hours of 8:30 am - 4:30 pm).

The Shelter Operator will have program brochures available on-site, and will also as disseminate these resources to groups throughout the community. Information on the brochures will highlight the various services at the facility as well as criteria for admission and eligibility. Volunteer, in-kind and donation opportunities will also be listed for those who wish to support the program.

The Shelter Operator will create a set of media guidelines and appoint a Public Relations team to handle all media requests. The Public Relations team will be charged with ensuring that the public is regularly updated on the progress and successes of the shelter program through various local media outlets. All media inquiries must be approved the City Manager or designee.

## **2. *Communication and Coordination with Local Police and Fire Departments***

The Shelter Operator is committed to communicating and working collaboratively with local police and fire departments through all stages of program implementation - from facility design to program execution. The intention of the Shelter Operator should be to act as self-sufficient as possible and minimize the shelter's impact on the local police and fire departments. This includes ensuring that staff and security are trained to properly manage and respond to an array of difficult situations that may occur at shelter.

The Shelter Operator will provide an array of services and support that will be beneficial to local police and fire departments. These services include, but will not be limited, to:

- Security Officers stationed both on-site and at bus/shuttle locations;
- Access to medical facilities to respond to medical needs of the clients;
- Creation of an on-site police substation, if desired;
- Designated beds reserved each night for law enforcement referrals (including percentage set-aside for the host city);
- Staff Neighbor Patrol will monitor surrounding area to control issues of loitering, abandoned property, and other blight;
- Training opportunities on mental illness, homeless sensitivity or other topics of interest to supplement existing department trainings;
- Direct referral access to the Coordinated Entry system to assist local law enforcement officers in connecting homeless individuals with housing opportunities;

- Statistical reports on number of clients served, length of stay and/or demographic information.

Additionally, the City Staff/Operator will meet with local law enforcement from the host city and surrounding police departments. Initially, it is suggested to meet once per month when the shelter opens. Costa Mesa Public Safety personnel will have the ability to bring forward operator non-performance directly to the City.

### **3. *Communication and Coordination with City, County, and Service Providers***

Operation of the Bridge Shelter will be for the public good and to move the homeless Continuum of Care system forward. As such, successful implementation of the Bridge Shelter will require the partnership of various stakeholders including the City, County and other Service Providers.

The City Case Managers/Shelter Operator will be committed to working cooperatively with numerous other Service Providers, community, and government organizations to serve the needs of the homeless population in Orange County.

In order to effectively manage and operate a robust Bridge Shelter that provides an array of services for the shelter clients, Case Managers must demonstrate a strong history of collaboration and willingness to engage other Service Providers.

Additionally, the City Staff/Shelter Operator will be responsive to and provide support to the City Council Members as needed, in relation to the outcomes and operation of the program.

### **4. *Policies for Community Involvement***

The Shelter Operator will be committed to active participation in City and County-wide community events. To the extent reasonable and feasible, representatives of the Shelter Operator will attend meetings of the local Neighborhood Association(s) and local Chamber of Commerce(s) when invited, and communicate with neighborhood and business participants.

Additionally, the Shelter Operator may sponsor special events, such as community resource fairs which will include the community and the neighborhood on various occasions.

### **5. *Policies for Neighborhood Patrol***

A Shelter Operator staff-led Neighborhood Patrol will assemble daily to monitor a ½ mile radius around the shelter perimeter. The role of this patrol group is to collect litter, promote cleanliness, engage with neighbors, and enhance the safety and cleanliness of the immediate vicinity.

Additionally, they will prevent and control issues of loitering, unauthorized parking of client vehicles in the neighborhood, abandoned property, shopping carts and other blight. A log will be kept of the daily patrols. The following actions will be completed by the Neighborhood Patrol:

- All litter and trash items will be removed from the area and properly disposed of;
- Clients found loitering will be issued a warning and be asked to move along. Violations of this rule may cause a client to be exited from the facility;
- Unauthorized parking of client vehicles in the neighborhood are subject to towing;
- Shelter Operator will contact a city-designated shopping cart retrieval program to collect all shopping carts found that do not contain items of personal property;
- Shelter Operator will follow city codes for removing personal property found in the surrounding area;
- Shelter Operator will work with law enforcement to have staff conduct outreach and engagement activities to homeless in surrounding community such as parks, etc.

## **I. Shelter Advisory Boards**

### **1. Advisory Board Composition:**

The Shelter Operator will establish a Shelter Advisory Board comprised of varying stakeholders with the intent to:

- Regularly review the operations of the bridge shelter program
- Enhance community relations between the shelter and the public
- Address concerns of local community members, businesses, City of Costa Mesa and partner services providers pertaining to the operation of the Bridge Shelter
- Address grievances as they occur in the Bridge Shelter

The 11-member Shelter Advisory Board will include:

- Mercy House Shelter Manager
- City Council District Representative
- City Neighborhood Improvement Manager
- Police Department Representative
- Two Representatives from the Adjacent Business Community
- Two Representatives from the Adjacent Residential Community'
- Lighthouse Church Representative
- City Homeless Consultant
- Trellis Representative

### **2. Meeting Schedule**

During the first 90-days of shelter operation, meetings will take place monthly. As operations are established, meetings may be adjusted to bi-monthly/quarterly, or as needed.

### **3. Accountability and Grievance Process and Policies**

In addition to providing input to the operation of the Bridge Shelter Program, the Shelter Advisory Boards are also tasked with the on-going review of the Shelter

Provider's ability to effectively administer its Operational Plan and Good Neighbor Policies. In the event that a Shelter Advisory Board finds concerns over the Shelter Operator's implementation of the program, the following processes and policies will be enacted to allow the Shelter Operator to make corrective actions toward such grievances:

- Once a grievance has been filed, Shelter Operator and Advisory Board will create, at the meeting in which the grievance is filed, an action-plan to resolve the issues by the next regularly scheduled Advisory Board meeting;
- At the next meeting, the action plan's outcomes will be reviewed to determine if the issue has been resolved;
- If the issue has not been resolved, but the Shelter Operator has provided evidence of a good faith effort to follow the course of actions outlined on the plan, they will be given an additional 60-days to enact an alternative plan;
- If the issue has not been resolved and the Shelter Operator has not demonstrated or provided evidence of following the course of actions outlined in the plan, a formal complaint will be sent to the City Manager for investigation and possible suspension and/or termination of the Shelter Operator Contract. The City Manager shall have a plan for operation of the shelter if the Shelter Operator is terminated due to such violations including failure to enforce plan components such as Good Neighbor Policy, bed reservation requirements, no walk-up policy, etc. The plan may include selecting an eligible operator from an RFP process and/or entering into a sole source with a new operator, based on approval of the City Council. In addition to the Shelter Advisory Board, law enforcement will have the ability to bring forward operator non-performance directly to the City.

## **J. Safety Policies**

### **1. Facility Maintenance**

The Shelter Operator will keep a schedule for regular facility maintenance and cleaning. The Shelter Operator will contract with a janitorial service to provide daily cleaning services for all areas utilized by clients and weekly for office space at the Bridge Shelter.

Shelter Staff will rotate regular maintenance duties and inspections for minor repairs and replacements. Maintenance and cleaning forms are used to track completion of each task and reviewed monthly. The Shelter Operator will be responsible for staff training and performance in these duties.

The outside grounds will be incorporated into the maintenance schedule and rotation including cleaning of parking lot, watering of plants, maintenance and cleaning of sidewalks and patio areas, and checking of outside lights and furnishings. Graffiti will be reported to the Program Manager for removal within 24 hours.

Need for repairs will be reported promptly by staff to the Program Manager. Minor repairs may be completed by staff as trained. Major repairs are reported to the

Program Manager of the Shelter. Difficult repairs will be sent out to an approved list of vendors for bids, approval, and completion.

The Shelter Operator will be committed to maintaining a pest free environment throughout the premises. As such, no food will be allowed in living areas of facility. Trash bags will be emptied daily in all areas. Inspection of client spaces and lockers will be conducted for any items that would attract pests. All staff will receive appropriate training for the identification of common pests as well as prevention and control measures. A Pest Control company will be contracted by the Shelter Operator and will come regularly to spray for bugs, check for infestation of pests, and perform other pest prevention or extermination treatments that will be seen on their visits or reported by staff.

## 2. ***Fire and Earthquake Safety***

### Evacuation Plan for Ambulatory and Non-Ambulatory Residents

Shelter staff will be trained in protecting the safety of everyone in the facility. Staff will respond quickly and safely when an emergency, incident, or natural disaster occurs. Evacuation routes and exits will be posted in each major area of facility. An evacuation point outside will be designated.

In case of the need for evacuation, the present site lead during the emergency will notify all staff and clients to evacuate, call 911, and direct evacuation plan. Staff will be assigned to oversee the evacuation of clients in each work area. Staff will check client areas, assigns assistance to non- ambulatory and disabled persons, and leads clients to safety through the nearest safe evacuation exit. Staff will assemble clients outside at designated evacuation point, read bed list for attendance and search for any missing clients as safety conditions allow.

In case of fire these additional protocols will be completed:

- The Program Manager or lead staff member will pull the nearest fire alarm if it is not already sounding; the Fire Department monitors the alarm and will respond immediately.
- While evacuating clients, staff will attempt to close all door(s), if safe to do so.
- Before exiting a room, the Program Manager or lead staff member will touch back of hand to the door to determine if the door is cool, then open it a crack, smell for smoke, and if deemed safe, open the door and leave the building to the evacuation meeting point.
- If the door is hot, it is not opened and staff will lead clients to leave via the nearest safe exit.
- Staff will locate and use appropriate fire extinguishers, if safe to do so.
- When the Fire Department arrives, a staff person will speak to the officer in charge and give the officer a set of staff keys.
- Staff will contact the Program Manager or his/her delegate as soon as possible, if not on site.
- Staff will report incident and procedure in Incident Report and staff shift notes as directed in shelter policy.

If the weather is inclement and if the evacuation will not be short, staff will:

- Contact the Program Manager to identify evacuation locations and disaster team if assistance is needed for client shelter, meals or services.
- Contact the City Neighborhood Improvement Manager.
- Contact other Homeless Providers for services, as needed.

For a false alarm or other short-term evacuation, staff will direct occupants back into the building once the Fire Department has authorized an “all-clear.”

### 3. ***Fire Prevention Procedures***

The Bridge Shelter will be approved by the Fire Department for all fire codes, sprinklers, alarms, and exits prior to service implementation. Emergency lighting will be installed both inside the facility and outside on the grounds for safety and in compliance with all codes.

No smoking will be allowed inside or outside the building, within 20 feet of doors. A smoking section will be designated and a sign posted in the enclosed patio area.

### 4. ***Fire Drills and Documentation***

Fire drills will be conducted at least quarterly. Documentation of fire drills will be kept for three years in Shelter Management Files.

### 5. ***Fire Inspections and Extinguishers***

The most recent annual fire inspection will be posted in a designated area of the Bridge Shelter facility and will be included in the Shelter Management files. Fire extinguishers will be hung in each area of the building as shown in facility plans and in evacuation plan. Fire extinguishers will be inspected and maintained per City and County requirements. A certificate of the most recent OC fire inspection will be posted in a visible designated area.

### 6. ***Earthquake Safety***

Earthquake drills will be conducted quarterly by staff. The evacuation route and procedures may be the same as other hazards. A client tally and search will be conducted once evacuation is conducted.

In case of an actual earthquake that causes damage to facility or grounds, staff from the City’s Public Services and Fire Departments will be called to inspect the facility as soon as safety permits. Clients will be evacuated from building and transported to other shelters as needed.

## **K. Security Plan**

The Shelter Operator will follow policies and procedures that promote utmost safety for clients, staff, volunteers, and the community and will strive to provide an atmosphere that promotes community, stays alert for signs of conflict, and confronts behaviors before they

escalate.

**1. Eligibility Screening**

No person validated on the sex offender registry (Megan’s Law) or a registered arsonist will be allowed to access the shelter property. Additionally, no felons with open warrants will be allowed to access the shelter property.

**2. Secured Entrances**

All clients will be required to enter the shelter in a coordinated, peaceful fashion.

All clients will present identification upon entry. Clients without valid California identification cards will be given supportive services to secure a valid identification card. Clients will also receive a shelter-specific ID to use for admission into the shelter throughout the duration of their stay.

All clients and their belongings will be checked by security personnel, utilizing security wands each time they enter and exit from the shelter and all contraband will be seized. Contraband items include, but are not limited to: weapons, explosives, flammable or volatile substances, illegal drugs, controlled substances or drug paraphernalia, bio-hazardous items or environmentally harmful goods.

Clients will sign in upon entrance, and sign out upon exit from the building.

**3. On-site Security Personnel**

The Shelter Operator will provide a sufficient number of trained security guards to ensure the safety of clients and the surrounding neighborhood, 24 hours a day. Security will be on site at all times, and will conduct security rounds of the facility as necessary.

Security guards will be stationed both inside and outside the shelter to ensure maximum coverage. Security guards will be accessible and visible to clients, and survey facility for any potential concerns. Staff and security will have communication with each other via portable electronic equipment.

Security guards will be contracted through a third-party vendor. Security guards will carry non-lethal weapons such as mace, batons and handcuffs. Vendor will ensure that all security staff will be regularly trained.

Security guards will receive "Homeless Sensitivity Training" through the Shelter Operator’s resources.

**Daily Recommended Operational Staff to Security Ratios**

	<b>Staff</b>	<b>Security Guards</b>
6:00 AM	4	3
7:00 AM	6	3



8:00 AM	7	3
9:00 AM	8	3
10:00 AM	9	5
11:00 AM	9	5
12:00 PM	8	3
1:00 PM	8	3
2:00 PM	9	5
3:00 PM	11	5
4:00 PM	7	3
5:00 PM	7	3
6:00 PM	5	3
7:00 PM	4	3
8:00 PM	4	3
9:00 PM	4	3
10:00 PM	4	3
11:00 PM	5	3
12:00 AM	2	3
1:00 AM	2	3
2:00 AM	2	3
3:00 AM	2	3
4:00 AM	2	3
5:00 AM	4	3
Excludes Program Manager and Cook, who have flexible schedules		

**4. Security Alarms and Cameras**

The building will be equipped with security cameras inside and outside, safety alarms, and a portable communication device worn by staff. Staff will also have access to panic buttons which will silently summon police to the facility during emergency situations.

A City of Costa Mesa staff member will monitor security through an administrative office located on site.

**5 Security Lighting**

Security lighting will be used both inside and outside the facility to highlight entrances and parking lot. A staff person will escort any persons to parking lot or security gate

after sunset.

**5. Loitering Policy**

Clients will not be allowed to loiter in the surrounding neighborhood. Violations of this rule may cause a client to be exited from the facility. The Shelter Operator's Good Neighbor Policy will include regular checks of surrounding area to prevent and control loitering issues.

**6. De-escalating Conflicts**

All employees will receive training in communication techniques that de-escalate confrontations.

**7. Entrance and Exit Procedures**

All staff and clients will enter and exit through one main entrance and security checkpoint. Both entrances will be equipped with security cameras for inside and outside the facility, safety alarms, and a portable communication device worn by staff for control of entrance and activity inside the building. All areas of the building will be locked when not in use. The building will be zoned so that clients will only have access to the areas which they need. During sleeping hours, clients will have restricted access to other areas of the building.

All clients will present identification upon entry, and their person and belongings will be searched by security. They will sign in upon entrance and sign out upon exit from the building.

All clients will enter the property by bus/shuttle. Clients will be escorted from the designated parking lot area and bus/shuttle drop off area to the shelter entrance.

**8. Policy Regarding Storage of Client's Possessions**

All clients will have access to limited personal storage space in the outside storage area and indoor sleeping area.

A limited number of outdoor storage bins will be available to clients through a reservation process. A client who qualifies and requests their personal effects to be stored in these outdoor bins must sign a "Storage Bin Agreement" form which states that staff is not responsible for any items that are lost, stolen, or damaged. A client may store personal property in their assigned bin, to its maximum capacity.

A client storage log will be signed at each visit to the storage area. The storage area may be accessed, with staff supervision only during assigned hours during the day.

All items will be stored for the length of the client's stay at the shelter. The right to store items may be revoked based on violation of rules and/or at the management's discretion. Once a client has exited the shelter program, any personal effects may be stored for up to 7 days; after which, the property will be donated or disposed of. Clients who have exited from the shelter program must contact staff to set an appointment to collect their personal belongings.

In the event the client cannot come to retrieve their own property, they may name a proxy of their choosing to pick up their effects by filling out an Authorization for Release of Personal Property form. The client will be responsible for asking their designated contact person to retrieve property, if needed.

No contraband items may be stored at the shelter. Contraband items include but are not limited to: weapons, explosives, flammable or volatile substances, illegal drugs, controlled substances or drug paraphernalia, bio-hazardous items or environmentally harmful goods.

**9. *Policy Pertaining to Authorized/Unauthorized Search of Clients' Property by Staff***

The Shelter staff will have the right to inspect all storage areas to ensure compliance with contraband policies. Staff has the right to designate a period of time when a client will be ineligible for re-entry to facility, if contraband is found. Length of ineligible time will be documented according to the "Exit and Readmission Policies".

When inspecting a client's possessions without them present, two staff persons will be responsible for the search. An Authorization Form will be signed by the client at time of entrance into facility when they place items into the storage area. When items are found in the client's possession that are not suitable for storage, clients can choose to have staff dispose of the item or client may store property off site, at their own cost.

**10. *Policy on Possession of Weapons On-Site***

No weapons or objects which can be used as weapons will be brought into the shelter. All of a client's belongings brought on-site will be searched upon entry and inspected for weapons and items that could be used as such. Anyone found with a weapon or dangerous materials that can be used as a weapon will be asked to immediately leave the premises and neighborhood of the facility. Sharp objects such as tools or scissors will be stored in locked storage areas and not taken into shelter living areas.

All kitchen knives and sharp objects, hazardous materials, and cleaning equipment that could be used as a weapon will be kept in locked areas with only staff accessibility.

**11. *Procedure for Contacting Police***

The intention of the Shelter Operator should be to act as self-sufficient as possible and minimize the shelter's impact on the local police department. This includes ensuring that staff and security will be trained to properly manage and respond to an array of difficult situations that may occur at the shelter.

In establishing a procedure for contacting police, the Shelter Operator will work cooperatively with the local police department to establish shelter policies and procedures on how and when to contact police for conflict resolution, trespassing, theft, unruly behaviors, loitering around property, mental health evaluation, and emergencies.

Upon consensus, a 911 protocol will be established and followed. All staff members will be trained in these procedures. 911 may be called for any medical emergencies, violent behaviors that endanger others, and suicidal ideation.

## **L. Health Policies**

### **1. *Housekeeping Policy***

The Shelter Operator will commit to and understand the importance of maintaining hygienic, sanitary environments for the well-being of clients, volunteers and staff. The Shelter Operator will maintain written, standardized housekeeping procedures. Each procedure will be designed for safety of staff and clients and for a consistent, high standard of housekeeping. Staff will be provided with training in these procedures, will be monitored in performance of the procedures, and evaluated in their effective use of them. Training may include education on any hazardous materials with which staff may come into contact when carrying out their assigned work tasks. The complete list of procedures will be included in a Shelter Policy and Procedures Manual and made available to all employees.

Outside janitorial staff will be contracted to assist in the maintenance and cleaning of the facility. Thorough daily cleaning of all client areas including living quarters, kitchen and dining and common areas will be done using institution strength antibacterial products.

Bathrooms, showers, and eating areas will be given priority attention. The kitchen and dining areas will be cleaned according to strict health standards after each meal. Office space will be cleaned weekly by the contracted janitorial staff and as needed by Shelter staff and partner organizations using the space.

To prevent cross-contamination, clients will be required to store personal toiletries in plastic sealable bags on their beds when not in use. The Shelter Operator will assign a set of linens at intake for their use while in the shelter. The client will be responsible for making and maintaining their bed each morning. Staff will wash bed linens weekly in hot water with bleach unless special circumstances require more regular cleaning.

All staff will practice universal precautions in handling of laundry, cleaning of facility, and general self – health care. Specifically:

- Staff will wear appropriate protective garments (i.e. gloves) while completing tasks;
- Staff will use recommended disinfecting cleaning products for each area of facility;
- Staff will practice required hand-washing procedures;
- Kitchen staff will be trained in and practice required food-handling procedures;
- All client clothes will be washed upon initial intake and weekly thereafter;
- All laundry will be handled according to safety and washing procedures. Staff and volunteers will follow a set of Program Rules and Regulations for working when they are sick/contagious.

The outside grounds will be included in the housekeeping standards and schedule. The facility's outside spaces, parking lot, and green areas will be cleaned daily from debris and litter. Chairs and tables will be washed according to inside standards. Minor repairs of the facility and grounds will be completed by the Bridge Shelter staff. Any major repairs or work requiring specialized training will be completed by approved vendors.

The Service Partner agencies must adhere to housekeeping procedures. Service Provider Partners will be expected to respect and keep their areas clean after usage.

## **2. *Pet and Service Animal Policies***

Ten percent of the client will be permitted to bring pets and service animals into the shelter. Clients will be encouraged to have their pet registered and receive current vaccinations in order to access the Bridge Shelter program. They will also need to agree to have their animal altered in keeping with the shelter's policy on prohibition on breeding. Not having their pet registered or vaccinated will not be a disqualifier, but is something that will be worked on with their Case Manager. Emotional Support/Service animals will be permitted to stay in the shelter and living areas, all other animals must stay in the provided kennels on the grounds. In order to qualify as a service animal, a client must produce an official letter from a licensed physician stating that the animal is needed to help the disabled individual perform some of the functions and tasks that an individual with a disability cannot perform for him or herself.

The health and well-being of all pets and service animals brought into the Bridge Shelter will be the responsibility of their owner. Clients must feed and clean up after their pets and service animals, Shelter staff will not be able to provide food. Clients who are unable to care for or feed for their pets or cannot control them while at the shelter will be asked to remove the pets from the facility.

The Shelter Operator would work with the City to define rules and policies around pets, service animals and animal management at the shelter. The Operator would contract with Heart-Healthcare and Emergency Animal Rescue Team or a similar

provider, who works at Bridges at Kraemer Place shelter, to help provide animal management services at the shelter. Such services include but are not limited to: examination of pet health upon entering shelter and throughout, spaying/neutering services, vaccinations, treatments for injuries/health issues and pet owner education. All animals must remain either inside the facility or within the gated area of the shelter in the designated outdoor animal area. Animals may not be walked outside of the facility with the ½ mile radius area

3. ***Possession and Use of Controlled Substances***

The Shelter Operator will have a strict policy prohibiting the possession or use of alcohol or controlled substances at the Bridge Shelter and on the Bridge Shelter premises by employees, residents, clients, and the general public.

It will be the intent of the Shelter Operator to promote a safe, healthy and productive environment for everyone. Staff recognizes that the illegal and/or excessive use of drugs and alcohol, or the inappropriate use of prescribed drugs is not conducive to a safe living environment. It will be the objective of the Shelter Operator to have an environment that is free from the influence of controlled substances and alcohol at all times on the premises. The unlawful purchase, possession, transfer, manufacturing, distribution, dispensation or use of any illegal drug is inconsistent with the objective of operating in a safe and efficient manner, is contrary to the Bridge Shelter's mission, and will be strictly prohibited.

4. ***Policy for Drug Possession***

Staff will have the right to refuse entrance to any client who is noticeably under the influence, exhibiting behavior that is inappropriate due to influence, or otherwise cannot follow the rules and expected behaviors of a client while participating in Shelter activities. If alcohol, illegal substances, or paraphernalia are found in a client's possession after they have completed entry paperwork and necessary security screenings, that client may be asked to exit the facility at the discretion of staff. They may be given a timeframe of their next eligible readmission date. The illegal drug or alcohol will be disposed of and documented by two staff following written protocol in a Policy and Procedures Manual.

5. ***Security, Use and Access of Prescription Medications***

If a client has medications that must be administered throughout the evening/night or will be damaged by extreme heat or cold, they may retrieve them from a designated staff person. If a medication needs to be refrigerated, the medication will be packaged and labeled with person's name, bed number, and name of medication and placed inside a designated locked refrigerator.

A client who qualifies and requests their medications to be stored in a locked area must sign an Agreement Form and will have access to the medications as soon as possible by their request to the staff on duty. The client will be responsible for requesting and taking their own medications within limits of how they are prescribed. Only the person whose name is on the medications will be able to retrieve them.

6. ***Client Use of Over-The-Counter Medications***

Use and storage of over-the-counter medications follow the same policy and procedures of prescription medications.

7. ***Client Access to Emergency and Medical Care***

Clients may have access to medical care at any time. Client should communicate to staff member on duty their need for medical care, if possible.

If a client requires first aid items, they may access them from a shelter staff member at the service desk. The staff member may assist the client in first aid care with client's permission, as he/she will be trained, and using universal precautions.

In case of a seizure, staff will be trained in appropriate safety precautions or will call 911 if seizure persists or causes bodily harm. If a client needs emergency or serious medical care, the staff on duty will call 911 and follow 911 procedures. In case of an injury, staff will not move the client. They will contact other staff, call 911, and if appropriate, check breathing and pulse and begin CPR if needed. One staff member or trained volunteer will attempt to keep the client comfortable and keep other clients away from immediate scene, while another staff member will wait for medical personnel, give medical personnel information about client, and direct them to client.

The Program Manager will be called as soon as possible. After client emergency or incident has been controlled, the lead staff member will complete an Incident Report form which will be sent to the Program Manager and higher-level staff as needed.

8. ***First Aid Equipment, Supplies and Procedures***

The Shelter Provider and/or approved medical partner will have first aid supplies available at all times. The first aid kit will be inspected monthly, updated as items expire, and re-stocked after each use. Staff members will be trained annually in universal precautions, first aid care, seizure, and Mental Health crisis. Any incident occurring at the Bridge Shelter requiring first aid will be documented in the daily report and an Incident Report will be prepared and sent to the Program Manager and other higher-level staff as necessary.

9. ***Policies & Procedures for Disease Prevention***

The Shelter Operator will have protocols for the prevention and treatment of certain diseases and conditions such as seizures, diabetic episodes, mental health episodes, lice, bed bugs, influenza, and other communicable and contagious diseases. Universal precautions will be maintained at all times in handling of fluids, client clothing, laundry, and in all cleaning of premises.

When an accident or injury to an employee or client occurs or when there has been damage to Shelter property, staff will follow a set protocol which includes:

- Immediately contacting Supervisor about the situation
- Dealing with any injuries
- Securing the accident scene by obtaining names, addresses, and phone numbers

of witnesses (if possible), taking photos (if possible), and noting any unusual circumstances

- Recording all necessary information to complete a formal report
- Not accepting any responsibility on behalf of the Shelter Operator
- Reporting all accidents or injuries within 24 hours to insurance carrier

If a client shows symptoms of a contagious disease or other public health concern that might threaten another person, the client will be sent to a local medical facility or emergency room for diagnosis and treatment. If a client leaves due to disease, the bedding and client's clothes will be washed, bed cleaned, and bedding replaced on bed. Clothes and belongings will be stored in designated area and held for the maximum amount of time permitted. The Bridge Shelter will operate to conform to best health practices and concerns.

Universal precautions will be used for all handling of client possessions. Staff will follow hand washing techniques recommended by OC Health Department.

All staff will be tested for TB as required by OSHA standards and written in the Shelter Operator's Policy and Procedures handbook. If a client shows symptoms of tuberculosis, the client will be sent for medical diagnosis and asked to receive a TB test. All clients may be offered TB testing through partner medical services as a community health benefit.

## **M. Food Policies**

### **1. *Provision of Nutritional Needs of Clients***

The Shelter Operator will provide a breakfast, lunch and dinner to each client every day. Meals will be prepared through the on-site kitchen facility or an approved off-site facility. They will ensure that meals will be nutritious and balanced. The Shelter Operator is responsible for providing and calendaring all meals and snacks either through a food volunteer network or through a registered food vendor.

The Shelter Operation will include in its in-kind donation strategies, opportunities for food donations and partnerships with local food banks. The Shelter Operator will also work with community and church partners and existing community meal service programs to offer opportunities to feed the homeless individuals and families at the shelter. The shelter operator may elect to schedule daily food deliveries through a third-party vendor and include such expenses in their operating budget.

Tables will be set up for meals in the central dining area of the Shelter at the scheduled meal times. Food will be served at designated times of operation for registered shelter clients. All such meals must meet OC Health Departments standards.

The Shelter Operator, Food Coordinator, and Kitchen Staff will meet all OC Health Department standards. Inspections will be completed by the Health Department and



any changes will be made if indicated. The certificates for Health Department inspection results will be posted in the kitchen area of the facility. All cooking staff will be required to have completed the ServSafe Food Handler Program.

**2. *Provisions for the Sanitary Storage and Preparation of Food***

The Bridge Shelter will have adequate space for storage of dry foods, refrigerated foods, frozen foods, and supplies. Separate refrigerator/freezer space should be available for client medications. The Shelter Operator will provide extra refrigeration and freezer appliances as needed to supplement safe storage of food, if space is available. Current certificates of food handling safety will be posted in the kitchen area and in the employee file for each cook. Cooks and volunteers assisting them will follow the procedures of the OC Health Department as taught in the ServSafe Food Handler Program. All volunteers will be supervised by a Shelter employee.

All storage areas will be cleaned on a planned schedule and outdated food will be disposed of. There will be a rotation schedule for storage and use of food in freezer, refrigerator, and dry goods pantry that maximizes use of food so that it does not become outdated.

**N. Transportation Policies**

The policies for travel to and from the Bridge Shelter will be designed to support client needs and minimize potential impact on the adjacent residential neighborhood and businesses. The following transportation measures will be implemented:

**1. *Transportation Flow On and Off the Property***

The Bridge Shelter Provider will create a plan for safe and effective flow of traffic on and off the property based on the schematics of the shelter grounds and surrounding neighborhood. Considerations should include provisions for personal automotive transportation and bus and shuttle services.

**2. *Pedestrian Traffic***

The shelter will operate by bed reservation only and no walk-ins will be accepted. The clients will be expected to utilize the transportation options that will be provided to them by the Shelter Operator.

A no walk-up policy will be posted and disseminated throughout the community.

Any individual that does walk-up will receive information on how to make a bed reservation, set-up appointments with the Bridge Shelter and be provided transportation to a self-directed location out of the surrounding area to return only when the established reservation protocol has been followed.

**3. *Bicycle Traffic and Parking***

A bicycle rack will be provided in a secured outdoor area. Bike locks will be encouraged but are the responsibility of the client to obtain. Bus and shuttle transportation vehicles will be designed to transport bicycles to mitigate foot traffic to

the facility.

#### 4. **Bus and Shuttle Transportation Services**

Access to the shelter will be provided by bus and/or shuttle transportation services. The Shelter Operator will work cooperatively with city officials, OCTA and other stakeholders to provide the most cost-effective means for providing transportation to and from the shelter.

There shall be a minimum of two (2) designated pick up locations for qualified clients seeking shelter services. Locations will be selected by the City and the Police department and/or in collaboration with neighboring police departments as needed. Operator will not drop-off/pick-up other than at agreed upon locations. The City and the Shelter Operator reserve the right to change both the number and location of shuttle sites as needed.

Shuttles will be provided to transport all screened clients to the Shelter Site. Security guards will be staffed at each location to ensure only pre-screened clients with bed reservations receive transportation to the shelter. Operator/Security will also conduct random daily checks of ½ mile radius to shelter and drop-off/pick-up locations to enforce shelter rules and avoid loitering and homeless congregations.

To avoid long term loitering at the bus and/or shuttle pick up areas, clients may arrive at the bus and/or shuttle Stop fifteen (15) minutes before the Bus/Shuttle departure time. Security will be posted ½ hour prior to the shuttle bus arriving and ½ hour after its departure.

The bus and/or shuttles will be transporting new and returning clients. Drop-off/pick-up locations are an extension of the Shelter and thus, any violation such as loitering constitutes a violation of the shelter rules which will be strictly enforced. Clients will be able to ride the shuttle multiple times during the day with the approval of their Case Manager.

Shuttle Stop Agencies can expect the following five scheduled shuttle stops daily:

- 6:00 am
- 9:00 am
- 12:00 pm
- 4:00 pm
- 7:00 pm
- 7:30 pm\* (Saturday @ Crossing Church only)

In the case of special circumstances, and only if arrangements have been communicated by the client to their Case Manager and/or bed reservation staff the prior evening, returning clients who are unable to return to the shelter at the designated time and utilize the second bus and/or shuttle may use alternate public transportation to return to the Bridge Shelter Program.

The Shelter Operator and the City of Costa Mesa reserve the right to amend, add or delete shuttle stop locations based on Bridge shelter needs and impact on the surrounding neighborhood.

**5. *Personal Vehicle Transportation and Parking***

The Shelter parking lot will be available to Shelter staff. Volunteers, vendors, and community visitors may also park their vehicles in Bridge Shelter lot while at the facility.

Vehicles eligible to park in the Bridge Shelter lot will be listed on the Vehicle Parking Form by license plate and client name. Vehicles in lot overnight must be registered on this log each night. Security staff will include the parking lot during security rotations.

Shelter Operator also has the right to tow any vehicle found parked in undesignated areas outside the shelter in the surrounding neighborhoods.

**6. *Staff Transportation of Clients***

Neither Bridge Shelter nor City Staff will be permitted to transport clients under any circumstances in their personal vehicles. Only designated staff in shelter owned/operated or contracted vehicles may transport clients.

**7. *Delivery of Shelter Goods and Community Donations***

Deliveries for shelter goods and community donations will be dropped off in a designated area. The planned location for these designated drop-offs will take into consideration pedestrian, bike and other vehicle traffic routes to minimize safety risks and impact to the shelter site and surrounding area.

It is anticipated that delivery of goods from contracted vendors will occur approximately three times weekly. The delivery of community donations by private donors will occur approximately three times daily during designated donation drop-off times.

All deliveries of goods and/or donations will occur between the hours of 10:00 AM-4:00 PM. Shelter Operator will ensure that there is adequate space either onsite or offsite to store these donations.

**O. Financial Policies**

**1. *Financial Requests from Clients***

Financial requests from clients must be requested and received through their City Case Manager to receive the requested item (bus pass, clothing/food voucher, etc.) to assist the client achieve their housing goals. All bus passes and/or vouchers are kept in a locked safe in a locked office or closet at all times when not in use.

**2. *Client Possessions and Funds***

No funds of clients will be handled by the City or Shelter staff. Clients with funds, that they keep while at the Shelter, will be responsible for their security and safety. It will be encouraged by staff for clients not to have funds on site, and to store wallet, electronic devices, and any cash in appropriate locked storage. The Shelter Operator will have a policy of not being responsible for lost or stolen items that is included in a Policy and Procedures Manual, listed in the signed Rules agreement, and read nightly when rules will be reviewed before intake.

Clients will not be permitted to give cash to City or Shelter Operator staff at any time, for any reason.

### **3. Annual Outside Audit**

An independent financial audit of the Shelter Operator may be completed on an annual basis. The most current audit will be kept on file at the Shelter Operator's administration office(s) and may be viewed as necessary.

The Bridge Shelter may also subject to an annual program audit or monitoring. It will be the responsibility of the Shelter Operator to correct any deficiencies reported by the audit within the time limits available to them. Failure to comply may result in the termination of their Shelter Operator contract.

### **4. Financial Reports Review**

Financial reports will be produced each month by the accounting department of the Shelter Operator. These reports will be reviewed by an appropriate office of the City.

The Administration Office of the Shelter Operator will review financial statements and budgets with each Program Manager on a regular basis. Adjustment will be made in spending as necessary.

## **P. Legal Policies**

### **1. Policy for Compliance with Local Laws**

The Shelter Operator and City of Costa Mesa will follow all OC Health Department and City Fire Code requirements, and has staff trained for food handling, CPR, fire drills and other disaster

evacuation procedures. The Shelter Operator and staff will work cooperatively with local law enforcement to communicate any breaking of laws by clientele while on its premises. Additionally, Shelter staff and management will cooperate with law enforcement agencies on investigations for persons wanted for crimes as much as is possible while maintaining policies on client confidentiality.

### **2. Policy for Compliance with Labor Laws**

The Shelter Operator will comply with all required labor laws. OSHA training and reviews will be done during staff meetings on a quarterly basis. OSHA flyers will be posted in administrative offices.

The Shelter Operator's wages will be at or above minimum wage. Employee breaks, meals, and overtime will be monitored legally and compensated as needed. The Shelter Operator will be contracted with a company to examine any work injuries. The proper incident reports, Workmen's Compensation forms, and requirements will be completed.

## **Q. Non-Discrimination Policies**

The Shelter Operator and City of Costa Mesa will adhere to a policy of non-discrimination which will be stated in the Shelter Operator's Policies and Procedures Manual.

The Shelter Operator and City of Costa Mesa will not discriminate in the provision of client care based on age, race, color, religion, sex, sexual orientation or gender identity and expression, marital status, geographic, national or ethnic origin, HIV status, disability, or veteran status.

### **1. Policy for Compliance with Americans with Disabilities Act**

The Shelter Operator and City of Costa Mesa will comply with appropriate standards of The Americans with Disabilities Act (ADA). Staff will be trained about and will be cognizant of any physical disability upon entrance of the client and will assist as needed to conquer any barriers from the structure of the building. Staff will receive training to work appropriately with persons with disabilities. All persons will be treated with dignity, value, and worth.

### **2. Gender-Specific Programming Policy**

Persons accessing the Bridge Shelter services will be identified by the gender identification for which they choose. Staff will provide beds to persons of gender identity, expression and sexual orientation with due regard to privacy and client rights.

Bathrooms and showers will be constructed with equal privacy for all clients, regardless of sexual orientation, expression, or identity. All programs and services will be available with the dignity of all clients as highest priority.

### **3. Sexual Harassment Policy**

All clients, volunteers, and employees should be able to coexist at the Bridge Shelter in a trauma informed care environment, free from sexual harassment and inappropriate sexual behavior.

The Shelter will have a zero-tolerance policy for sexual harassment and inappropriate behavior of a sexual nature. No sexual harassment will be tolerated by anyone on the facility grounds - including by staff, volunteers, or clients. Clients, staff, and volunteers will be notified if in the Shelter Operator's sole discretion any of their remarks, advances, gestures, or attire constitutes sexual harassment toward any person in the Bridge Shelter facility.

Anyone who believes he or she has been the subject of any such behavior will be urged to report it to the staff or supervisor immediately. A report will be completed and taken to appropriate staff or supervisor for resolution. Reported incidents will be investigated on a confidential basis. Provisions will be instituted to guard the safety and emotional health of persons who have been victims of a reported incident. After proper review, a person found to have engaged in sexual harassment or inappropriate behavior of a sexual nature will be subject to disciplinary action including possible immediate exit from program or termination from employment.

#### 4. ***Policy Regarding Sex Offenders***

The Shelter Operator and City of Costa Mesa will have strict requirements for the safety of children and vulnerable adults. Staff and volunteers will be trained in sex abuse definitions, sex offender policies, child abuse, and vulnerable adult abuse. All employees must review this training yearly and be certified to have passed its standards.

The Shelter Operator and City of Costa Mesa will follow federal law requirements in reporting sex offenders. All clients will be screened for sex offenses through the National Megan's Law database. Screening will be conducted at the time of reservation; no potential participants with a registered sex offense will be allowed on the bus/shuttle or admitted as clients.

## R. **Confidentiality Policies**

### 1. ***Personal Confidentiality***

People seek help from emergency shelters at a difficult time in their lives. Their need for service and the help that can be given is determined through sharing of factual and personal information. For this to be effective, every client must be able to trust that every staff member and volunteer hold confidential the shared information.

Therefore, the City and Shelter Operator staff will keep strict confidentiality practices as written in Confidentiality Policy. These practices include:

- a. Fact of Participation: The fact that an individual is or has been a participant in the Bridge Shelter should not be disclosed except as may be specifically defined. Inquiries by visit, telephone or letter regarding a participant in the program should be answered with the statement that information as to whether a particular person is or has been in residence cannot be divulged; that if in fact the individual is in residence, they will be advised of the inquiry, and that, at their discretion, they will or will not communicate with the inquirer.
- b. Disclosure to Other Agencies: Disclosure of client information to other social service agencies, whether on a referral to or from the agency, generally may be permitted only with the person's written consent. Information is to be withheld where enjoined by law and where by contract the Shelter Operator has agreed to maintain the confidentiality of client records (as under the Privacy Act.)

Disclosure of information relating to program participants should not be made to employers, credit agencies, unions or other similar organizations, except at the request, and with the consent of the participant.

- c. Information to the Client: In some situations, it may be required by law to disclose to the participant information contained in his/her own case record. Information disclosed should be limited to that which is included in the formal case record. The formal case record should contain factual information, not counselor notes and observations. Information provided by other agencies should not be shared.
- d. Law Enforcement Agencies: All requests for information regarding clients originating from law enforcement agents, should be referred to the Shelter Operator's acting Legal Department. Before any action is taken, on any legal request, a staff member or program manager should contact their Legal Department as there are boundaries in place to determine the sharing of information with law enforcement personnel according to its policies on client confidentiality (as stated in the Shelter Operator's Policy Manual) and applicable law.

When an arrest warrant or a search warrant has been issued by a court after a showing of probable cause, if such a warrant is presented to the facility relating to a client in the residence, staff will cooperate with the law enforcement agency in making the arrest or the search, preferably in a manner which will involve the least disruption of the program at the facility.

- e. Written Consent: If there is any doubt as to whether client information should be disclosed, the consent of the client should be first obtained, except as otherwise required by law. The consent will be in writing on a Release of Information form and should identify the information to be disclosed, the person or agency to whom it will be disclosed, and the purpose of the disclosure, and the period of time during which authorization is granted.
- f. Abuse Reporting: The Shelter Operator and Shelter staff will comply with all state and municipal laws requiring reporting to governmental agencies of instances of child abuse, domestic violence and elder abuse. Staff will report any suspicion or evidence of child abuse or vulnerable adult abuse according to the law's requirements. All staff persons at the shelter will be mandatory reporters. An incident report will also be completed and submitted to the Program Manager and any higher-level staff as needed. All staff will be trained at time of hire to spot signs of abuse and to properly document and report it. Training will be repeated annually.
- g. Harm to Self or Others: If a client at the shelter program shares with a staff person a viable threat to do harm to self or another, the terms of confidentiality can be revoked, as in the case of suicidal or homicidal admittance.

## **2. Database Confidentiality Policies**

Only trained Intake staff, Case Managers, and management staff will be authorized to access the HMIS Database. Each staff person will have a separate password for entry. Staff is only to use computers that are authorized and HMIS compliant. No persons without a username and password set up by the Shelter Operator's IT department should have access to staff-only computers.

3. ***Exceptions to the Confidentiality Policy***

All clients will be informed that when the law requires management to disclose client-related information, such as to prevent danger to self or others, or to report child and elderly/vulnerable adult abuse, staff will do so.

**S. Grievance Policies**

The grievance procedure will be applicable for any conflicts or disagreements between clients, and between clients and staff. For example, the grievance process may be employed to address disruptive behavior or appeal incorrect formal action. However, in no way does the grievance procedure suspend the rules or consequences established in the Shelter Rules signed upon entering the program. Clients will have the right to file a grievance without the fear of harmful repercussions from staff or other residents.

1. ***Receiving and Posting***

The Grievance Procedure should be clearly posted in the Policy and Procedure Manual and available at the shelter facility. A client will be given a copy of the grievance procedure when a conflict has occurred that cannot be resolved satisfactorily between the client and a staff person or another client, or the client has a complaint about an event that occurred at the Shelter involving that client. The Grievance Policy Form will be read by the client and signed.

2. ***Meeting with Staff***

Once received, staff will decide at the earliest regular staff meeting which grievances warrant a meeting. If needed, a formal grievance meeting will be called, headed by the Program Manager or their assistant. Prior to this meeting, the client defendant will be given a copy of the grievance so he/she may prepare to respond to the grievance. At the grievance meeting, the plaintiff will begin stating his/her case. The defendant will then respond. All present will be allowed to ask questions of either the plaintiff or defendant. The burden of proof rests with the plaintiff. All decisions will be binding and after the formal grievance procedure has been completed, staff and residents will be expected to regard the matter as settled and in the past.

If a client expresses a concern or makes a complaint concerning their involuntary discharge, he/she may take the following steps:

- The client may request to discuss the matter with the Program Manager, who will make a decision on any corrective action required within the boundaries of his/her authority. When appropriate the Manager will notify higher-level staff.



- If the client is still unsatisfied with the outcome, he may submit a request for intervention to the Shelter Operator's Executive Director, who will acknowledge receipt within a reasonable time frame. The Executive Director will take any corrective action required within 10 days and inform the client, in writing, of the resolution.
- Clients have the right to ask assistance of another person to speak on their behalf, or to help fill out a grievance form.
- Client grievances will be reported in monthly program reports. The Executive Director, or other Shelter Operator executive staff member entity, review all grievances quarterly and/or annually, providing a level of review that does not involve the client about whom the complaint was made or the person who reached the decision.
- Grievances and resolutions should be documented in client file and incident reports.

### 3. ***Whistleblower Policy***

Clients should have several ways in which they may share a grievance – verbally or written, anonymous or through a third party. A suggestion and grievance box will be available in the common area and will be checked weekly by staff.

Confidentiality will be strictly kept between the person making the complaint and the Program Manager which will withhold information internally to the extent prudent where a complaint involves a staff member or volunteer. The Grievance Procedure will be clearly posted in the Policy and Procedure Manual and available at the facility

## SECTION III. STAFFING AND MANAGEMENT PLAN

### A. Staff Policies

#### 1. *Hiring Policy*

The Shelter Operator must be an equal opportunity employer. A copy of its applicable Equal Opportunity and Affirmative Action Policy will be available in the Employee Handbook and through the Human Resources Department of the Administrative Offices.

All staff positions and newly hired staff will be approved by the Program Manager and Directors, and will be thoroughly vetted through a new hire process as outlined below.

#### 2. *Screening Procedure*

Position openings will be posted on various employment networking websites. Potential applicants will be screened through a two-step interview process.

The first interview will be scheduled with the Orange County Program Director of Bridge Shelter Program, Services, and Outreach as well as the Program Manager of Bridge Shelter and Services. If deemed eligible, the applicant will conduct an interview with the Executive Director and Operations Director of the agency.

#### 3. *Acceptance Procedure*

A completed application packet and staff letter of recommendation will be sent to the head of the Human Resources Department who conducts a thorough background check. Every potential applicant will be screened for active warrants, violent felony convictions, sexual offenses which require registration, and legal ability to work. Staff who will be in direct contact with clients will also be required to complete Tuberculosis screening as well as training for mandated reporting policies. The applicant must successfully complete all screening requirements before they will be able to begin working directly with clients.

Upon hire, the new employee will sign a job agreement form and will be provided a job description informational sheet for their records. They will also attend a general orientation program led by the Head of the Human Resources Department. This orientation will cover important topics, such as but not limited to, sexual harassment policies, and appropriate interactions with co-workers, volunteers, and clients. Training places a heavy emphasis on appropriate conduct between staff and clients will be expected to adhere to these practices when interacting with clients. Program Managers complete a more lengthy program-specific orientation process.

#### **4. Staffing Policies for Safe Humane Environment**

The Bridge Shelter will be staffed to provide the safest, most dignified environment for all clients. All staff will be easily identifiable and will be required to wear Shelter Operator-Approved shirts, as well as name tags while on site. Staffing will be scheduled to optimize safety of staff, volunteers and clients and to provide optimal coverage during hours of high volume. Initially, some positions described below maybe be fully or partially-filled by existing Mercy House staff and/or City staff and may not be included in the staff chart provided.

All Shelter operations and staff will be supervised by the **Program Manager of Bridge Shelter and Services**. The Manager will be a full-time, salaried position with an Associate's Degree and at least 2 years of direct life experience working with long-term homeless, low income, and diverse populations. The Program Manager will be responsible for coordinating program services for the Bridge Shelter. Primary responsibilities include supervising support staff. This position may require the transportation of supplies. This position will report directly to the Orange County Program Director of Bridge Shelter Program, Services, and Outreach.

A **Bridge Shelter Site Leader** will be responsible for overseeing services and activities in the Bridge Shelter Program. They will oversee all shelter activities including logistics and client intake, oversee distribution of services, and assist in coordination of volunteers and supportive services. They will provide support to staff during designated shifts and will assign tasks, oversee administrative duties that support program services. The Site Leader reports directly to the Bridge Shelter and Services Program Manager, reporting any staff or shelter issues as needed.

The **Bridge Shelter Logistics Staff** at the will be responsible for providing supportive services and logistical support to the Bridge Shelter during designated shifts. This position will require a flexible work schedule including weekend, morning, evening, and holiday shifts to provide optimal coverage during Shelter hours. This position will report directly to the Bridge Shelter and Services Program Manager. This position will assist with shelter setup and maintenance, general cleanliness and safety of facility, assisting and receiving orders from vendors, posting and updating signs and service calendars, and more as needed.

The **Bridge Shelter Volunteer and Coordinator/Bridge Shelter Concierge** will be responsible for coordinating volunteer services for the Bridge Shelter and provides support for the Bridge Shelter. The volunteer coordinator will work directly with volunteers, conducts orientation, training and provides support to volunteers at the shelter. In the Bridge Shelter, the Volunteer Coordinator' Concierge role will be to recruit and encourage participation by outside service providers, maintain service provider room reservation schedule and ensure the day-to-day operational functions

of the Bridge Shelter.

The **Bridge Shelter Case Manager** positions will be both hired and supervised by the City of Costa Mesa Neighborhood Improvement Manager. The Case Manager/s will provide assistance to Shelter clients and conducts an individual assessment of needs, followed by provision of targeted services focused on returning individuals to permanent housing as quickly as possible. The Case Managers will conduct the VI-SPDAT assessment, determine eligibility, enters assessment into Central Intake System for prioritization and linkage to housing provider, helps clients obtain necessary documents, and provides individuals with employment guidance and community resources. When clients are referred to other programs, the Case Manager provides a warm hand-off to the service provider.

The **Bridge Shelter Intake Coordinator** will be responsible for the reservations, intake, and data input and reporting for the Bridge Shelter Program. The intake coordinator assists clients and manages the HMIS and data reporting requirements. They will be responsible for managing the client reservation process, conducting diversion interviews, and ensure that HMIS data is complete.

The **Bridge Shelter Food Coordinator** will be responsible for coordinating and overseeing the preparation of meals for the Bridge Shelter. They will be responsible for planning the weekly menu and the cooking schedule, determining the amount of food and supplies as required for daily menus, following safety code, and adhering to strict health, safety, and sanitation standards.

The **Bridge Shelter Kitchen Staff/Cook** will be responsible for assisting with the preparation and meals for the Bridge Shelter and the general upkeep of the kitchen and dining area. They ensure that food preparation areas, cooking surfaces, and utensils will be cleaned using the strictest standards, and verify that prepared food meets requirements for quality and quantity.

The **Bridge Shelter Overnight Logistics** position will be a part-time position that covers overnight shifts at the Bridge Shelter Program. They resolve conflicts and file incident reports as necessary, report violations and general events in the daily log. They also oversee the cleaning crew and conduct property checks. The Overnight Coordinator provides general support for clients, ensuring their safety during the night.

**Bridge Shelter Volunteers** will assist with daily ongoing operations of the shelter as needed. Volunteers will be needed 7 days per week to help between the hours of 8:00am and 8:00p. Volunteers will be assisting with set-up, clean-up, preparing and serving meals, intake, laundry, daytime activities, reservation calls, administrative

duties and donations.

Volunteers will be assigned to duties that are appropriate for their age and activity level. It is important that volunteers be reliable and that staff treat them as a vital component of shelter operations.

All the positions requirements and descriptions will be available in the Shelter Operator's Human Resources Department and will be also made readily available to all staff. Please see attached job descriptions.

At its initial opening, staffing levels at the Bridge Shelter is intended to be as shown in the chart below.

Position (Blue highlight means one person has different job tasks on different days.)	Hours	Mon	Tues	Wed	Thurs	Fri	Sat	Sun	Total Position Hours Weekly
		Sun-Mon	Mon-Tues	Tues-Wed	Wed-Thurs	Thurs-Fri	Fri-Sat	Sat-Sun	
Program Manager	Flexible								40
Overnight Logistics	11:00 pm - 7:00 am	8	8	8	8			8	40
Overnight Logistics	11:00 pm - 7:00 am	8	8			8	8	8	40
Overnight Logistics plus one	11:00 pm - 7:00 am			8	8	8	8		40
AM Logistics/Laundry	5:00 am - 1:00 pm		8						
AM Logistics/Meals	5:00 am - 10:00 am	5	5	5	5	5			25
AM Logistics/Meals	10:00 am - 3:00 pm					5	5	5	15
AM Logistics/Meals	10:00 am - 3:00 pm	5	5	5					20
Breakfast Meals	5:00 am - 10:00 am							5	
AM Logistics/Laundry	7:30 am - 3:30 pm	8	8		8				24
AM Logistics/Laundry	7:00 am - 3:00 pm					8		8	26
Plus one AM meal	5:00 am - 10:00 am						5		
AM Logistics/Meals	10:00 am - 3:00 pm				5				
AM Site Leader	7:00 am - 3:00 pm		8	8	8	8	8		40
AM Site Leader Relief plus one	7:00 am - 3:00 pm	8						8	24
AM Logistics/Laundry	7:00 am - 3:00 pm			8					
PM Site Leader	3:00 pm - 11:00 pm		8	8	8	8	8		40
PM Site Leader Relief plus one	3:00 pm - 11:00 pm	8						8	24

Position	Hours	Mon	Tues	Wed	Thurs	Fri	Sat	Sun	Total Position Hours Weekly
		Sun-Mon	Mon-Tues	Tues-Wed	Wed-Thurs	Thurs-Fri	Fri-Sat	Sat-Sun	
PM Logistics	3:00 pm - 11:00 pm			8					
PM Logistics/Intake Specialist	3:00 pm - 10:00 pm	7				7	7	7	28
PM Logistics/Intake Specialist	3:00 pm - 10:00 pm		7	7	7				28
Call Center	8:00 am - 3:00 pm	7							
PM Logistics	3:00 pm - 11:00 pm	8	8		8				24
PM Logistics	3:00 pm - 11:00 pm					8	8	8	24
Call Center/Intake Specialist	8:00 am - 3:00 pm		7	7	7	7			28
Leasing Agent	9:00 am - 5:00 pm	8	8	8	8	8			40
Data	10:00 am - 3:00 pm	5		5	5	5			20
Driver 1 (1st shift)	5:30 am - 1:30 pm	8	8	8	8	8			40
Driver 2 (1st shift)	5:30 am - 1:30 pm						8	8	24
Driver 2 (2nd shift)	2:00 pm - 10:00 pm	8							
Driver 3 (2nd shift)	2:00 pm - 10:00 pm		8		8			8	24
Driver 4 (2nd shift)	2:00 pm - 10:00 pm			8		8	8		
AM Logistics/Intake Specialist	8:00 am - 3:00 pm						7	7	14

## **B. Policies for Staff Training**

All Bridge Shelter staff will be trained when hired in emergency evacuation, first aid procedures, mandated reporting policies, crisis intervention, and CPR procedures. This training will be repeated and updated annually and as needed. Staff may receive additional training on different topics as opportunities arise and are needed.

Each staff member also receives on-going in-service training in crisis management. Staff will also be trained in Strength Based Approaches and positive communication skills. Each staff member will be required to attend annual training to update and improve their knowledge. Documentation of training will be kept in each employee's file by the Program Manager and is provided to the Head of Human Resources for filing, when appropriate.

Security staff will be provided sensitivity training to better equip them to work with homeless clients, and those in crisis.

### **1. *Emergency Procedures - Evacuation, First Aid, and CPR, 911 Reporting***

Bridge Shelter staff will be trained in fire, earthquake, and chemical spill evacuation procedures when hired and annually. Evacuation drills with all staff and clients will be held and recorded quarterly. Evacuation protocols will be recorded at the Service Desk for reference.

Evacuation maps will be posted throughout the facility. All staff will be trained in first aid and CPR procedures annually. 911 reporting will be taught in orientation and reviewed annually. CPR certificates will be kept in staff files. Universal precautions will be followed.

### **2. *Safety Conduct - Prevention of Abuse, Crisis Intervention, Conflict Resolution***

The Shelter Operator will have a required training program in prevention of child abuse, vulnerable adult abuse, child abuse reporting, and sexual harassment titled. Each staff will complete this training program annually. Certificates of completion will be recorded in Human Resource files.

Bridge Shelter staff will complete a course in conflict resolution and crisis intervention upon hire and annually. Documentation of completion will be recorded in staff file.

### **3. *Appropriate Behavior for Dignity and Respect***

Operations, program, administrative and management staff will be trained in a Strengths Based Perspective model of client care. They will be trained regularly, including at time of hire, on the best methods of working with, treating, and responding to clients who have had difficult and traumatic life experiences. Each staff member will be expected to put these models to use in every interaction they have with clients and potential clients. Staff members will be offered training regularly and expected to participate actively. Notice of completion will be recorded in staff files, and each staff member should have access to this information in the readily-available staff handbook.

### **4. *Communication***

#### **Clients, Staff, Community**

Shelter staff will undergo classes in communication skills – such as handling phone calls,



confidentiality policies, crisis management and de-escalation of conflict. The communication skills will be reinforced through practice and reviewed at regular staff meetings as warranted. Courses covering topics such as communication skills with mentally ill persons, receptionist skills, communication with difficult people, and conflict resolution will be completed. This training should be done at least monthly and additionally, if deemed necessary.

#### **5. *Resources and Referrals***

Operations, Program, and Case Manager staff will be oriented to resources, homeless services, and organizations for collaboration and referral. They will also be highly trained staff to connect clients to the Coordinated Entry System, as a system designated entry point. Staff representatives will attend the Homeless Provider Forum, Case Management Forum, and Implementation Committees for the Ten-Year Plan to End Homelessness in Orange County. Resource lists will be updated monthly and kept on-site.

Protocols for offering and accepting referrals from other agencies will be in place, reviewed by staff, updated, and kept in a manual on-site.

#### **6. *Mental Health and Addiction Skills***

All Program staff will attend mental health training events which include naming of symptoms, co-occurring diseases, de-escalation techniques, and safety protocols. This training will be done at time of hire and annually, or as necessary. Client speakers present workshops on various aspects of mental health diagnoses, symptoms, and care. Staff will be trained in symptoms of drug abuse, and referrals for treatment. Recovery programs will be encouraged and off-site referrals will be made as appropriate.

Though sobriety will be not a requirement to stay in the shelter or participate in services, clients will be expected to be able to practice self-care, follow all rules and regulations, and

behave appropriately and respectfully toward staff, volunteer, and other clients. Drug use while at the shelter will be prohibited and will result in immediate exit from the program.

#### **7. *Self - Care***

Regular staff meetings will be held for all staff. Part of the purpose of these meetings will be communication and processing of stressors while working in the difficult environment of a large-scale Bridge Shelter Program. Staff will be welcome to participate in team-building activities throughout the year, including holiday parties, and events with co-workers.

All staff will be trained in effective communication with coworkers and in proper techniques to address coworker harassment and stressors and will be made aware of the importance in practicing self-care. Staff will be informed of an open-door policy with supervisors and the Head of the Human Resources department.

#### **8. *Annual Staff Evaluation and Training Plan***

All staff will be evaluated by their direct supervisor at 90 days from their hire date and at semi-annual intervals. The evaluation form will be stored in the employee file held at the Human Resource office.

## **9. Documentation of Staff Training**

Attendance of and participation in staff training will be recorded in each staff file by the Program Manager of Emergency and Shelter Services. Training required by all staff members will also be recorded in the Human Resources file to ensure each member's knowledge and information will be up-to-date.

## **C. Volunteer Policies**

### **1. Selection, Screening, and Background Checks**

The Bridge Shelter Volunteer Coordinator will actively recruit through a variety of sources, including schools, church groups, and community programs. Volunteer Coordinators will hold regular Volunteer Recruitment events in order to increase the number of volunteers that serve at the Bridge Shelter Program.

Individuals, as well as groups, will be invited to volunteer at the shelter. It is recommended that children 13 and older will be accompanied by an adult or legal guardian and both adults and guardians must be registered to volunteer on the day they appear.

All potential volunteers will be screened for sex offenses and criminal background checks before being confirmed for volunteer duty.

With regard to meal provision, all volunteers interested in providing meals to shelter clients will have their applications forwarded to City of Costa Mesa Shelter Meal Volunteer Coordinator. The Meal Volunteer Coordinator will be responsible for holding orientations with meal volunteers regarding ServSafe food handling procedures, OC Health Department rules regarding meal provision at the shelter and calendaring all volunteer meals with the Bridge Shelter Manager. This meal calendar will be provided 30 days in advance to allow the Bridge Shelter adequate time to work with Bridge Shelter Meal Vendor and ensure that projected volunteer meals are substituted for regular meals in the upcoming month.

### **2. Orientation and Training**

The Shelter Operator will include a Volunteer Coordinator position(s) in its staffing plan to support volunteer coordination efforts at the shelter. The Volunteer Coordinator will handle scheduling, orientation and training of the volunteers.

Before beginning service, volunteers will be provided an Application and Agreement that includes information about volunteer duties, appropriate conduct with clients, staff, and other volunteers. Each volunteer will be required to sign this Agreement before they will be assigned a duty at the shelter.

Volunteers who do not agree with the requirements or refuse to sign will not be assigned a duty and will not be able to volunteer at the shelter.

Volunteers will sign up for an open position, time and date using online volunteer scheduling software. Volunteer Coordinators will call and confirm volunteer's date and time and to provide them with the location of the shelter and any necessary important information.

Volunteers will be trained on-site at tasks by the Volunteer Coordinator on duty. Any tasks that require a trained staff member will be supervised by that staff member to ensure accuracy and cleanliness.

Volunteers will be given opportunities to attend community forums and events to receive more training about community resources and network with other community agencies.

Volunteers will be expected to adhere to a strict code of ethics and standards. Those found in violation of this code will be removed from the facility and may be limited in future volunteer opportunities.

The volunteer code of ethics includes the following:

a. **Each volunteer Must Maintain a Firm Commitment to Professional Conduct**

Volunteers of the Bridge Shelter will be expected to maintain the highest level of moral, ethical, and professional conduct while at the site. Volunteers will not engage in verbal abuse, inappropriate jokes and stories, and or any type of inappropriate interaction with Bridge Shelter staff or clients.

b. **Limiting Relationships with Clients**

Volunteers will be prohibited from developing dual relationships with any clients they meet through their volunteer involvement at the Bridge Shelter Program. Examples of dual relationships include (but will be not limited to) a volunteer entering into a business, romantic, or sexual relationship with a client. Soliciting clients for their business will be strictly prohibited.

Volunteers will be not allowed to be named as having authority to make decisions for a client under any type of power of attorney or other legal procedure.

c. **Food and Other Substances**

Volunteers will not consume any food items or drinks supplied by the Bridge Shelter while volunteering. Food and drinks will be purchased solely for the consumption of the homeless clients. Volunteers must also commit to not consuming any type of illicit drugs on the property while volunteering. Volunteers who appear to be under the influence of any substance that impedes their ability to perform their duties safely and efficiently may be turned away.

d. **Discrimination**

Volunteers will not discriminate against any client. They will not judge an individual based on their race, disability, religious preference, sexual orientation, color, age, veteran status, citizenship, ancestry, national origin or gender.

e. **Volunteer Boundaries**

Volunteers will be not permitted to loan or give money to clients, should not meet with clients outside of the Bridge Shelter without permission from program staff, and will be not allowed to drive clients in their vehicles.

f. **Commitment**

The Bridge Shelter will be reliant upon the work of volunteers. This commitment should be taken seriously. If a volunteer misses a shift without removing themselves from the schedule and giving notice, the volunteer may be limited or restricted from volunteering.

**g. Identifiable Lines of Authority**

Volunteers will be informed of identifiable lines of authority in their Application Packet. Volunteers will defer to the Volunteer Coordinator on duty to give resources, referrals, and handle situations beyond their responsibility and volunteer agreement.

Volunteers will also have access to the Program Manager or lead staff member on site, for questions and grievances.

All volunteers will be provided with a name tag identifying them as such.

**3. Descriptions of Volunteer Tasks**

Volunteers will be needed 7 days per week to help both in the evening up to 8 volunteers (5-8pm), morning hours up to 4 volunteer (5-10am) and mid-day hours up to 10 volunteers (11-4).

The Bridge Shelter Volunteer Coordinator and The City of Costa Mesa Network for Homeless Solutions Coordinator will ensure all volunteers will be provided with a task and description of any duties they might perform. Tasks and duties include, but will be not limited to:

- Assisting the Intake Specialist in registering and signing in clients at time of entry
- Setting up and breaking down tables for dinners and breakfasts
- Distributing donations and hygiene items
- Organizing and setting up donations of clothing
- Helping direct lines to donations and food
- Serving meals, setting up snacks and drinks for clients
- Organizing play hour and activities for children and families

**D. Fund Development Strategies**

Funding to support the annual operational shelter should consider a diverse stream of funding from federal and local public resources, private donations and foundation support, in-kind donations.

Potential Funding Resource	Type of Resource	Entity	Type of Support
Emergency Solutions Grant	Public	County, Cities	General Operating
Community Development Block Grant	Public	County, Cities	General Operating
Emergency Food and Shelter Program	Public	Local EFSP Board	Food and Operations

SB2	Public	County	Operations
Dept. of Housing and Urban Development - Continuum of Care	Public	Federal	Coordinated Entry Activities
Mental Health Service Act (MHSA)	Public	County	Mental Health Service Support
Health Resources and Services Administration (HRSA)	Public	Federal	Medical Facility Services
Children and Families Commission	Public	Local	Family Shelter and Services
Homeless Veterans Reintegration Program (HVRP) Grants	Public	Federal	Veterans Services
Corporate Foundations	Private	Local	General, Service Specific
CESH Funds	Public	Local	General, Service Specific
Private Foundations	Private	Local	General, Service Specific
Private Individuals	Private/In- Kind	Local	General, Service Specific
Private Corporations	Private/In- Kind	Local	General, Service Specific

## **SECTION V. ATTACHMENTS**

**A. Job Descriptions**

**B. Shelter Client Rules**

**C. Volunteer Policies**

**ATTACHMENT A:**

**JOB DESCRIPTIONS**

## **Program Management and Development Job Description**

*Goal: Oversee the development and implementation of all program services for our Bridge Shelter to ensure quality delivery of services.*

- Maintain performance of existing shelter services
- Oversee the scheduling and coordination of all Shelter Sites
- Ensure strong communication between Staff and Partner agencies
- Oversee coordination of shelter activities and distribution of services
- Provide monthly reports to the Operations Director
- Develop new partnerships with other agencies in order to enhance our current services
- Oversee implementation of new services
- Implement new services/year-round, permanent facility
- Manage Budget
- Oversee Purchases, Vendor Bids and MOU's

### **Staff Management**

*Goal: Manage Identified Staff facilitating optimal performance.*

- Manage and supervise Shelter Program Managers
- Assist in various aspects of staff's duties
- Provide support and guidance when necessary
- Provide support for crisis/conflict intervention
- Coordinate trainings and orientations when needed
- Conduct Meetings monthly
- Meet with identified staff individually when necessary
- Review and evaluate performances
- Conduct midyear and annual review

### **Outreach Services**

*Goal: Provide leadership in critical support in the development and implementation of Outreach Services*

- Brainstorm, research and assist in the development our outreach strategy
- Oversee implementation of our outreach services including the City of Costa Mesa Network for Homeless Solutions
- Assist with Front Door Calls when necessary

### **Community Relations**

*Goal: Positively advance agencies reputation in the broader community.*

- Maintain active involvement with neighbors and program partners
- Maintain active involvement with community service organizations

### **Miscellaneous**

- Provide creative input to the Executive and Operations Directors



- Participate in networking functions
- Attend appropriate training workshop as needed
- Attend appropriate house and staff meetings
- Complete ad hoc projects as appointed by Supervisor

## **Program Manager - Bridge Shelter Job Description**

### **Introduction:**

This Program Manager is responsible for coordinating program services for the Bridge Shelter And Multi-Purpose Center. This position requires dependability, responsibility, organizational skills; and strong written and verbal communication skills. Primary responsibilities include program management, program development, and outreach and community relations and reports to the O.C. Program Director of Bridge Shelter Program, Services, and Outreach Programs. This position includes supervising support staff and requires a flexible schedule (weekend, morning, evening and holiday shifts). This position may require the transportation of supplies. Fluency in Spanish is a significant value.

### **Qualifications:**

Associate's Degree and at least 2 years of direct life experience working with long-term homeless, low income, and diverse populations and have a working knowledge of mental health and addictions issues. Possess a high level of tolerance and understanding for individuals who present for services with urgent multiple case management and health needs. Ability to perform crisis intervention as needed; clearly communicate information and instructions verbally and in written form; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others. Valid CA driver's license, proof of insurance and reliable vehicle is required.

### **Bridge Shelter Program**

Goal: Ensure that the Shelter and Multi-Purpose Center run smoothly and that we maintain accurate data and strong communication with community partners.

- Oversee Client Services
- Coordinate calendar and services provided by partner agencies
- Support all aspects of operations including direct client services when necessary
- Oversee the collection and distribution of donations
- Assist with monitoring facility security and maintenance
- Ensure enforcement of our good neighbor policies
- Assist with securing necessary resources
- Oversee collection, input and distribution of intakes / summary sheets / reports
- Provide support with community resources and referrals
- Develop new partnerships with other agencies in order to enhance our current services
- Manage program budget
- Facilitate Resident Advisory Council and Partnership Meetings.

### **Management**

Goal: Manage Identified Program Staff, Interns and Volunteers facilitating optimal performance.

- Manage and supervise support staff in all of their duties
- Assist in various aspects of staff's duties

- Assist in coordinating and managing on-site volunteers
- Assist in coordinating and managing special group events and holiday events
- Provide crisis/conflict intervention
- Coordinate trainings and orientations when needed
- Conduct 90 day, midyear, and annual reviews.

### **Community Relations**

Goal: Positively advance Agencies reputation in the broader community.

- Maintain active involvement with neighbors and program partners
- Maintain active involvement with community service organizations

### **Miscellaneous**

- Must participate in networking functions and community meetings.
- Attend staff meetings and training workshops as needed
- Assist with general duties (stocking supplies, copies, fax, phone calls, etc.)
- Enhance job performance by applying up-to-date professional knowledge gained by attending seminars and conferences and reviewing professional publications.
- Perform ad hoc projects as appointed by Supervisor

## **Site Leader - Bridge Shelter Job Description**

### **Introduction:**

The Emergency Services Site Leader is responsible for overseeing services and activities at the Bridge Shelter Program. Dependability, responsibility, and the ability to communicate effectively and respectfully are mandatory skills. Ability to work effectively with a diverse population; plan, organize and prioritize duties; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others This position requires a flexible work schedule including some weekend, morning and evening and holiday shifts.

This position reports directly to the Bridge Shelter Manager. Fluency in Spanish is a significant value.

### **Qualifications:**

Possess a high level of tolerance and understanding for individuals who present for services with urgent multiple case management and health needs. Ability to perform crisis intervention as needed; clearly communicate information and instructions verbally and in written form; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others. Associate's Degree preferred but not required.

### **Shelter**

- Assist in the implementation of all shelter activities to ensure quality delivery of services.
- Oversee all shelter activities including logistics and client intakes
- Oversee distribution of services and all program services while on duty
- Assist in the coordination of volunteers and support services
- Oversee the organization of supplies and facilities needs

### **Management**

- Goal: Support Identified Program Staff facilitating optimal performance.
- Support shelter staff during designated shifts
- Assist in various aspects of staff's duties
- Assist in coordinating and managing special group events and holiday events
- Provide crisis/conflict intervention
- Communicate any staff or shelter issues to Program Manager.

### **Administration**

- Goal: Oversee administrative duties that support program services.
- Coordinate supply and service needs

- Assist with securing necessary resources
- Assist with record keeping and reporting

**Miscellaneous**

- Attend staff meetings and training workshops as needed
- Assist with general duties (stocking supplies, copies, fax, phone calls, etc.)
- Enhance job performance by applying up-to-date professional knowledge gained by attending seminars and conferences and reviewing professional publications.
- Perform ad hoc projects as appointed by Supervisor

## **Intake Coordinator - Bridge Shelter Job Description**

### **Introduction:**

The Bridge Shelter Intake Coordinator is responsible for the reservations, intake, and data input and reporting for the Bridge Shelter Program. The objective of this position is to help clients access our Bridge Shelter and to manage our HMIS data and reporting requirements. This position requires a flexible work schedule including some weekend, morning and evening shifts. Detail-oriented and computer proficient in Microsoft Word and Excel required. Dependability, responsibility, and the ability to communicate effectively and respectfully are mandatory skills. Fluency in Spanish is a significant value. This position reports to the Bridge Shelter and Services Program Manager.

### **Qualifications:**

Strong computer and data processing skills. Ability to work effectively with a diverse population; plan, organize and prioritize duties; clearly communicate information and instructions verbally and in written form; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others Possess a high level of tolerance and understanding for individuals who present for services with urgent multiple case management and health needs. Associate's Degree preferred but not required.

### **Bridge Shelter Services**

- Manage client reservation process
- Conduct diversion interviews
- Manage intake process
- Maintain intake area and ensure daily forms and supplies are stocked and ready prior to shelter opening
- Supervise on-site reservation and intake volunteers
- Collect client sign-in sheets and intake packets, counting and verifying signatures and enter client information on Daily Summary Sheet

### **Program Data Entry and Reporting**

- Ensure HMIS intake forms are completed by clients and data is entered into the HMIS.
- HMIS data quality management.
- Responsible for entering all Bed Nights and Services into database on a daily basis.
- Scan and file intake packets and other pertinent documents daily.
- Generate monthly, quarterly, and annual reports.

### **Miscellaneous**

- Participate in networking functions
- Attend staff meetings
- Attend training workshops as needed
- Enhance job performance by applying up-to-date professional and technical knowledge

- gained by attending seminars and conferences and reviewing professional publications.
- Perform ad hoc projects as appointed by Supervisor

## **Case Manager – Bridge Shelter Job Description**

### **Introduction:**

The case manager provides assistance to individuals that are literally homeless. This assistance includes an individualized assessment of needs, followed by provision of targeted services focused on returning individuals to permanent housing as quickly as possible. The Case Manager will conduct an assessment, determine eligibility, enter assessment into Central Entry System for prioritization and linkage to housing provider, help client obtain documents required for housing placement, provide individuals with employment guidance and community resources.

### **Qualifications:**

Associate's Degree and at least 2 years of direct life experience working with long-term homeless, low income, and diverse populations and have a working knowledge of mental health and addiction issues. Possess a high level of tolerance and understanding for individuals who present for services with urgent multiple case management and health needs. Ability to perform crisis intervention as needed; clearly communicate information and instructions verbally and in written form; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others. Valid CA driver's license, proof of insurance and reliable vehicle is required.

### **Supportive Services**

- Provide assessment for client within seven days of entering shelter.
- Determine eligibility and enter assessment into Central Entry System for prioritization and linkage to housing provider
- Assist client with obtaining documents required for housing placement
- While client is at the shelter provide employment linkage, benefits establishment, linkage to community providers for substance abuse, primary and mental health care, and all other services needed to assist clients in reaching their stabilization goals
- While client is at the shelter provide strengths based case management and service coordination designed to assist clients in obtaining and maintaining stable housing
- Conduct crisis and risk assessments in consultation with supervisor and case management team
- Provide crisis intervention services focused on enhancing the client's' ability to independently problem solve, utilize effective coping skills, and manage and self - coordinate own care
- Provide warm hand off to selected housing provider ensuring a smooth transition from the shelter into housing.

### **Documentation**

- Maintain documentation standards as set forth by the program contract and program policies
- Complete progress notes on every meeting with client
- Input accurate and complete data into HMIS and update snapshots to reflect client progress



- Maintain confidential hard copy case files with all relevant documentation in the appropriate section

## **Food Coordinator – Bridge Shelter Job Description**

### **Introduction:**

The Food Coordinator is responsible for coordinating and overseeing the preparation of meals for the Bridge Shelter Program. This position reports directly to the Bridge Shelter and Services Program Manager.

Dependability, responsibility, and the ability to communicate effectively and respectfully are mandatory skills. Fluency in Spanish is a significant value.

### **Qualifications:**

High school graduate or equivalent education is preferred. Preference is given to persons with education in quantity cooking; Minimum one (1) year food service experience is desired. Have general knowledge of quantity food preparation and portioned serving. Must have verbal and writing abilities necessary to communicate and work effectively with various levels of staff and residents. Must have a willingness to perform routine and repetitive tasks with frequent interruptions and have an awareness of the requirement for careful handling and the economy of serving. Ability to read, understand, and follow recipe directions.

### **Food Services**

- Prepare weekly menu
- Plan and initiate cooking schedule for food preparation to meet meal schedule.
- Determine amount and type of food and supplies as required for daily menus.
- Acquire necessary ingredients through donations or vendor
- Assist with general cleanliness and safety of kitchen and dining area
- Follow defined safety codes while performing all duties.
- Maintain sanitation, health, and safety standards in work areas.
- Assist with receiving and verifying orders from vendors, completing tally sheets
- Manage meal preparations and oversee assistant cooks and volunteers
- Prepare, season, cook and serve for assigned meal; ensure appropriate portion servings according to portion control standards.
- Taste and smell prepared food to determine quality and palatability.
- Monitor temperature of hot and cold foods through food preparation and service to ensure that established temperature goals are met prior to steam table transfer
- and maintained throughout
- Supervise kitchen staff.
- Be knowledgeable of Federal, State, and facility's rules, regulations, policies and procedures.

### **Miscellaneous**

- Attend Staff Meetings and educational programs.
- Complete ad hoc projects as appointed by Supervisor

## **Logistics - Bridge Shelter Kitchen Staff/Cook Job Description**

### **Introduction:**

This position is responsible for assisting with the preparation of meals for the Bridge Shelter and the general upkeep of the kitchen and dining area. This position reports directly to the Food Coordinator. Dependability, responsibility, and the ability to communicate effectively and respectfully are mandatory skills. Fluency in Spanish is a significant value.

Qualifications High school graduate or equivalent education is preferred. Preference is given to persons with education in quantity cooking; Minimum one (1) year food service experience is desired. Have general knowledge of quantity food preparation and portioned serving. Must have verbal and writing abilities necessary to communicate and work effectively with various levels of staff and residents. Must have a willingness to perform routine and repetitive tasks with frequent interruptions and have an awareness of the requirement for careful handling and the economy of serving. Ability to read, understand, and follow recipe directions.

### **Food Services**

- Maintain sanitation, health, and safety standards in work areas.
- Clean food preparation areas, cooking surfaces, and utensils.
- Assist with general cleanliness and safety of kitchen and dining area
- Follow defined safety codes while performing all duties.
- Read recipes or receive verbal instructions as to food required by food coordinator and prepare and cook food according to instructions.
- Verify that prepared food meets requirements for quality and quantity.
- Assist with receiving and verifying orders from vendors, completing tally sheets
- Measure ingredients required for specific food items being prepared.
- Wash, cut, and prepare foods designated for cooking.
- Clean, stock, and restock workstations.
- Prepare, season, cook and serve for assigned meal; ensure appropriate portion servings according to portion control standards.
- Taste and smell prepared food to determine quality and palatability.
- Monitor temperature of hot and cold foods through food preparation and service to ensure that established temperature goals are met prior to steam table transfer and maintained throughout
- Be knowledgeable of Federal, State, and facility's rules, regulations, policies and procedures.

### **Miscellaneous**

- Attend Staff Meetings and educational programs.
- Complete ad hoc projects as appointed by Supervisor

## **Volunteer Coordinator - Bridge Shelter Job Description**

**Introduction:** The Volunteer Coordinator works in conjunction with the Volunteer and Bridge Shelter Coordinator and is responsible for coordinating volunteer services for the Bridge Shelter Program. This position also provides support for the Multi Service Center. This position requires a flexible work schedule including some weekend, morning and evening shifts.

Dependability, responsibility, and the ability to communicate effectively and respectfully are mandatory skills for this position. Fluency in Spanish is a significant value.

**Qualifications:** Strong computer and data processing skills. Ability to work effectively with a diverse population; plan, organize and prioritize duties; clearly communicate information and instructions verbally and in written form; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others Associate's Degree preferred but not required.

### **Volunteer Coordination**

Goal: Maintain volunteer retention and satisfaction for the Bridge Shelter by ensuring that the volunteer services program is running in an organized manner to promote efficiency and order.

- Set up facility for volunteer activities
- Greet volunteers
- Ensure that volunteers are easily recognizable while volunteering
- Work with staff to assign volunteers to tasks that are vital to the success of the Shelter Program.
- Train volunteers to perform required tasks
- Ensure that all volunteers are effectively performing assigned tasks, staying on task and behaving appropriately
- Check in with volunteers on a regular basis to ensure volunteer satisfaction and resolve any conflicts that may arise
- Assist with obtaining volunteer feedback
- Assist with volunteer recognition efforts
- Assist with program activities, as needed

### **Administration**

- Ensure that all volunteers have filled out necessary paperwork before they begin their volunteer service
- Ensure that all volunteers sign-in and out for each shift
- Responsible for making sure all volunteer hours are logged and entered into the data system.

### **Miscellaneous**

- Attend staff meetings and training workshops as needed

- Assist with general duties (stocking supplies, copies, fax, phone calls, etc.)
- Enhance job performance by applying up-to-date professional knowledge gained by attending seminars and conferences and reviewing professional publications.
- Perform ad hoc projects as appointed by Supervisor.

## **Logistics – Bridge Shelter Job Description**

**Introduction:** The Logistics staff is responsible for providing supportive services and logistical support to the Bridge Shelter during designated shifts. This position requires a flexible work schedule including some weekend, morning and evening and holiday shifts.

This position reports directly to the Bridge Shelter Program Manager. Dependability, responsibility, and the ability to communicate effectively and respectfully are mandatory skills. Fluency in Spanish is a significant value.

**Qualifications:** Possess a high level of tolerance and understanding for individuals who present for services with urgent multiple case management and health needs. Ability to perform crisis intervention as needed; clearly communicate information and instructions verbally and in written form; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others.

### **Shelter Support**

- Assist in the implementation of all shelter activities to ensure quality delivery of services.
- Assist with shelter setup and maintenance
- Assist with general cleanliness and safety of facility including emptying trash cans and cleaning- up spills.
- Assist with receiving and verifying orders from vendors, completing tally sheets
- Post and update signs and service calendars
- Audio Equipment set up and monitoring
- Assist in the organization of supplies and facilities needs

### **Administration**

Goal: Oversee administrative duties that support program services.

- Assist with keeping detailed daily summary sheets
- Assist with record keeping and reporting

### **Miscellaneous**

- Assist with client services and program activities if necessary
- Complete ad hoc projects as appointed by Supervisor

## **Overnight Logistics - Bridge Shelter Job Description**

**Introduction:** The Overnight Coordinator covers overnight shifts at the Bridge Shelter Program. Dependability, responsibility, and the ability to communicate effectively and respectfully are mandatory skills. The position's primary responsibilities include security and program support. This position would include overnight shifts including weekends and holidays. The Overnight Coordinator reports directly to the Bridge Shelter and Services Program Manager.

**Qualifications:** Possess a high level of tolerance and understanding for individuals who present for services with urgent multiple case management and health needs. Ability to perform crisis intervention as needed; clearly communicate information and instructions verbally and in written form; maintain a positive, professional and safe environment while on duty; and establish and maintain effective working relationships with others.

### **Security**

*Goal: Maintain safety and serenity of residents protecting against external and internal disruptions.*

- Provide staff presence during assigned shifts
- Resolve any conflicts and file incident reports when necessary
- Report violations and general events in daily log
- Provide necessary emergency support / follow emergency procedures
- Oversee cleaning crew
- Conduct property checks
- Communicate potential concerns with Security Staff to ensure staff and client safety.

### **Program**

*Goal: Assist Program Manager with program functions and activities.*

- Provide general support for clients
- Observe and report concerns
- Provide support for on-site volunteers
- Supervise evening and morning activities
- Organize morning coffee and food

**ATTACHMENT B:**  
**SHELTER CLIENT RULES**



## **CLIENT RULES**

**Welcome to the Costa Mesa Bridge Shelter program. The Shelter Staff and Volunteers are working very hard to make your stay safe and comfortable. As a client of the program, you *must* agree in writing to follow these rules at all times:**

1. **Sign-in at the Shelter begins at 6:00am AND ENDS AT 10:00pm.**
2. **Alcohol and drugs are NOT permitted** in or around the Shelter Property and they will be confiscated if found. At the discretion of the Site Leader or Management, you may be excluded from the program for that night, or possibly terminated for the remainder of the season.
3. **No weapons or objects that may be perceived as weapons are permitted.** If found, they will be tagged by security and kept until you leave. **Anyone with a concealed weapon will be immediately excluded from the program.**
4. We reserve the **right to search all applicants** for weapons (or items that could be used as weapons), alcohol, and illegal drugs.
5. **All prescription medication must be checked in with security upon entering the shelter building in its original container.** No medicinal marijuana will be checked-in without a *valid* Medicinal Use Card and must be 8 oz. or less.
6. **Photo ID's** are required of all registered clients. **Shelter Staff will take photos to produce program ID's for clients, and for security reasons, if necessary.** By entering this program, you give your consent to this.
7. **All Clients must complete and Intake and check in** as well as complete all appropriate paperwork with Shelter Staff.
8. **Showers are strongly recommended** for all shelter clients. Showers *may* be required if lack of personal hygiene becomes a risk to the health & safety of the population. Only 1 towel will be given for showers. Clients **MUST** sign to receive one, and sign to return one.
9. **No smoking inside the shelter.** There is a designated smoking area outside the shelter. Smoking is only permitted in the designated area while staff or security is present. **E-Cigarettes and Vaporizers will not be allowed at the shelter.**
10. **Lights go out at or around 10:00 PM.** Clients must remain at their beds after lights out.
11. **The early wake-up call is at 5:00 AM.** Coffee and breakfast is provided to clients between 5 and 8 AM. Clients are expected to be out of bed by 9:00 am unless special arrangements have been made due to overnight work or illness. No one is allowed in the Sleeping Area from 9:00 AM to 6:00 PM.

12. **In public areas, shirts, pants are mandatory for men and women** at all times; socks and shoes are strongly encouraged.
13. **The evening meal is served from 6:00 PM to 9:00 PM.** Please clean up around your area after you eat, and wear shoes when in the meal line. Should you have a spill, please notify staff immediately.
14. **A Cell Phone Charging Station will be available for clients to use during designated hours.** Clients are NOT allowed to use ANY unauthorized electrical outlets for any reason.
15. Any undesignated parking either on or off the property is subject to being towed at the owner's expense.
16. A limited amount of storage is available for each client. Shopping carts, excessive luggage/bags, etc. will not be allowed in the shelter.
17. **No children under 18 years of age will be admitted into the shelter unless a verifiable parent or guardian is present.** If a client is an emancipated youth, official documentation proving emancipation must be presented at time of intake.
18. **There is a women's section and a men's section for sleeping. Women are not allowed in the men's section, and men are not allowed in women's section.**
19. Only the Site Leader or Manager on duty can expel / prevent any clients from staying at the shelter. Any conflicts between clients should be brought to the attention of the staff immediately. If you are asked to leave and you do not, it is a trespass on City property.
20. **Clients can only reserve beds for themselves. Do not put any of your items on another bed** to reserve a space.
21. **Donations** will be handed out in an orderly fashion by the staff & volunteers. Clients will not interfere with donations being brought in or the distribution of donations.

The **Shelter Program** operates as clients of the city in which it is located. As a result, all clients are expected to be **Good Neighbors** and have an obligation to comply with all state and local laws and/or ordinances and shelter rules and behave in a courteous manner at all times. **Complaints from residents, business owners, or public officials may result in warnings to the clients and expulsion from the Shelter program.**

22. **Any threats or acts of violence** such as loud and disruptive behaviors, threats, fighting, etc. towards staff, volunteers, security or other clients will result in immediate expulsion.
23. **Neither Shelter, nor any of its vendor/partners are in any way responsible or liable for lost, stolen, or damaged items that clients bring onto premises. IT IS THE CLIENTS' RESPONSIBILITY TO TAKE ALL PERSONAL BELONGINGS WITH THEM UPON EXITING THE PROGRAM, AND TO CLAIM THEIR ITEMS FROM THE SECURITY CHECK-IN WHEN THEY LEAVE THE PROPERTY. ANY ITEMS LEFT BEHIND MAY BE DISCARDED AFTER \_\_\_\_\_**

**DAYS.**

- 24. **A Pet Kennel is available for client use on a first come, first served basis, kennel space permitting.** All Animals will be permitted ONLY with appropriate documentation (including: Up-to-date vaccination and registration for the City of Costa Mesa) and approval by Site-Leader or management. Any animal may be asked to leave at any time due to aggressive or disruptive behavior, or if owner does not properly clean- up after the animal.
  
- 25. **Cash is never to be given** to Staff, Volunteers or Interns at ANY time.

*As a result of signing this form, I have read and do understand that neither Shelter, any of its volunteers, service providers, Security, or any of the vendors providing services for the Bridge Shelter will be responsible for any loss, theft, or damage to personal property including, but not limited to, Bicycles, Carts, Luggage, Cell Phones and other items that are brought onto the program property. I understand that program rules may change as necessary and that I am required to abide by any amended rules and protocols as they are created.*

**I have read the above and agree to follow the Shelter rules.**

Name (please print): \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**ATTACHMENT C:**  
**VOLUNTEER POLICIES**

## **Bridge Shelter Volunteer Policies**

### **1. Each Volunteer Must Maintain a Firm Commitment to Professional Conduct**

Volunteers of the Emergency Shelter are expected to maintain the highest level of moral, ethical, and professional conduct while at the site. Volunteers will not engage in verbal abuse, inappropriate jokes and stories, and or any type of inappropriate interaction with Emergency Shelter staff or clients.

### **2. Relationships with Clients**

Volunteers are prohibited from developing dual relationships with any clients they meet through their volunteer involvement at the Emergency Shelter. Examples of dual relationships include (but are not limited to) a volunteer entering into a business, romantic, or sexual relationship with a client. Soliciting clients for your business is strictly prohibited. Volunteers are not allowed to be named as having authority to make decisions for a client under any type of power of attorney or other legal procedure.

### **3. Food and Other Substances**

Volunteers will not consume any food items or drinks supplied by the Emergency Shelter while volunteering. Food and drinks are purchased solely for the consumption of the homeless clients. Volunteers must also commit to not consuming any type of illicit drugs on the property while volunteering. Volunteers who appear to be under the influence of any substance that impedes their ability to perform their duties safely and efficiently may be turned away.

### **4. Discrimination**

Volunteers will not discriminate against any client. They will not judge an individual based on their race, disability, religious preference, sexual orientation, color, age, veteran status, citizenship, ancestry, national origin or gender.

### **5. Volunteer Boundaries**

Volunteers are not permitted to loan or give money to clients, should not meet with clients outside of the Emergency Shelter without permission from program staff, and are not allowed to drive clients in their vehicles.

### **6. Commitment**

The Emergency Shelter is reliant upon the work of volunteers. This commitment should be taken seriously. If a volunteer misses a shift without removing themselves from the schedule and giving notice, the volunteer may be limited or restricted from volunteering.

## Costa Mesa Bridge Shelter Volunteer Description

**Purpose:** Mercy House is looking for volunteers to assist at the Costa Mesa Bridge Shelter. The purpose of the Costa Mesa Bridge Shelter is to provide safe emergency shelter for adult men and women in the City of Costa Mesa. In addition, the shelter provides clients access to case management services, meals, resources, and service providers. Volunteers Reports to the on-Site Volunteer Associate, Site Leader, and Program Manager

Volunteers must be willing to do all the following tasks - Major Duties May Include:

1. Greet Clients – Check in
2. Assist with serving meals (breakfast, lunch, and dinner)
3. Set out snacks and drinks
  - a. Prepare Coffee
  - b. Prepare Cold Drinks
4. Client Bin Check Outs
  - a. Must be able to lift 30lbs
5. Light cleaning – wiping down tables, sweeping, taking out trash
6. Organize and pass out donations

### **Time Commitment:**

Volunteers are needed 7 days per week. We ask that volunteers make a weekly commitment, if possible. We offer 3 & 4 hour shifts. We ask that volunteers who sign up serve the entire shift.

Shift Times:

- First Shift: 5:00am-8:00am: 5 volunteers
- Second Shift: 10:00am-2:00pm: 5 volunteers
- Third Shift: 2:00pm-5:00pm: 5 volunteers
- Fourth Shift: 5:00pm-9:00pm: 5 volunteers

### **Skills and Qualifications:**

- Must be very reliable, have good communication skills
- Must have ability to bend, squat, lift at least 30lbs,
- Must be willing to volunteer and interact with people who come from different backgrounds, life styles and be open to adapting to shelter needs.

### **Age Restriction:**

The minimum age to volunteer at the Costa Mesa Bridge Shelter is 13 years old with a parent/guardian who is also signed up to serve on the same shift.

### **Background Check:**

To ensure the safety of our clients, staff and all of our volunteers, we require a background check on interested Mercy House Volunteers. Individuals with a history of violent crimes or sexual offense will not be allowed to participate in any of the Mercy House Volunteer Programs.

### **Benefit to Volunteer:**

Recommendation letters, human services on-the-job experience, and the knowledge that you have given back to you community and are helping to make your corner of the world a better place.

**To sign up for this worthy cause please contact, Mercy House's Community Engagement Coordinator, Alyssa Salazar at [AlyssaS@mercyhouse.net](mailto:AlyssaS@mercyhouse.net).**

**Appendix B:  
Air Quality, Global Climate Change, and Energy Impact Analysis**

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# **PERMANENT BRIDGE SHELTER PROJECT AIR QUALITY, GLOBAL CLIMATE CHANGE, AND ENERGY IMPACT ANALYSIS**

City of Costa Mesa

May 16, 2019



Traffic Engineering • Transportation Planning • Parking • Noise & Vibration  
Air Quality • Global Climate Change • Health Risk Assessment

# PERMANENT BRIDGE SHELTER PROJECT AIR QUALITY, GLOBAL CLIMATE CHANGE, AND ENERGY IMPACT ANALYSIS

City of Costa Mesa

May 16, 2019

*prepared by*  
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19-0118

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## EXECUTIVE SUMMARY

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The purpose of this air quality, global climate change, and energy impact analysis is to provide an assessment of the impacts resulting from development of the proposed Permanent Bridge Shelter project and to identify measures that may be necessary to reduce potentially significant impacts.

### CONSTRUCTION-SOURCE EMISSIONS

Project construction-source emissions would not exceed applicable regional thresholds of significance established by the South Coast Air Quality Management District (SCAQMD). For localized emissions, the project will not exceed applicable Localized Significance Thresholds (LSTs) established by the SCAQMD.

Project construction-source emissions would not conflict with the Basin Air Quality Management Plan (AQMP). As discussed herein, the project will comply with all applicable SCAQMD construction-source emission reduction rules and guidelines. Project construction source emissions would not cause or substantively contribute to violation of the California Ambient Air Quality Standards (CAAQS) or National Ambient Air Quality Standards (NAAQS).

Established requirements addressing construction equipment operations, and construction material use, storage, and disposal requirements act to minimize odor impacts that may result from construction activities. Moreover, construction-source odor emissions would be temporary, short-term, and intermittent in nature and would not result in persistent impacts that would affect substantial numbers of people. Potential construction-source odor impacts are therefore considered less than significant.

### OPERATIONAL-SOURCE EMISSIONS

The project operational-sourced emissions would not exceed applicable regional thresholds of significance established by the SCAQMD. Project operational-source emissions would not result in or cause a significant localized air quality impact as discussed in the Operations-Related Local Air Quality Impacts section of this report. Additionally, project-related trips will not cause or result in CO concentrations exceeding applicable state and/or federal standards (CO "hotspots"). Project operational-source emissions would therefore not adversely affect sensitive receptors within the vicinity of the project.

Project operational-source emissions would not conflict with the Basin Air Quality Management Plan (AQMP). The project's emissions meet SCAQMD regional thresholds and will not result in a significant cumulative impact. The project does not propose any such uses or activities that would result in potentially significant operational-source odor impacts. Potential operational-source odor impacts are therefore considered less than significant.

### GREENHOUSE GASES

Project-related GHG emissions do not exceed the SCAQMD draft threshold of 3,000 MTCO<sub>2</sub>e per year for all land uses, and GHG emissions are considered to be less than significant.

Furthermore, the project would not conflict with the goals of SB-32 and the CARB Scoping Plan; therefore, the project would not conflict with an applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases and impacts are considered to be less than significant.

### ENERGY

For new development such as that proposed by the Permanent Bridge Shelter, compliance with California Building Standards Code Title 24 energy efficiency requirements (CalGreen), are considered demonstrable evidence of efficient use of energy. As discussed below, the project would provide for, and promote, energy

efficiencies required under other applicable federal and State of California standards and regulations, and in so doing would meet or exceed all California Building Standards Code Title 24 standards. Moreover, energy consumed by the project's operation is calculated to be comparable to, or less than, energy consumed by other shelter uses of similar scale and intensity that are constructed and operating in California. On this basis, the project would not result in the inefficient, wasteful, or unnecessary consumption of energy. Further, the project would not cause or result in the need for additional energy producing facilities or energy delivery systems.

# 1. INTRODUCTION

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This section describes the purpose of this air quality, global climate change, and energy impact analysis, project location, proposed development, and study area. Figure 1 shows the project location map and Figure 2 illustrates the project site plan.

## PURPOSE AND OBJECTIVES

This study was performed to address the possibility of regional/local air quality impacts and global climate change impacts, from project related air emissions, as well as energy impacts. The objectives of the study include:

- documentation of the atmospheric setting
- discussion of criteria pollutants and greenhouse gases
- discussion of the air quality and global climate change regulatory framework
- discussion of the air quality and greenhouse gases thresholds of significance
- analysis of the construction related air quality and greenhouse gas emissions
- analysis of the operations related air quality and greenhouse gas emissions
- analysis of the construction and operations related energy use
- analysis of the conformity of the proposed project with the SCAQMD AQMP
- recommendations for mitigation measures

The City of Costa Mesa is the lead agency for this air quality, greenhouse gas, and energy analysis, in accordance with the California Environmental Quality Act authorizing legislation. Although this is a technical report, every effort has been made to write the report clearly and concisely. To assist the reader with terms unique to air quality and global climate change, a definition of terms has been provided in Appendix A.

## PROJECT LOCATION

The project is located at 3175 Airway Avenue on the southwest corner of Airway Avenue and McCormick Avenue in the City of Costa Mesa. The project site consists of an existing 29,816 square foot office/warehouse building and associated parking lot. The project site comprises a single parcel, Assessor's Parcel Number (APN) 427-091-12. A vicinity map showing the project location is provided on Figure 1.

## PROJECT DESCRIPTION

The proposed project would repurpose approximately half of the existing industrial building at 3175 Airway Avenue (approximately 15,000 square feet) for a permanent bridge shelter for individuals experiencing homelessness. The space has sufficient area to accommodate up to a maximum of 100-bed shelter; however, at this time the City is proposing only 50 beds in the shelter, which would operate 24 hours per day and 365 days per year, and would provide wrap-around services to individuals that are accommodated by the facility.<sup>1</sup> The Shelter Operator would work in conjunction with existing City outreach staff and other organizations within the community to operate the facility.

In order to decrease the impact on the surrounding neighborhood, access to and from the shelter will be handled through a reservation-based transportation system. A shuttle bus to and from the shelter will be the only ingress and egress allowed for individuals experiencing homelessness. Certain exceptions may apply, but transportation will be provided to and from the facility in all cases. The proposed shuttle plan includes two shuttle stops, and the proposed shuttle schedule is shown below. In no case will individuals be allowed to

---

<sup>1</sup> This Air Quality, Global Climate Change, and Energy Impact Analysis assumes a 100-bed shelter in order to provide a worst-case analysis of the proposed project.



leave the facility on foot unless doing so unlawfully in violation of the facility rules and regulations; no walk-ins to the bridge shelter or its services will be permitted.

### Airway Drive 100-Bed Permanent Bridge Shelter Shuttle Plan - Weekdays

All shuttle routes start at Airway Drive	Monday - Friday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Blvd 92627			Share Ourselves (SOS) 1550 Superior 92627			
Monday - Friday	Drop Off Only	Drop Off & Pick Up	Pick Up Only	Drop Off Only	Drop off & Pick-Up	Pick up Only	# of Shuttles
6:00 a.m.	X			X			3
9:00 a.m.		X			X		5
12:00 noon		X			X		4
4:00 p.m.		X			X		5
7:00 p.m.			X			X	5
							22

### Airway Drive 100-Bed Permanent Bridge Shelter Shuttle Plan - Saturdays

All shuttle routes start at Airway Drive	Saturday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Blvd 92627			Share Ourselves (SOS) 1550 Superior 92627			
Saturday	Drop Off Only	Drop Off & Pick Up	Pick Up Only	Drop Off Only	Drop off & Pick-Up	Pick up Only	# of Shuttles
6:00 a.m.	X			X			4
9:00 a.m.		X			X		4
12:00 noon		X			X		5
4:00 p.m.					X		3
7:00 p.m.						X	4
7:30 p.m.			X				4
							24

### Airway Drive 100-Bed Permanent Bridge Shelter Shuttle Plan - Sundays

All shuttle routes start at Airway Drive	Sunday Shuttle Stops						All shuttle routes end at Airway Drive
	The Crossing Church 2115 Newport Blvd 92627			Share Ourselves (SOS) 1550 Superior 92627			
Sunday	Drop Off Only	Drop Off & Pick Up	Pick Up Only	Drop Off Only	Drop off & Pick-Up	Pick up Only	# of Shuttles
6:00 a.m.	X			X			4
9:00 a.m.					X		3
12:00 noon					X		3
4:00 p.m.		X			X		6
7:00 p.m.		X				X	6
							22

Repurposing a portion of the industrial space for an emergency shelter will require the following site improvements:

- New ADA access and exit points
- A new 6-foot-high screened motorized vehicular gate at the entrance
- Landscaping upgrades along Airway Avenue
- A new visitor entrance along Airway Avenue (located behind the security gate)
- A new outdoor break area on the west side of the building that is located behind the installed perimeter gate
- Interior office renovations
- New/upgraded restrooms and showers for men and women
- A new kitchen and dining hall
- Separate men's and women's sleeping quarters
- Internal 5-foot-high partition walls for privacy and noise reduction in sleeping quarters
- New laundry, training, and computer rooms
- 17 new parking spaces created by restriping an existing paved area south of the building
- Installation of security cameras
- Creation of small outdoor animal area that is located behind the installed perimeter gate

Construction and site improvements would begin in Fall 2019, with expected operation in mid-2020. The other half of the industrial building (approximately 15,000 square feet) would be leased by the City to a tenant(s) for industrial warehouse use consistent with the existing purpose, zoning, and land use designation. The leased space would have a separate meter, address, and entrance and would have access to the existing loading docks.

Figure 2 illustrates the proposed site plan.

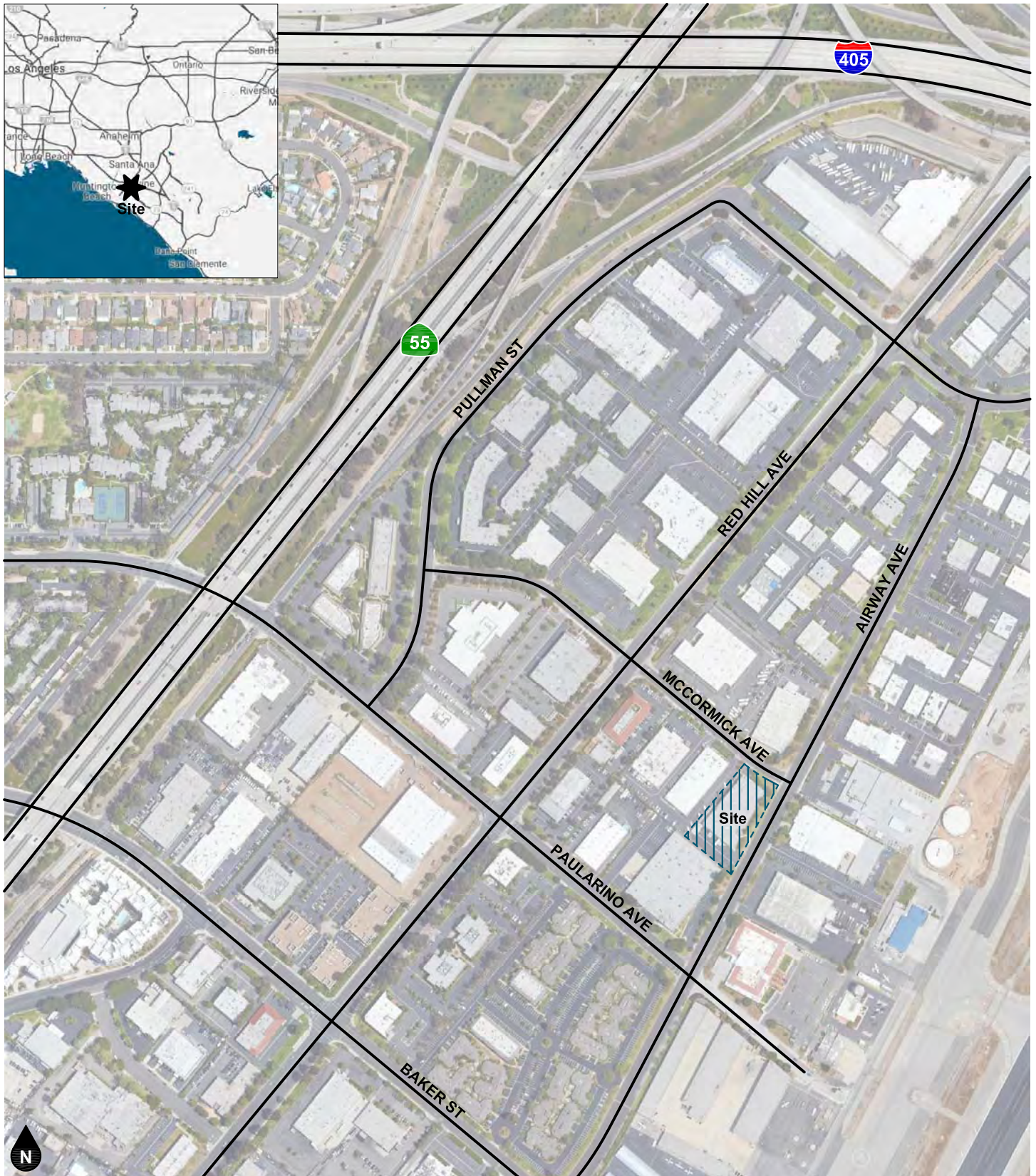
## **PHASING AND TIMING**

The project is anticipated to be built in one phase. Construction is anticipated begin no sooner than September 2019 and being completed by the end of June 2020. The proposed project is anticipated for opening in 2020.

## **SENSITIVE RECEPTORS IN PROJECT VICINITY**

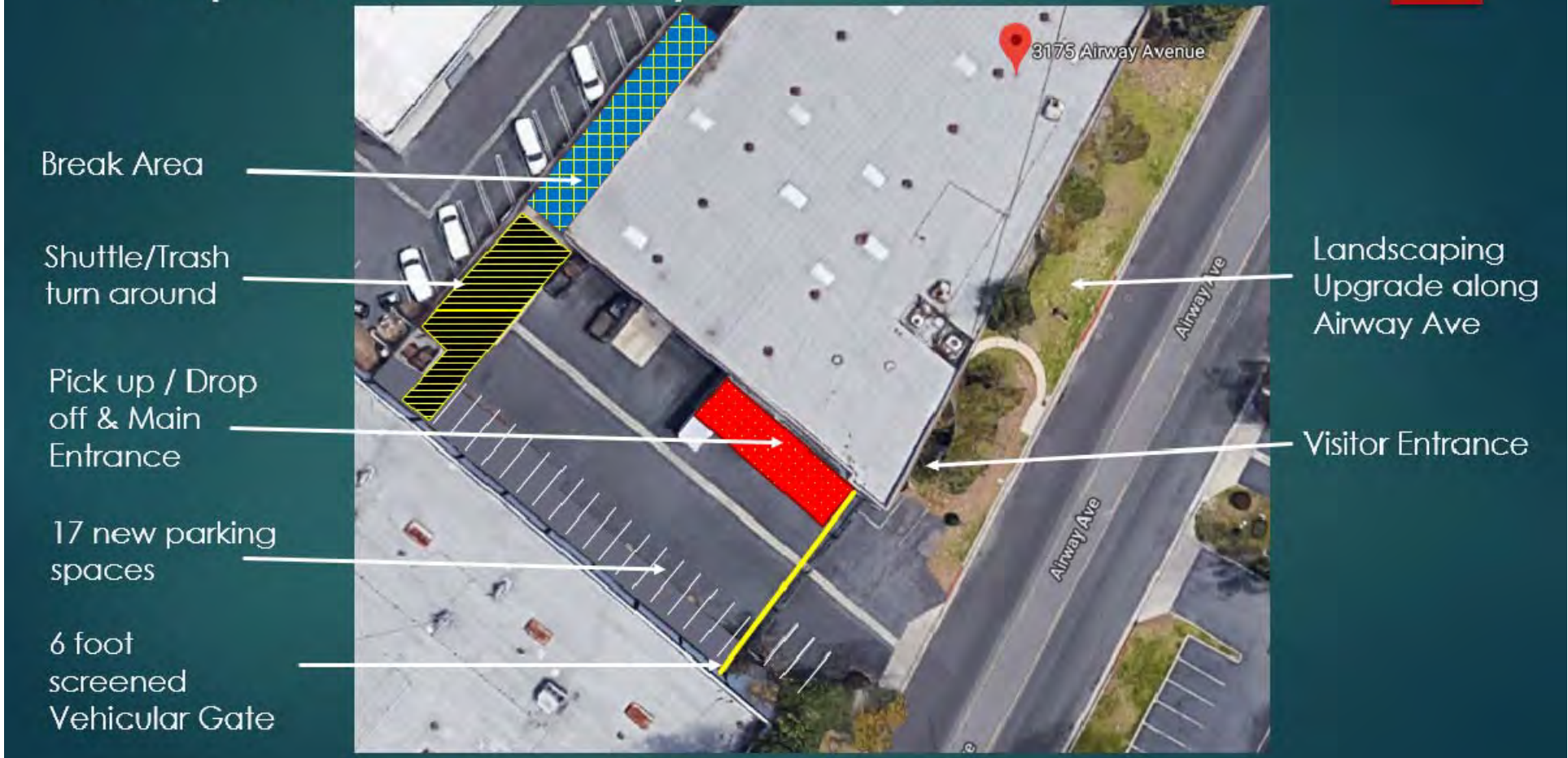
Those who are sensitive to air pollution include children, the elderly, and persons with preexisting respiratory or cardiovascular illness. For purposes of CEQA, the SCAQMD considers a sensitive receptor to be a location where a sensitive individual could remain for 24 hours, such as residences, hospitals, or convalescent facilities (South Coast Air Quality Management District 2008). Commercial and industrial facilities are not included in the definition because employees do not typically remain on-site for 24 hours.

The nearest sensitive receptors to the project site are approximately 0.4 miles from the site and include Mariners Christian School located 1,825 feet (556 meters) southwest of the project site and multi-family attached residential dwelling units located approximately 2,050 feet (625 meters) northwest of the project site.



**Figure 1**  
**Project Location Map**

# Proposed Site Layout Plan



**Figure 2**  
**Site Plan**

## 2. ATMOSPHERIC SETTING

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### LOCAL AIR QUALITY

The proposed project site is located in the northeastern portion of the City of Costa Mesa. The City of Costa Mesa is located within the South Coast Air Basin (Basin), which is surrounded by mountains trapping the air and its pollutants in the valleys or basins below. The Basin includes all of Orange County and the non-desert portions of Los Angeles, San Bernardino, and Riverside Counties. Bounded by the Pacific Ocean to the west and the San Gabriel, San Bernardino, and San Jacinto Mountains to the north and east, the Basin is an area of high air pollution potential. The regional climate within the Basin is considered semi-arid and is characterized by warm summers, mild winters, infrequent seasonal rainfall, moderate daytime onshore breezes, and moderate humidity. Air quality within the Basin is influenced by a wide range of emissions sources—such as dense population centers, heavy vehicular traffic, and industry. Climate change within the Basin is influenced by a wide range of emission sources, such as utility usage, heavy vehicular traffic, industry, and meteorology.

The annual average temperature varies throughout the Basin, ranging from the low to mid 60s to over 100 degrees during the summer, measured in Fahrenheit (°F). With a more pronounced oceanic influence, coastal areas show less variability in annual minimum and maximum temperatures than inland areas. The City of Costa Mesa is located in the North Coastal Orange County portion of the Basin.

The Basin experiences a persistent temperature inversion, which is characterized by increasing temperature with increasing altitude. This inversion limits the vertical dispersion of air contaminants, holding them relatively near the ground. As the sun warms the ground and the lower air layer, the temperature of the lower air layer approaches the temperature of the base of the inversion (upper) layer until the inversion layer finally breaks, allowing vertical mixing with the lower layer.

Aside from a persistent temperature inversion, the vertical dispersion of air contaminants in the Basin is also affected by wind conditions. The combination of stagnant wind conditions and low inversions produces the greatest pollutant concentrations. Conversely, on days of no inversion or high wind speeds, ambient air pollutant concentrations are the lowest. During periods of low inversions and low wind speeds, air pollutants generated in urbanized areas in the Basin are transported eastward, predominantly into Riverside and San Bernardino Counties. Santa Ana winds, which are strong and dry north or northeasterly winds that occur during the fall and winter months, disperse air contaminants differently through the Basin, generally resulting in worse air conditions in the inner basin areas. Santa Ana conditions tend to last for several days at a time. Wind speeds in the City of Costa Mesa annual average about 9.58 miles per hour (mph) (USA.com 2019).

The majority of annual rainfall in the Basin occurs between December and March. Summer rainfall is minimal and generally limited to scattered thundershowers in coastal regions. The annual average total of rainfall in the City is approximately 13.92 inches (USA.com 2019).

In the winter, light nocturnal winds result mainly from the drainage of cool air off of the mountains toward the valley floor while the air aloft over the valley remains warm. This forms a type of inversion known as a radiation inversion. Such winds are characterized by stagnation and poor local mixing and trap pollutants such as automobile exhaust near their source. While these inversions may lead to air pollution “hot spots” in heavily developed coastal areas of the basin, there is not enough traffic in inland valleys to cause any winter air pollution problems. Despite light wind conditions, especially at night and in the early morning, winter is generally a period of good air quality in the project vicinity.

The temperature and precipitation levels for the City of Santa Ana, the closest monitoring station to the project site, are shown below in Table 1. Table 1 shows that August is typically the warmest month and December is typically the coolest month. Rainfall in the project area varies considerably in both time and space. Almost all the annual rainfall comes from the fringes of mid-latitude storms from late November to early April, with summers being almost completely dry.

**Table 1  
Local Monthly Climate Data<sup>1</sup>**

Descriptor	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Avg. Max. Temperature	69.8	70.1	71.7	73.9	75.5	78.4	82.9	84.7	83.6	79.6	71.8	69.5
Avg. Min. Temperature	47.0	48.3	50.4	53.0	56.9	60.1	63.3	64.1	62.3	58.1	49.8	46.8
Avg. Total Precipitation (in.)	2.8	3.2	2.2	0.9	0.3	0.1	0.0	0.0	0.2	0.6	1.2	2.3

Notes:

(1) Source: <https://wrcc.dri.edu/cgi-bin/cliMAIN.pl?ca1484>.

Data taken from the Santa Ana Fire Stn, CA station (047888).

## 3. POLLUTANTS

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Pollutants are generally classified as either criteria pollutants or non-criteria pollutants. Federal ambient air quality standards have been established for criteria pollutants, whereas no ambient standards have been established for non-criteria pollutants. For some criteria pollutants, separate standards have been set for different periods. Most standards have been set to protect public health. For some pollutants, standards have been based on other values (such as protection of crops, protection of materials, or avoidance of nuisance conditions). A summary of federal and state ambient air quality standards is provided in the Regulatory Framework section.

### CRITERIA POLLUTANTS

The criteria pollutants consist of: ozone, nitrogen dioxide, carbon monoxide, sulfur dioxide, lead, and particulate matter. These pollutants can harm your health and the environment, and cause property damage. The Environmental Protection Agency (EPA) calls these pollutants “criteria” air pollutants because it regulates them by developing human health-based and/or environmentally-based criteria for setting permissible levels. The following provides descriptions of each of the criteria pollutants.

#### Nitrogen Dioxides

Nitrogen Oxides (NO<sub>x</sub>) is the generic term for a group of highly reactive gases which contain nitrogen and oxygen. While most NO<sub>x</sub> are colorless and odorless, concentrations of nitrogen dioxide (NO<sub>2</sub>) can often be seen as a reddish-brown layer over many urban areas. NO<sub>x</sub> form when fuel is burned at high temperatures, as in a combustion process. The primary manmade sources of NO<sub>x</sub> are motor vehicles, electric utilities, and other industrial, commercial, and residential sources that burn fuel. NO<sub>x</sub> reacts with other pollutants to form, ground-level ozone, nitrate particles, acid aerosols, as well as NO<sub>2</sub>, which cause respiratory problems. NO<sub>x</sub> and the pollutants formed from NO<sub>x</sub> can be transported over long distances, following the patterns of prevailing winds. Therefore controlling NO<sub>x</sub> is often most effective if done from a regional perspective, rather than focusing on the nearest sources.

#### Ozone

Ozone (O<sub>3</sub>) is not usually emitted directly into the air but at ground-level is created by a chemical reaction between NO<sub>x</sub> and volatile organic compounds (VOC) in the presence of sunlight. Motor vehicle exhaust, industrial emissions, gasoline vapors, chemical solvents as well as natural sources emit NO<sub>x</sub> and VOC that help form ozone. Ground-level ozone is the primary constituent of smog. Sunlight and hot weather cause ground-level ozone to form with the greatest concentrations usually occurring downwind from urban areas. Ozone is subsequently considered a regional pollutant. Ground-level ozone is a respiratory irritant and an oxidant that increases susceptibility to respiratory infections and can cause substantial damage to vegetation and other materials. Because NO<sub>x</sub> and VOC are ozone precursors, the health effects associated with ozone are also indirect health effects associated with significant levels of NO<sub>x</sub> and VOC emissions.

#### Carbon Monoxide

Carbon monoxide (CO) is a colorless, odorless gas that is formed when carbon in fuel is not burned completely. It is a component of motor vehicle exhaust, which contributes about 56 percent of all CO emissions nationwide. In cities, 85 to 95 percent of all CO emissions may come from motor vehicle exhaust. Other sources of CO emissions include industrial processes (such as metals processing and chemical manufacturing), residential wood burning, and natural sources such as forest fires. Woodstoves, gas stoves, cigarette smoke, and unvented gas and kerosene space heaters are indoor sources of CO. The highest levels of CO in the outside air typically occur during the colder months of the year when inversion conditions are more frequent. The air pollution becomes trapped near the ground beneath a layer of warm air. CO is described as having only a local influence because it dissipates quickly. Since CO concentrations are strongly associated with motor

vehicle emissions, high CO concentrations generally occur in the immediate vicinity of roadways with high traffic volumes and traffic congestion, active parking lots, and in automobile tunnels. Areas adjacent to heavily traveled and congested intersections are particularly susceptible to high CO concentrations.

CO is a public health concern because it combines readily with hemoglobin and thus reduces the amount of oxygen transported in the bloodstream. The health threat from lower levels of CO is most serious for those who suffer from heart disease such as angina, clogged arteries, or congestive heart failure. For a person with heart disease, a single exposure to CO at low levels may cause chest pain and reduce that person's ability to exercise; repeated exposures may contribute to other cardiovascular effects. High levels of CO can affect even healthy people. People who breathe high levels of CO can develop vision problems, reduced ability to work or learn, reduced manual dexterity, and difficulty performing complex tasks. At extremely high levels, CO is poisonous and can cause death.

### Sulfur Dioxide

Sulfur Oxide (SO<sub>x</sub>) gases (including sulfur dioxide [SO<sub>2</sub>]) are formed when fuel containing sulfur, such as coal and oil is burned, and from the refining of gasoline. SO<sub>x</sub> dissolves easily in water vapor to form acid and interacts with other gases and particles in the air to form sulfates and other products that can be harmful to people and the environment.

### Lead

Lead (Pb) is a metal found naturally in the environment as well as manufactured products. The major sources of lead emissions have historically been motor vehicles and industrial sources. Due to the phase out of leaded gasoline, metal processing is now the primary source of lead emissions to the air. High levels of lead in the air are typically only found near lead smelters, waste incinerators, utilities, and lead-acid battery manufacturers. Exposure of fetuses, infants and children to low levels of lead can adversely affect the development and function of the central nervous system, leading to learning disorders, distractibility, inability to follow simple commands, and lower intelligence quotient. In adults, increased lead levels are associated with increased blood pressure.

### Particulate Matter

Particulate matter (PM) is the term for a mixture of solid particles and liquid droplets found in the air. Particulate matter is made up of a number of components including acids (such as nitrates and sulfates), organic chemicals, metals, and soil or dust particles. The size of particles is directly linked to their potential for causing health problems. Particles that are less than 10 micrometers in diameter (PM<sub>10</sub>) are the particles that generally pass through the throat and nose and enter the lungs. Once inhaled, these particles can affect the heart and lungs and cause serious health effects. Particles that are less than 2.5 micrometers in diameter (PM<sub>2.5</sub>) have been designated as a subset of PM<sub>10</sub> due to their increased negative health impacts and its ability to remain suspended in the air longer and travel further.

### Reactive Organic Gases (ROG)

Although not a criteria pollutant, reactive organic gases (ROGs), or VOCs, are defined as any compound of carbon—excluding carbon monoxide, carbon dioxide, carbonic acid, metallic carbides or carbonates, and ammonium carbonate—that participates in atmospheric photochemical reactions. Although there are slight differences in the definition of ROGs and VOCs, the two terms are often used interchangeably. Indoor sources of VOCs include paints, solvents, aerosol sprays, cleansers, tobacco smoke, etc. Outdoor sources of VOCs are from combustion and fuel evaporation. A reduction in VOC emissions reduces certain chemical reactions that contribute to the formulation of ozone. VOCs are transformed into organic aerosols in the atmosphere, which contribute to higher PM<sub>10</sub> and lower visibility.



## OTHER POLLUTANTS OF CONCERN

### Toxic Air Contaminants

In addition to the above-listed criteria pollutants, toxic air contaminants (TACs) are another group of pollutants of concern. Sources of toxic air contaminants include industrial processes such as petroleum refining and chrome plating operations, commercial operations such as gasoline stations and dry cleaners, and motor vehicle exhaust. Cars and trucks release at least forty different toxic air contaminants. The most important of these toxic air contaminants, in terms of health risk, are diesel particulates, benzene, formaldehyde, 1,3-butadiene, and acetaldehyde. Public exposure to toxic air contaminants can result from emissions from normal operations as well as from accidental releases. Health effects of toxic air contaminants include cancer, birth defects, neurological damage, and death.

Toxic air contaminants are less pervasive in the urban atmosphere than criteria air pollutants, however they are linked to short-term (acute) or long-term (chronic or carcinogenic) adverse human health effects. There are hundreds of different types of toxic air contaminants with varying degrees of toxicity. Sources of toxic air contaminants include industrial processes, commercial operations (e.g., gasoline stations and dry cleaners), and motor vehicle exhaust.

According to the 2013 California Almanac of Emissions and Air Quality, the majority of the estimated health risk from toxic air contaminants can be attributed to relatively few compounds, the most important of which is diesel particulate matter (DPM). Diesel particulate matter is a subset of PM<sub>2.5</sub> because the size of diesel particles are typically 2.5 microns and smaller. The identification of diesel particulate matter as a toxic air contaminant in 1998 led the California Air Resources Board (CARB) to adopt the Risk Reduction Plan to Reduce Particulate Matter Emissions from Diesel-fueled Engines and Vehicles in September 2000. The plan's goals are a 75-percent reduction in diesel particulate matter by 2010 and an 85-percent reduction by 2020 from the 2000 baseline. Diesel engines emit a complex mixture of air pollutants, composed of gaseous and solid material. The visible emissions in diesel exhaust are known as particulate matter or PM, which includes carbon particles or "soot". Diesel exhaust also contains a variety of harmful gases and over 40 other cancer-causing substances. California's identification of diesel particulate matter as a toxic air contaminant was based on its potential to cause cancer, premature deaths, and other health problems. Exposure to diesel particulate matter is a health hazard, particularly to children whose lungs are still developing and the elderly who may have other serious health problems. Overall, diesel engine emissions are responsible for the majority of California's potential airborne cancer risk from combustion sources.

### Asbestos

Asbestos is listed as a TAC by the ARB and as a Hazardous Air Pollutant by the EPA. Asbestos occurs naturally in mineral formations and crushing or breaking these rocks, through construction or other means, can release asbestiform fibers into the air. Asbestos emissions can result from the sale or use of asbestos-containing materials, road surfacing with such materials, grading activities, and surface mining. The risk of disease is dependent upon the intensity and duration of exposure. When inhaled, asbestos fibers may remain in the lungs and with time may be linked to such diseases as asbestosis, lung cancer, and mesothelioma. Naturally occurring asbestos is not present in Orange County. The nearest likely locations of naturally occurring asbestos, as identified in the [General Location Guide for Ultramafic Rocks in California](#) prepared by the California Division of Mines and Geology, is located in Santa Barbara County. Due to the distance to the nearest natural occurrences of asbestos, the project site is not likely to contain asbestos.

## GREENHOUSE GASES

Constituent gases of the Earth's atmosphere, called atmospheric greenhouse gases (GHG), play a critical role in the Earth's radiation amount by trapping infrared radiation emitted from the Earth's surface, which otherwise would have escaped to space. Prominent greenhouse gases contributing to this process include carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), ozone, water vapor, nitrous oxide (N<sub>2</sub>O), and chlorofluorocarbons

(CFCs). This phenomenon, known as the Greenhouse Effect, is responsible for maintaining a habitable climate. Anthropogenic (caused or produced by humans) emissions of these greenhouse gases in excess of natural ambient concentrations are responsible for the enhancement of the Greenhouse Effect and have led to a trend of unnatural warming of the Earth's natural climate, known as global warming or climate change. Emissions of gases that induce global warming are attributable to human activities associated with industrial/manufacturing, agriculture, utilities, transportation, and residential land uses. Transportation is responsible for 41 percent of the State's greenhouse gas emissions, followed by electricity generation. Emissions of CO<sub>2</sub> and nitrous oxide (NO<sub>x</sub>) are byproducts of fossil fuel combustion. Methane, a potent greenhouse gas, results from off-gassing associated with agricultural practices and landfills. Sinks of CO<sub>2</sub>, where CO<sub>2</sub> is stored outside of the atmosphere, include uptake by vegetation and dissolution into the ocean. The following provides a description of each of the greenhouse gases and their global warming potential.

### Water Vapor

Water vapor is the most abundant, important, and variable GHG in the atmosphere. Water vapor is not considered a pollutant; in the atmosphere it maintains a climate necessary for life. Changes in its concentration are primarily considered a result of climate feedbacks related to the warming of the atmosphere rather than a direct result of industrialization. The feedback loop in which water is involved is critically important to projecting future climate change. As the temperature of the atmosphere rises, more water is evaporated from ground storage (rivers, oceans, reservoirs, soil). Because the air is warmer, the relative humidity can be higher (in essence, the air is able to "hold" more water when it is warmer), leading to more water vapor in the atmosphere. As a GHG, the higher concentration of water vapor is then able to absorb more thermal indirect energy radiated from the Earth, thus further warming the atmosphere. The warmer atmosphere can then hold more water vapor and so on and so on. This is referred to as a "positive feedback loop". The extent to which this positive feedback loop will continue is unknown as there is also dynamics that put the positive feedback loop in check. As an example, when water vapor increases in the atmosphere, more of it will eventually also condense into clouds, which are more able to reflect incoming solar radiation (thus allowing less energy to reach the Earth's surface and heat it up).

### Carbon Dioxide (CO<sub>2</sub>)

The natural production and absorption of CO<sub>2</sub> is achieved through the terrestrial biosphere and the ocean. However, humankind has altered the natural carbon cycle by burning coal, oil, natural gas, and wood. Since the industrial revolution began in the mid-1700s. Each of these activities has increased in scale and distribution. CO<sub>2</sub> was the first GHG demonstrated to be increasing in atmospheric concentration with the first conclusive measurements being made in the last half of the 20th century. Prior to the industrial revolution, concentrations were fairly stable at 280 parts per million (ppm). The International Panel on Climate Change (IPCC Fifth Assessment Report, 2014) Emissions of CO<sub>2</sub> from fossil fuel combustion and industrial processes contributed about 78% of the total GHG emissions increase from 1970 to 2010, with a similar percentage contribution for the increase during the period 2000 to 2010. Globally, economic and population growth continued to be the most important drivers of increases in CO<sub>2</sub> emissions from fossil fuel combustion. The contribution of population growth between 2000 and 2010 remained roughly identical to the previous three decades, while the contribution of economic growth has risen sharply.

### Methane (CH<sub>4</sub>)

CH<sub>4</sub> is an extremely effective absorber of radiation, although its atmospheric concentration is less than that of CO<sub>2</sub>. Its lifetime in the atmosphere is brief (10 to 12 years), compared to some other GHGs (such as CO<sub>2</sub>, N<sub>2</sub>O, and Chlorofluorocarbons (CFCs)). CH<sub>4</sub> has both natural and anthropogenic sources. It is released as part of the biological processes in low oxygen environments, such as in swamplands or in rice production (at the roots of the plants). Over the last 50 years, human activities such as growing rice, raising cattle, using natural gas, and mining coal have added to the atmospheric concentration of methane. Other anthropocentric sources include fossil-fuel combustion and biomass burning.

### Nitrous Oxide (N<sub>2</sub>O)

Concentrations of N<sub>2</sub>O also began to rise at the beginning of the industrial revolution. In 1998, the global concentration of this GHG was documented at 314 parts per billion (ppb). N<sub>2</sub>O is produced by microbial processes in soil and water, including those reactions which occur in fertilizer containing nitrogen. In addition to agricultural sources, some industrial processes (fossil fuel-fired power plants, nylon production, nitric acid production, and vehicle emissions) also contribute to its atmospheric load. It is also commonly used as an aerosol spray propellant, (i.e., in whipped cream bottles, in potato chip bags to keep chips fresh, and in rocket engines and in race cars).

### Chlorofluorocarbons (CFC)

CFCs are gases formed synthetically by replacing all hydrogen atoms in methane or ethane (C<sub>2</sub>H<sub>6</sub>) with chlorine and/or fluorine atoms. CFCs are nontoxic, nonflammable, insoluble, and chemically unreactive in the troposphere (the level of air at the Earth's surface). CFCs have no natural source, but were first synthesized in 1928. It was used for refrigerants, aerosol propellants, and cleaning solvents. Due to the discovery that they are able to destroy stratospheric ozone, a global effort to halt their production was undertaken and in 1989 the European Community agreed to ban CFCs by 2000 and subsequent treaties banned CFCs worldwide by 2010. This effort was extremely successful, and the levels of the major CFCs are now remaining level or declining. However, their long atmospheric lifetimes mean that some of the CFCs will remain in the atmosphere for over 100 years.

### Hydrofluorocarbons (HFC)

HFCs are synthetic man-made chemicals that are used as a substitute for CFCs. Out of all the GHGs, they are one of three groups with the highest global warming potential. The HFCs with the largest measured atmospheric abundances are (in order), HFC-23 (CHF<sub>3</sub>), HFC-134a (CF<sub>3</sub>CH<sub>2</sub>F), and HFC-152a (CH<sub>3</sub>CHF<sub>2</sub>). Prior to 1990, the only significant emissions were HFC-23. HFC-134a use is increasing due to its use as a refrigerant. Concentrations of HFC-23 and HFC-134a in the atmosphere are now about 10 parts per trillion (ppt) each. Concentrations of HFC-152a are about 1 ppt. HFCs are manmade for applications such as automobile air conditioners and refrigerants.

### Perfluorocarbons (PFC)

PFCs have stable molecular structures and do not break down through the chemical processes in the lower atmosphere. High-energy ultraviolet rays about 60 kilometers above Earth's surface are able to destroy the compounds. Because of this, PFCs have very long lifetimes, between 10,000 and 50,000 years. Two common PFCs are tetrafluoromethane (CF<sub>4</sub>) and hexafluoroethane (C<sub>2</sub>F<sub>6</sub>). Concentrations of CF<sub>4</sub> in the atmosphere are over 70 ppt. The two main sources of PFCs are primary aluminum production and semiconductor manufacturing.

### Sulfur Hexafluoride (SF<sub>6</sub>)

SF<sub>6</sub> is an inorganic, odorless, colorless, nontoxic, nonflammable gas. SF<sub>6</sub> has the highest global warming potential of any gas evaluated; 23,900 times that of CO<sub>2</sub>. Concentrations in the 1990s were about 4 ppt. Sulfur hexafluoride is used for insulation in electric power transmission and distribution equipment, in the magnesium industry, in semiconductor manufacturing, and as a tracer gas for leak detection.

### Aerosols

Aerosols are particles emitted into the air through burning biomass (plant material) and fossil fuels. Aerosols can warm the atmosphere by absorbing and emitting heat and can cool the atmosphere by reflecting light. Cloud formation can also be affected by aerosols. Sulfate aerosols are emitted when fuel containing sulfur is burned. Black carbon (or soot) is emitted during biomass burning due to the incomplete combustion of fossil

fuels. Particulate matter regulation has been lowering aerosol concentrations in the United States; however, global concentrations are likely increasing.

### Global Warming Potential

The Global Warming Potential (GWP) was developed to allow comparisons of the global warming impacts of different gases. Specifically, it is a measure of how much energy the emissions of 1 ton of a gas will absorb over a given period of time, relative to the emissions of 1 ton of carbon dioxide (CO<sub>2</sub>). The larger the GWP, the more that a given gas warms the Earth compared to CO<sub>2</sub> over that time period. The time period usually used for GWPs is 100 years. GWPs provide a common unit of measure, which allows analysts to add up emissions estimates of different gases (e.g., to compile a national GHG inventory), and allows policymakers to compare emissions reduction opportunities across sectors and gases. A summary of the atmospheric lifetime and the global warming potential of selected gases are summarized in Table 2. As shown in Table 2, the global warming potential of GHGs ranges from 1 to 22,800.

**Table 2  
Global Warming Potentials and Atmospheric Lifetimes<sup>1</sup>**

Gas	Atmospheric Lifetime	Global Warming Potential <sup>2</sup> (100 Year Horizon)
Carbon Dioxide (CO <sub>2</sub> )	-- <sup>3</sup>	1
Methane (CH <sub>4</sub> )	12	28-36
Nitrous Oxide (NO)	114	298
Hydrofluorocarbons (HFCs)	1-270	12-14,800
Perfluorocarbons (PFCs)	2,600-50,000	7,390-12,200
Nitrogen trifluoride (NF <sub>3</sub> )	740	17,200
Sulfur Hexafluoride (SF <sub>6</sub> )	3,200	22,800

Notes:

(1) Source: <http://www3.epa.gov/climatechange/ghgemissions/gases.html>

(2) Compared to the same quantity of CO<sub>2</sub> emissions.

(3) Carbon dioxide's lifetime is poorly defined because the gas is not destroyed over time, but instead moves among different parts of the ocean-atmosphere-land system. Some of the excess carbon dioxide will be absorbed quickly (for example, by the ocean surface), but some will remain in the atmosphere for thousands of years, due in part to the very slow process by which carbon is transferred to ocean sediments.

## 4. AIR QUALITY MANAGEMENT

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### REGULATORY SETTING

The proposed project is addressed through the efforts of various international, federal, state, regional, and local government agencies. These agencies work jointly, as well as individually, to improve air quality through legislation, regulations, planning, policy-making, education, and a variety of programs. The agencies responsible for improving the air quality are discussed below.

#### International

##### *Montreal Protocol*

In 1988, the United Nations established the Intergovernmental Panel on Climate Change (IPCC) to evaluate the impacts of global climate change and to develop strategies that nations could implement to curtail global climate change. In 1992, the United States joined other countries around the world in signing the United Nations' Framework Convention on Climate Change (UNFCCC) agreement with the goal of controlling GHG emissions. As a result, the Climate Change Action Plan was developed to address the reduction of GHGs in the United States. The plan consists of more than 50 voluntary programs.

Additionally, the Montreal Protocol was originally signed in 1987 and substantially amended in 1990 and 1992. The Montreal Protocol stipulates that the production and consumption of compounds that deplete ozone in the stratosphere—CFCs, halons, carbon tetrachloride, and methyl chloroform—were to be phased out, with the first three by the year 2000 and methyl chloroform by 2005.

##### *The Paris Agreement*

The Paris Agreement entered into force on 4 November 2016, thirty days after the date on which at least 55 Parties to the Convention accounting in total for at least an estimated 55 % of the total global greenhouse gas emissions have deposited their instruments of ratification, acceptance, approval or accession with the Depositary.

The Paris Agreement builds upon the Convention and – for the first time – brings all nations into a common cause to undertake take ambitious efforts to combat climate change and adapt to its effects, with enhanced support to assist developing countries to do so. As such, it charts a new course in the global climate effort.

The Paris Agreement's central aim is to strengthen the global response to the threat of climate change by keeping a global temperature rise this century well below 2 degrees Celsius above pre-industrial levels and to pursue efforts to limit the temperature increase even further to 1.5 degrees Celsius. Additionally, the agreement aims to strengthen the ability of countries to deal with the impacts of climate change. To reach these ambitious goals, appropriate financial flows, a new technology framework and an enhanced capacity building framework will be put in place, thus supporting action by developing countries and the most vulnerable countries, in line with their own national objectives. The Agreement also provides for enhanced transparency of action and support through a more robust transparency framework. The Trump administration has recently indicated the United States federal government will no longer participate in the Paris agreement. However, the U.S. cannot technically withdraw from the Agreement until 2020.

#### Federal – United States Environmental Protection Agency

The United States Environmental Protection Agency (EPA) is responsible for setting and enforcing the National Ambient Air Quality Standards (NAAQS) for atmospheric pollutants. It regulates emission sources that are under the exclusive authority of the federal government, such as aircraft, ships, and certain locomotives. The

National Ambient Air Quality Standards (NAAQS) pollutants were identified using medical evidence and are shown below in Table 3.

The EPA and the California Air Resource Board (CARB) designate air basins where ambient air quality standards are exceeded as “nonattainment” areas. If standards are met, the area is designated as an “attainment” area. If there is inadequate or inconclusive data to make a definitive attainment designation, they are considered “unclassified.” National nonattainment areas are further designated as marginal, moderate, serious, severe, or extreme as a function of deviation from standards. Each standard has a different definition, or ‘form’ of what constitutes attainment, based on specific air quality statistics. For example, the Federal 8-hour CO standard is not to be exceeded more than once per year; therefore, an area is in attainment of the CO standard if no more than one 8-hour ambient air monitoring values exceeds the threshold per year. In contrast, the Federal annual PM<sub>2.5</sub> standard is met if the three-year average of the annual average PM<sub>2.5</sub> concentration is less than or equal to the standard. Attainment status is shown in Table 4.

As part of its enforcement responsibilities, the EPA requires each state with federal nonattainment areas to prepare and submit a State Implementation Plan (SIP) that demonstrates the means to attain the national standards. The State Implementation Plan (SIP) must integrate federal, state, and local components and regulations to identify specific measures to reduce pollution, using a combination of performance standards and market-based programs within the timeframe identified in the State Implementation Plan (SIP).

As indicated below in Table 4, the Basin has been designated by the EPA as a non-attainment area for ozone (O<sub>3</sub>) and suspended particulates (PM<sub>10</sub> and PM<sub>2.5</sub>). Currently, the Basin is in attainment with the ambient air quality standards for carbon monoxide (CO), lead, sulfur dioxide (SO<sub>2</sub>), suspended particulate matter (PM-2.5), and nitrogen dioxide (NO<sub>2</sub>).

In *Massachusetts v. Environmental Protection Agency* (Docket No. 05–1120), argued November 29, 2006 and decided April 2, 2007, the U.S. Supreme Court held that not only did the EPA have authority to regulate greenhouse gases, but the EPA's reasons for not regulating this area did not fit the statutory requirements. As such, the U.S. Supreme Court ruled that the EPA should be required to regulate CO<sub>2</sub> and other greenhouse gases as pollutants under the federal Clean Air Act (CAA).

In response to the FY2008 Consolidations Appropriations Act (H.R. 2764; Public Law 110-161), EPA proposed a rule on March 10, 2009 that requires mandatory reporting of GHG emissions from large sources in the United States. On September 22, 2009, the Final Mandatory Reporting of GHG Rule was signed and published in the Federal Register on October 30, 2009. The rule became effective on December 29, 2009. This rule requires suppliers of fossil fuels or industrial GHGs, manufacturers of vehicles and engines, and facilities that emit 25,000 metric tons or more per year of GHG emissions to submit annual reports to EPA.

On December 7, 2009, the EPA Administrator signed two distinct findings under section 202(a) of the Clean Air Act. One is an endangerment finding that finds concentrations of the six GHGs in the atmosphere threaten the public health and welfare of current and future generations. The other is a cause or contribute finding, that finds emissions from new motor vehicles and new motor vehicle engines contribute to the GHG pollution which threatens public health and welfare. These actions will not themselves impose any requirements on industry or other entities. However, it is a prerequisite to finalizing the EPA's proposed GHG emission standards for light-duty vehicles, which were jointly proposed by the EPA and Department of Transportation on September 15, 2009.

On March 19, 2015, the Whitehouse announced that President Obama will issue an Executive Order that will cut the Federal Government's greenhouse gas (GHG) emissions 40 percent over the next decade from 2008 levels -- saving taxpayers up to \$18 billion in avoided energy costs -- and increase the share of electricity the Federal Government consumes from renewable sources to 30 percent. Complementing this effort, several major Federal suppliers are announcing commitments to cut their own GHG emissions. The Administration hosted a roundtable that brought some of these large Federal suppliers together to discuss the benefits of

their GHG reduction targets or to make their first-ever corporate commitments to disclose emissions and set new reduction goals.

Together, the combined results of the Federal Government actions and new supplier commitments will reduce GHG emissions by 26 million metric tons by 2025 from 2008 levels, the equivalent of taking nearly 5.5 million cars off the road for a year. And to encourage continued progress across the Federal supply chain, the Administration is releasing a new scorecard to publicly track self-reported emissions disclosure and progress for all major Federal suppliers, who together represent more than \$187 billion in Federal spending and account for more than 40 percent of all Federal contract dollars.

Since the Federal Government is the single largest consumer of energy in the Nation, Federal emissions reductions and progress across the supply chain will have broad impacts. The new commitments announced today support the United States' international commitment to cut net GHG emissions 26-28 percent below 2005 levels by 2025, which President Obama first announced in November 2014 as part of an historic agreement with China. Additionally, the goals build on the strong progress made by Federal agencies during the first six years of the Administration under President Obama's 2009 Executive Order on Federal Leadership on Environmental, Energy and Economic Performance, including reducing Federal GHG emissions by 17 percent – which helped Federal agencies avoid \$1.8 billion in cumulative energy costs – and increasing the share of renewable energy consumption to 9 percent.<sup>2</sup>

#### State – California Air Resources Board

The California Air Resources Board (CARB), which is a part of the California Environmental Protection Agency, is responsible for the coordination and administration of both federal and state air pollution control programs within California. In this capacity, the CARB conducts research, sets the California Ambient Air Quality Standards (CAAQS), compiles emission inventories, develops suggested control measures, provides oversight of local programs, and prepares the State Implementation Plan (SIP). The California Ambient Air Quality Standards (CAAQS) for criteria pollutants are shown in Table 3. In addition, the CARB establishes emission standards for motor vehicles sold in California, consumer products (e.g., hairspray, aerosol paints, and barbecue lighter fluid), and various types of commercial equipment. It also sets fuel specifications to further reduce vehicular emissions.

The South Coast Air Basin has been designated by the CARB as a nonattainment area for ozone, PM10 and PM2.5. Currently, the South Coast Air Basin is in attainment with the ambient air quality standards for CO, lead, SO<sub>2</sub>, NO<sub>2</sub>, and sulfates and is unclassified for visibility reducing particles and Hydrogen Sulfide.

On June 20, 2002, the CARB revised the PM10 annual average standard to 20 µg/m<sup>3</sup> and established an annual average standard for PM2.5 of 12 µg/m<sup>3</sup>. These standards were approved by the Office of Administrative Law in June 2003 and are now effective. On September 27, 2007 CARB approved the South Coast Air Basin and the Coachella Valley 2007 Air Quality Management Plan for Attaining the Federal 8-hour Ozone and PM2.5 Standards. The plan projects attainment for the 8-hour Ozone standard by 2024 and the PM2.5 standard by 2015.

On December 12, 2008 the CARB adopted Resolution 08-43, which limits NO<sub>x</sub>, PM10 and PM2.5 emissions from on-road diesel truck fleets that operate in California. On October 12, 2009 Executive Order R-09-010 was adopted that codified Resolution 08-43 into Section 2025, Title 13 of the California Code of Regulations. This regulation requires that by the year 2023 all commercial diesel trucks that operate in California shall meet model year 2010 (Tier 4) or latter emission standards. In the interim period, this regulation provides annual interim targets for fleet owners to meet. This regulation also provides a few exemptions including a onetime per year 3-day pass for trucks registered outside of California.

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<sup>2</sup> Source: <https://www.whitehouse.gov/the-press-office/2015/03/19/fact-sheet-reducing-greenhouse-gas-emissions-federal-government-and-acro>.



The CARB is also responsible for regulations pertaining to toxic air contaminants. The Air Toxics “Hot Spots” Information and Assessment Act (AB 2588, 1987, Connelly) was enacted in 1987 as a means to establish a formal air toxics emission inventory risk quantification program. AB 2588, as amended, establishes a process that requires stationary sources to report the type and quantities of certain substances their facilities routinely release into the South Coast Air Basin. The data is ranked by high, intermediate, and low categories, which are determined by: the potency, toxicity, quantity, volume, and proximity of the facility to nearby receptors.

The State currently has no regulations that establish ambient air quality standards for GHGs. However, the State has passed laws directing CARB to develop actions to reduce GHG emissions, which are listed below.

#### *Assembly Bill 1493*

California Assembly Bill 1493 enacted on July 22, 2002, required CARB to develop and adopt regulations that reduce GHGs emitted by passenger vehicles and light duty trucks. In 2005, the CARB submitted a “waiver” request to the EPA from a portion of the federal Clean Air Act in order to allow the State to set more stringent tailpipe emission standards for CO<sub>2</sub> and other GHG emissions from passenger vehicles and light duty trucks. On December 19, 2007 the EPA announced that it denied the “waiver” request. On January 21, 2009, CARB submitted a letter to the EPA administrator regarding the State’s request to reconsider the waiver denial. The EPA approved the waiver on June 30, 2009.

#### *Executive Order S-3-05*

The California Governor issued Executive Order S-3-05, GHG Emission, in June 2005, which established the following reduction targets:

- 2010: Reduce greenhouse gas emissions to 2000 levels
- 2020: Reduce greenhouse gas emissions to 1990 levels
- 2050: Reduce greenhouse gas emissions to 80 percent below 1990 levels.

The executive order directed the secretary of the California Environmental Protection Agency (CalEPA) to coordinate a multi-agency effort to reduce GHG emissions to the target levels. To comply with the Executive Order, the secretary of CalEPA created the California Climate Action Team (CAT), made up of members from various state agencies and commissions. The team released its first report in March 2006. The report proposed to achieve the targets by building on the voluntary actions of businesses, local governments, and communities and through State incentive and regulatory programs.

#### *Assembly Bill 32*

In 2006, the California State Legislature adopted Assembly Bill 32 (AB 32), the California Global Warming Solutions Act of 2006. AB 32 requires CARB, to adopt rules and regulations that would achieve GHG emissions equivalent to statewide levels in 1990 by 2020 through an enforceable statewide emission cap which will be phased in starting in 2012. Emission reductions shall include carbon sequestration projects that would remove carbon from the atmosphere and best management practices that are technologically feasible and cost effective.

On December 6, 2007 CARB released the calculated Year 1990 GHG emissions of 427 million metric tons of CO<sub>2</sub>e (MMTCO<sub>2</sub>e). The 2020 target of 427 MMTCO<sub>2</sub>e requires the reduction of 169 MMTCO<sub>2</sub>e, or approximately 30 percent from the State’s projected 2020 business as usual emissions of 596 MMTCO<sub>2</sub>e and the reduction of 42 MMTCO<sub>2</sub>e, or almost 10 percent from the 2002-2004 average GHG emissions. Under AB 32, CARB was required to adopt regulations by January 1, 2011 to achieve reductions in GHGs to meet the 1990 cap by 2020. Early measures CARB took to lower GHG emissions included requiring operators of the largest industrial facilities that emit 25,000 metric tons of CO<sub>2</sub> in a calendar year to submit verification of GHG emissions by December 1, 2010. The CARB Board also approved nine discrete early action measures

that include regulations affecting landfills, motor vehicle fuels, refrigerants in cars, port operations and other sources that became enforceable on or before January 1, 2010.

On December 11, 2008 the CARB Board approved a Scoping Plan, with final adoption May 11, 2009 that proposed a variety of measures including direct regulations, alternative compliance mechanisms, monetary and non-monetary incentives, voluntary actions, a market-based cap-and-trade system, and a fee regulation to fund the program. In current pending litigation, *Association of Irrigated Residents v. California Air Resources Board*, a California State trial court found that the analysis of the alternatives identified in the AB 32 Scoping Plan Functional Equivalent Document (FED) was not sufficient for informed decision-making and public review under CEQA. In response, CARB has appealed the decision. In addition, CARB prepared the *Supplement to the AB 32 Scoping Plan Functional Equivalent Document* (June 13, 2011). On August 24, 2011 CARB recertified the complete AB 32 Scoping Plan Functional Equivalent Environmental Document revised by the Final Supplement. In December, 2011 the Final Supplement was accepted as sufficient to fulfill the trial court's March order.

While local government operations were not accounted for in achieving the 2020 emissions reduction, local land use changes are estimated to result in a reduction of 5 million metric tons of CO<sub>2</sub>e, which is approximately 3 percent of the 2020 GHG emissions reduction goal. In recognition of the critical role local governments will play in successful implementation of AB 32, CARB is recommending GHG reduction goals of 15 percent of 2010 levels by 2020 to ensure that municipal and community-wide emissions match the state's reduction target. According to the Measure Documentation Supplement to the Scoping Plan, local government actions and targets are anticipated to reduce vehicle miles by approximately 2 percent through land use planning, resulting in a potential GHG reduction of 2 million metric tons of CO<sub>2</sub>e (or approximately 1.2 percent of the GHG reduction target).

In May 2014, CARB released its *First Update to the Climate Change Scoping Plan* (CARB 2014). This *Update* identifies the next steps for California's leadership on climate change. While California continues on its path to meet the near-term 2020 greenhouse gas limit, it must also set a clear path toward long-term, deep GHG emission reductions. This report highlights California's success to date in reducing its GHG emissions and lays the foundation for establishing a broad framework for continued emission reductions beyond 2020, on the path to 80 percent below 1990 levels by 2050.

On January 20, 2017, CARB announced its release of a proposed plan to reduce greenhouse gas emissions by 40 percent below 1990 levels by 2030 – the most ambitious target in North America. The plan builds on the state's successful efforts to reduce emissions and outlines the most effective ways to reach the 2030 goal, including continuing California's Cap-and-Trade Program. The Final 2017 Scoping Plan Update was released in late March and was approved by CARB on December 14, 2017. Implementing this Scoping Plan will ensure that California's climate actions continue to promote innovation, drive the generation of new jobs, and achieve continued reductions of smog and air toxics. The ambitious approach draws on a decade of successful programs that address the major sources of climate-changing gases in every sector of the economy:

- **More Clean Cars and Trucks:** The plan sets out far-reaching programs to incentivize the sale of millions of zero-emission vehicles, drive the deployment of zero-emission trucks, and shift to a cleaner system of handling freight statewide.
- **Increased Renewable Energy:** California's electric utilities are ahead of schedule meeting the requirement that 33 percent of electricity come from renewable sources by 2020. The Scoping Plan guides utilities to 50 percent renewables, as required under SB 350.
- **Slashing Super-Pollutants:** The plan calls for a significant cut in super-pollutants such as methane and HFC refrigerants, which are responsible for as much as 40 percent of global warming.
- **Cleaner Industry and Electricity:** California's renewed cap-and-trade program extends the declining cap on emissions from utilities and industries and the carbon allowance auctions. The auctions will continue to fund investments in clean energy and efficiency, particularly in disadvantaged communities.

- **Cleaner Fuels:** The Low Carbon Fuel Standard will drive further development of cleaner, renewable transportation fuels to replace fossil fuels.
- **Smart Community Planning:** Local communities will continue developing plans which will further link transportation and housing policies to create sustainable communities.
- **Improved Agriculture and Forests:** The Scoping Plan also outlines innovative programs to account for and reduce emissions from agriculture, as well as forests and other natural lands.

The 2017 Scoping Plan also evaluates reductions of smog-causing pollutants through California’s climate programs.

*SB 32, Pavley. California Global Warming Solutions Act of 2006*

- (1) The California Global Warming Solutions Act of 2006 designates the State Air Resources Board as the state agency charged with monitoring and regulating sources of emissions of greenhouse gases. The state board is required to approve a statewide greenhouse gas emissions limit equivalent to the statewide greenhouse gas emissions level in 1990 to be achieved by 2020 and to adopt rules and regulations in an open public process to achieve the maximum, technologically feasible, and cost-effective greenhouse gas emissions reductions. This bill would require the state board to ensure that statewide greenhouse gas emissions are reduced to 40% below the 1990 level by 2030.
- (2) This bill would become operative only if AB 197 of the 2015–16 Regular Session is enacted and becomes effective on or before January 1, 2017. AB 197 requires that the California Air Resources Board, which directs implementation of emission-reduction programs, should target direct reductions at both stationary and mobile sources.

*Senate Bill 1368*

Senate Bill 1368 (SB 1368) is the companion Bill of AB 32 and was adopted September, 2006. SB 1368 requires the California Public Utilities Commission (CPUC) to establish a performance standard for baseload generation of GHG emissions by investor-owned utilities by February 1, 2007 and for local publicly owned utilities by June 30, 2007. These standards could not exceed the GHG emissions rate from a baseload combined-cycle, natural gas-fired plant. Furthermore, the legislation states that all electricity provided to the State, including imported electricity, must be generated by plants that meet the standards set by California Public Utilities Commission (CPUC) and California Energy Commission (CEC).

*Executive Order S-1-07*

Executive Order S-1-07 was issued in 2007 and proclaims that the transportation sector is the main source of GHG emissions in the State, since it generates more than 40 percent of the State’s GHG emissions. It establishes a goal to reduce the carbon intensity of transportation fuels sold in the State by at least ten percent by 2020. This Order also directs CARB to determine whether this Low Carbon Fuel Standard (LCFS) could be adopted as a discrete early-action measure as part of the effort to meet the mandates in AB 32.

On April 23, 2009 CARB approved the proposed regulation to implement the low carbon fuel standard. The low carbon fuel standard is anticipated to reduce GHG emissions by about 16 MMT per year by 2020. The low carbon fuel standard is designed to provide a framework that uses market mechanisms to spur the steady introduction of lower carbon fuels. The framework establishes performance standards that fuel producers and importers must meet each year beginning in 2011. Separate standards are established for gasoline and diesel fuels and the alternative fuels that can replace each. The standards are “back-loaded”, with more reductions required in the last five years, than during the first five years. This schedule allows for the development of advanced fuels that are lower in carbon than today’s fuels and the market penetration of plug-in hybrid electric vehicles, battery electric vehicles, fuel cell vehicles, and flexible fuel vehicles. It is anticipated that compliance with the low carbon fuel standard will be based on a combination of both lower carbon fuels and more efficient vehicles.

Reformulated gasoline mixed with corn-derived ethanol at ten percent by volume and low sulfur diesel fuel represent the baseline fuels. Lower carbon fuels may be ethanol, biodiesel, renewable diesel, or blends of these fuels with gasoline or diesel as appropriate. Compressed natural gas and liquefied natural gas also may be low carbon fuels. Hydrogen and electricity, when used in fuel cells or electric vehicles are also considered as low carbon fuels for the low carbon fuel standard.

#### *Senate Bill 97*

Senate Bill 97 (SB 97) was adopted August 2007 and acknowledges that climate change is a prominent environmental issue that requires analysis under CEQA. SB 97 directed the Governor's Office of Planning and Research (OPR), which is part of the State Natural Resources Agency, to prepare, develop, and transmit to CARB guidelines for the feasible mitigation of GHG emissions or the effects of GHG emissions, as required by CEQA, by July 1, 2009. The Natural Resources Agency was required to certify and adopt those guidelines by January 1, 2010.

Pursuant to the requirements of SB 97 as stated above, on December 30, 2009 the Natural Resources Agency adopted amendments to the state CEQA guidelines that address GHG emissions. The CEQA Guidelines Amendments changed 14 sections of the CEQA Guidelines and incorporate GHG language throughout the Guidelines. However, no GHG emissions thresholds of significance were provided and no specific mitigation measures were identified. The GHG emission reduction amendments went into effect on March 18, 2010 and are summarized below:

- Climate action plans and other greenhouse gas reduction plans can be used to determine whether a project has significant impacts, based upon its compliance with the plan.
- Local governments are encouraged to quantify the greenhouse gas emissions of proposed projects, noting that they have the freedom to select the models and methodologies that best meet their needs and circumstances. The section also recommends consideration of several qualitative factors that may be used in the determination of significance, such as the extent to which the given project complies with state, regional, or local GHG reduction plans and policies. OPR does not set or dictate specific thresholds of significance. Consistent with existing CEQA Guidelines, OPR encourages local governments to develop and publish their own thresholds of significance for GHG impacts assessment.
- When creating their own thresholds of significance, local governments may consider the thresholds of significance adopted or recommended by other public agencies, or recommended by experts.
- New amendments include guidelines for determining methods to mitigate the effects of greenhouse gas emissions in Appendix F of the CEQA Guidelines.
- OPR is clear to state that "to qualify as mitigation, specific measures from an existing plan must be identified and incorporated into the project; general compliance with a plan, by itself, is not mitigation".
- OPR's emphasizes the advantages of analyzing GHG impacts on an institutional, programmatic level. OPR therefore approves tiering of environmental analyses and highlights some benefits of such an approach.
- Environmental impact reports (EIRs) must specifically consider a project's energy use and energy efficiency potential.

#### *Senate Bills 1078, 107, and X1-2 and Executive Orders S-14-08 and S-21-09*

Senate Bill 1078 (SB 1078) requires retail sellers of electricity, including investor-owned utilities and community choice aggregators, to provide at least 20 percent of their supply from renewable sources by 2017. Senate Bill 107 (SB 107) changed the target date to 2010. Executive Order S-14-08 was signed on November 2008 and expands the State's Renewable Energy Standard to 33 percent renewable energy by 2020. Executive Order S-21-09 directed CARB to adopt regulations by July 31, 2010 to enforce S-14-08. Senate Bill X1-2 codifies the 33 percent renewable energy requirement by 2020.

### *Senate Bill 375*

Senate Bill 375 (SB 375) was adopted September 2008 and aligns regional transportation planning efforts, regional GHG emission reduction targets, and land use and housing allocation. SB 375 requires Metropolitan Planning Organizations (MPO) to adopt a sustainable communities strategy (SCS) or alternate planning strategy (APS) that will prescribe land use allocation in that MPOs Regional Transportation Plan (RTP). CARB, in consultation with each MPO, will provide each affected region with reduction targets for GHGs emitted by passenger cars and light trucks in the region for the years 2020 and 2035. These reduction targets will be updated every eight years but can be updated every four years if advancements in emissions technologies affect the reduction strategies to achieve the targets. CARB is also charged with reviewing each MPO's sustainable communities strategy or alternate planning strategy for consistency with its assigned targets.

The proposed project is located within the Southern California Association of Governments (SCAG) jurisdiction, which has authority to develop the SCS or APS. For the SCAG region, the targets set by CARB are at eight percent below 2005 per capita GHG emissions levels by 2020 and 19 percent below 2005 per capita GHG emissions levels by 2035. These reduction targets became effective October 2018.

### *Senate Bill X7-7*

Senate Bill X7-7 (SB X7-7), enacted on November 9, 2009, mandates water conservation targets and efficiency improvements for urban and agricultural water suppliers. SB X7-7 requires the Department of Water Resources (DWR) to develop a task force and technical panel to develop alternative best management practices for the water sector. In addition SB X7-7 required the DWR to develop criteria for baseline uses for residential, commercial, and industrial uses for both indoor and landscaped area uses. The DWR was also required to develop targets and regulations that achieve a statewide 20 percent reduction in water usage.

### *Assembly Bill 939 and Senate Bill 1374*

Assembly Bill 939 (AB 939) requires that each jurisdiction in California to divert at least 50 percent of its waste away from landfills, whether through waste reduction, recycling or other means. Senate Bill 1374 (SB 1374) requires the California Integrated Waste Management Board to adopt a model ordinance by March 1, 2004 suitable for adoption by any local agency to require 50 to 75 percent diversion of construction and demolition of waste materials from landfills.

### *California Code of Regulations (CCR) Title 24, Part 6*

CCR Title 24, Part 6: California's Energy Efficiency Standards for Residential and Nonresidential Buildings (Title 24) were first established in 1978 in response to a legislative mandate to reduce California's energy consumption. The standards are updated periodically to allow consideration and possible incorporation of new energy efficiency technologies and methods. Although it was not originally intended to reduce GHG emissions, electricity production by fossil fuels results in GHG emissions and energy efficient buildings require less electricity. Therefore, increased energy efficiency results in decreased GHG emissions.

The Energy Commission adopted 2008 Standards on April 23, 2008 and Building Standards Commission approved them for publication on September 11, 2008. These updates became effective on August 1, 2009. CalEEMod modeling defaults to 2008 standards. 2013 Standards have been approved and are effective July 1, 2014.

### *California Code of Regulations (CCR) Title 24, Part 11*

CCR Title 24, Part 6: California's Energy Efficiency Standards for Residential and Nonresidential Buildings (Title 24) were first established in 1978 in response to a legislative mandate to reduce California's energy consumption. The standards are updated periodically to allow consideration and possible incorporation of new energy efficiency technologies and methods. Although it was not originally intended to reduce GHG emissions,

electricity production by fossil fuels results in GHG emissions and energy efficient buildings require less electricity. Therefore, increased energy efficiency results in decreased GHG emissions.

The Energy Commission adopted 2008 Standards on April 23, 2008 and Building Standards Commission approved them for publication on September 11, 2008. These updates became effective on August 1, 2009. 2013 Standards have been approved and were effective July 1, 2014. 2016 Standards were adopted January 1, 2017.

All buildings for which an application for a building permit is submitted on or after January 1, 2017 must follow the 2016 standards. The 2016 residential standards are estimated to be approximately 28 percent more efficient than the 2013 standards. Energy efficient buildings require less electricity; therefore, increased energy efficiency reduces fossil fuel consumption and decreases greenhouse gas emissions.

### *California Green Building Standards*

On January 12, 2010, the State Building Standards Commission unanimously adopted updates to the California Green Building Standards Code, which went into effect on January 1, 2011.

2016 CALGreen Code: During the 2016-2017 fiscal year, the Department of Housing and Community Development (HCD) updated CALGreen through the 2015 Triennial Code Adoption Cycle. HCD adopted three new definitions related to electric vehicle charging regulations. These definitions provided clarity to the code user as to the differences between an electric vehicle charging space and an electric vehicle charging station. HCD replaced the term “electric vehicle charging stations” with “electric vehicle charging spaces” since the term “electric vehicle charging space” better describes a space available for future installation of electric vehicle supply equipment, but with no electric vehicle charger installed.

HCD also increased the required construction waste reduction from 50 percent to 65 percent of the total building site waste. This increase aids in meeting CalRecycle’s statewide solid waste recycling goal of 75 percent for 2020 as stated in Chapter 476, Statutes of 2011 (AB 341). HCD adopted new regulations requiring recycling areas for multifamily projects of five or more dwelling units. This regulation requires developers to provide readily accessible areas adequate in size to accommodate containers for depositing, storage and collection of non-hazardous materials (including organic waste) for recycling. This requirement assists businesses that were required as of April 1, 2016, to meet the requirements of Chapter 727, Statutes of 2014 (AB 1826).

HCD adopted new regulations to require information on photovoltaic systems and electric vehicle chargers to be included in operation and maintenance manuals. Currently, CALGreen section 4.410.1 Item 2(a) requires operation and maintenance instructions for equipment and appliances. Photovoltaic systems and electric vehicle chargers are systems that play an important role in many households in California, and their importance is increasing every day. HCD incorporated these two terms in the existing language in order to provide clarity to code users as to additional systems requiring operation and maintenance instructions.

HCD updated the reference to Clean Air Standards of the United States Environmental Protection Agency applicable to woodstoves and pellet stoves. HCD also adopted a new requirement for woodstoves and pellet stoves to have a permanent label indicating they are certified to meet the emission limits. This requirement provides clarity to the code user and is consistent with the United States Environmental Protection Agency’s New Source Performance Standards. HCD updated the list of standards which can be used for verification of compliance for exterior grade composite wood products. This list now includes four standards from the Canadian Standards Association (CSA): CSA O121, CSA O151, CSA O153 and CSA O325. HCD updated heating and air-conditioning system design references to the ANSI/ACCA 2 Manual J, ANSI/ACCA 1 Manual D, and ANSI/ACCA 3 Manual S to the most recent versions approved by ANSI. HCD adopted a new elective measure for hot water recirculation systems for water conservation. The United States Department of Energy estimates that 3,600 to 12,000 gallons of water per year can be saved by the typical household (with four points of hot water use) if a hot water recirculation system is installed.

### *Executive Order B-30-15*

Executive Order B-30-15, establishing a new interim statewide greenhouse gas emission reduction target to reduce greenhouse gas emissions to 40 percent below 1990 levels by 2030, was signed by Governor Brown in April 2015.

### *Executive Order B-29-15*

Executive Order B-29-15, mandates a statewide 25 percent reduction in potable water usage. EO B-29-15 signed into law on April 1, 2015.

### *Executive Order B-37-16*

Executive Order B-37-16, continuing the State's adopted water reductions, was signed into law on May 9, 2016. The water reductions build off the mandatory 25 percent reduction called for in EO B-29-15.

### *SBX1 2*

Signed into law in April 2011, SBX1 2, requires one-third of the state's electricity to come from renewable sources. The legislation increases California's current 20 percent renewables portfolio standard target in 2010 to a 33 percent renewables portfolio standard by December 31, 2020.

### *Senate Bill 350*

Signed into law October 7, 2015, SB 350 increases California's renewable electricity procurement goal from 33 percent by 2020 to 50 percent by 2030. This will increase the use of Renewables Portfolio Standard (RPS) eligible resources, including solar, wind, biomass, geothermal, and others. In addition, SB 350 requires the state to double statewide energy efficiency savings in electricity and natural gas end uses by 2030. To help ensure these goals are met and the greenhouse gas emission reductions are realized, large utilities will be required to develop and submit Integrated Resource Plans (IRPs). These IRPs will detail how each entity will meet their customers resource needs, reduce greenhouse gas emissions and ramp up the deployment of clean energy resources.

### *AB 617 Nonvehicular air pollution: criteria air pollutants and toxic air contaminants*

This bill requires the state board to develop a uniform statewide system of annual reporting of emissions of criteria air pollutants and toxic air contaminants for use by certain categories of stationary sources. The bill requires those stationary sources to report their annual emissions of criteria air pollutants and toxic air contaminants, as specified. This bill required the state board, by October 1, 2018, to prepare a monitoring plan regarding technologies for monitoring criteria air pollutants and toxic air contaminants and the need for and benefits of additional community air monitoring systems, as defined. The bill requires the state board to select, based on the monitoring plan, the highest priority locations in the state for the deployment of community air monitoring systems. The bill requires an air district containing a selected location, by July 1, 2019, to deploy a system in the selected location. The bill would authorize the air district to require a stationary source that emits air pollutants in, or that materially affect, the selected location to deploy a fence-line monitoring system, as defined, or other specified real-time, on-site monitoring. The bill authorizes the state board, by January 1, 2020, and annually thereafter, to select additional locations for the deployment of the systems. The bill would require air districts that have deployed a system to provide to the state board air quality data produced by the system. By increasing the duties of air districts, this bill would impose a state-mandated local program. The bill requires the state board to publish the data on its Internet Web site.

## REGIONAL

The SCAQMD is the agency principally responsible for comprehensive air pollution control in the South Coast Air Basin. To that end, as a regional agency, the SCAQMD works directly with the Southern California Association of Governments (SCAG), county transportation commissions, and local governments and cooperates actively with all federal and state agencies.

### *South Coast Air Quality Management District*

The SCAQMD develops rules and regulations, establishes permitting requirements for stationary sources, inspects emission sources, and enforces such measures through educational programs or fines, when necessary. The SCAQMD is directly responsible for reducing emissions from stationary, mobile, and indirect sources. It has responded to this requirement by preparing a sequence of AQMPs. On June 30, 2016, the SCAQMD released its Draft 2016 AQMP. The 2016 AQMP is a regional blueprint for achieving the federal air quality standards and healthful air.

The 2016 AQMP includes both stationary and mobile source strategies to ensure that rapidly approaching attainment deadlines are met, that public health is protected to the maximum extent feasible, and that the region is not faced with burdensome sanctions if the Plan is not approved or if the NAAQS are not met on time. As with every AQMP, a comprehensive analysis of emissions, meteorology, atmospheric chemistry, regional growth projections, and the impact of existing control measures is updated with the latest data and methods. The most significant air quality challenge in the Basin is to reduce nitrogen oxide (NO<sub>x</sub>) emissions sufficiently to meet the upcoming ozone standard deadlines. On March 23, 2017 CARB approved the 2016 AQMP. The primary goal of this Air Quality Management Plan is to meet clean air standards and protect public health, including ensuring benefits to environmental justice and disadvantaged communities. Now that the Plan has been approved by CARB, it has been forwarded to the U.S. Environmental Protection Agency for its review. The Plan was approved by the EPA on June 15, 2017.

A revised draft of the 2012 AQMP was released on September, 2012, was adopted by the SCAQMD Board on December 7, 2012, and was adopted by CARB via Resolution 13-3 on January 25, 2013. The 2012 AQMP was prepared in order to meet the federal Clean Air Act requirement that all 24-hour PM<sub>2.5</sub> non-attainment areas prepare a SIP, that were required to be submitted to the U.S. EPA by December 14, 2012 and demonstrate attainment with the 24-hour PM<sub>2.5</sub> standard by 2014. The 2012 AQMP demonstrates attainment of the federal 24-hour PM<sub>2.5</sub> standard by 2014 in the Basin through adoption of all feasible measures, and therefore, no extension of the attainment date is needed. The 2012 AQMP built upon the approaches taken in the 2007 AQMP for the attainment of federal PM and ozone standards, and highlights the significant amount of reductions needed and the need to engage in interagency coordinated planning of mobile sources to meet all of the federal criteria pollutant standards. Compared with the 2007 AQMP, the 2012 AQMP utilizes revised emissions inventory projections that use 2008 as the base year. On-road emissions are calculated using CARB EMFAC2011 emission factors and the transportation activity data provided by SCAG from their 2012 Regional Transportation Plan (2012 RTP). Off-road emissions were updated using CARB's 2011 In-Use Off-Road Fleet Inventory Model. Since the 2007 AQMP was finalized new area source categories such as liquid propane gas (LPG) transmission losses, storage tank and pipeline cleaning and degassing, and architectural colorants, were created and included in the emissions inventories. The 2012 AQMP also includes analysis of several additional sources of GHG emissions such as landfills and could also assist in reaching the GHG target goals in the AB32 Scoping Plan.

During construction and operation, the project must comply with applicable rules and regulations. The following are rules the project may be required to comply with, either directly, or indirectly:

### **SCAQMD Rule 402**

Prohibits a person from discharging from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to



the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.

### SCAQMD Rule 403

Governs emissions of fugitive dust during construction and operation activities. Compliance with this rule is achieved through application of standard Best Management Practices, such as application of water or chemical stabilizers to disturbed soils, covering haul vehicles, restricting vehicle speeds on unpaved roads to 15 miles per hour, sweeping loose dirt from paved site access roadways, cessation of construction activity when winds exceed 25 mph, and establishing a permanent ground cover on finished sites.

Rule 403 requires that fugitive dust be controlled with best available control measures so that the presence of such dust does not remain visible in the atmosphere beyond the property line of the emission source. In addition, SCAQMD Rule 403 requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. Applicable dust suppression techniques from Rule 403 are summarized below. Implementation of these dust suppression techniques can reduce the fugitive dust generation (and thus the PM<sub>10</sub> component). Compliance with these rules would reduce impacts on nearby sensitive receptors. Rule 403 measures may include but are not limited to the following:

- Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).
- Water active sites at least three times daily. (Locations where grading is to occur will be thoroughly watered prior to earthmoving.)
- Cover all trucks hauling dirt, sand, soil, or other loose materials, or maintain at least 0.6 meters (2 feet) of freeboard (vertical space between the top of the load and top of the trailer) in accordance with the requirements of California Vehicle Code section 23114.
- Reduce traffic speeds on all unpaved roads to 15 miles per hour (mph) or less.
- Suspension of all grading activities when wind speeds (including instantaneous wind gusts) exceed 25 mph.
- Bumper strips or similar best management practices shall be provided where vehicles enter and exit the construction site onto paved roads or wash off trucks and any equipment leaving the site each trip.
- Replanting disturbed areas as soon as practical.
- During all construction activities, construction contractors shall sweep on-site and off-site streets if silt is carried to adjacent public thoroughfares, to reduce the amount of particulate matter on public streets. All sweepers shall be compliant with SCAQMD Rule 1186.1, Less Polluting Sweepers.

### SCAQMD Rule 445

Prohibits permanently installed wood burning devices into any new development. A wood burning device means any fireplace, wood burning heater, or pellet-fueled wood heater, or any similarly enclosed, permanently installed, indoor or outdoor device burning any solid fuel for aesthetic or space-heating purposes, which has a heat input of less than one million British thermal units per hour.

### SCAQMD Rule 481

Applies to all spray painting and spray coating operations and equipment. The rule states that a person shall not use or operate any spray painting or spray coating equipment unless one of the following conditions is met:

- (1) The spray coating equipment is operated inside a control enclosure, which is approved by the Executive Officer. Any control enclosure for which an application for permit for new construction, alteration, or change of ownership or location is submitted after the date of adoption of this rule shall be exhausted only through filters at a design face velocity not less than 100 feet per minute nor greater than 300 feet

per minute, or through a water wash system designed to be equally effective for the purpose of air pollution control.

- (2) Coatings are applied with high-volume low-pressure, electrostatic and/or airless spray equipment.
- (3) An alternative method of coating application or control is used which has effectiveness equal to or greater than the equipment specified in the rule.

#### **SCAQMD Rule 1108**

Governs the sale, use, and manufacturing of asphalt and limits the volatile organic compound (VOC) content in asphalt used in the South Coast Air Basin. This rule would regulate the VOC content of asphalt used during construction. Therefore, all asphalt used during construction of the project must comply with SCAQMD Rule 1108.

#### **SCAQMD Rule 1113**

Governs the sale, use, and manufacturing of architectural coating and limits the VOC content in paints and paint solvents. This rule regulates the VOC content of paints available during construction. Therefore, all paints and solvents used during construction and operation of the project must comply with SCAQMD Rule 1113.

#### **SCAQMD Rule 1143**

Governs the manufacture, sale, and use of paint thinners and solvents used in thinning of coating materials, cleaning of coating application equipment, and other solvent cleaning operations by limiting their VOC content. This rule regulates the VOC content of solvents used during construction. Solvents used during the construction phase must comply with this rule.

#### **SCAQMD Rule 1186**

Limits the presence of fugitive dust on paved and unpaved roads and sets certification protocols and requirements for street sweepers that are under contract to provide sweeping services to any federal, state, county, agency or special district such as water, air, sanitation, transit, or school district.

#### **SCAQMD Rule 1303**

Governs the permitting of re-located or new major emission sources, requiring Best Available Control Measures and setting significance limits for PM<sub>10</sub> among other pollutants.

#### **SCAQMD Rule 1401**

New Source Review of Toxic Air Contaminants, specifies limits for maximum individual cancer risk, cancer burden, and non-cancer acute and chronic hazard index from new permit units, relocations, or modifications to existing permit units, which emit toxic air contaminants.

#### **SCAQMD Rule 1403**

Asbestos Emissions from Demolition/Renovation Activities, specifies work practice requirements to limit asbestos emissions from building demolition and renovation activities, including the removal and associated disturbance of asbestos-containing materials (ACM).

#### **SCAQMD Rule 2202**

On-Road Motor Vehicle Mitigation Options, is to provide employers with a menu of options to reduce mobile source emissions generated from employee commutes, to comply with federal and state Clean Air Act

requirements, Health & Safety Code Section 40458, and Section 182(d)(1)(B) of the federal Clean Air Act. It applies to any employer who employs 250 or more employees on a full or part-time basis at a worksite for a consecutive six-month period calculated as a monthly average.

In order to assist local agencies with direction on GHG emissions, the SCAQMD organized a working group and adopted Rules 2700, 2701, 2702, and 3002 which are described below.

### **Rules 2700 and 2701**

The SCAQMD adopted Rules 2700 and 2701 on December 5, 2008, which establishes the administrative structure for a voluntary program designed to quantify GHG emission reductions. Rule 2700 establishes definitions for the various terms used in Regulation XXVII – Global Climate Change. Rule 2701 provides specific protocols for private parties to follow to generate certified GHG emission reductions for projects within the district. Approved protocols include forest projects, urban tree planting, and manure management. The SCAQMD is currently developing additional protocols for other reduction measures. For a GHG emission reduction project to qualify, it must be verified and certified by the SCAQMD Executive Officer, who has 60 days to approve or deny the Plan to reduce GHG emissions. Upon approval of the Plan, the Executive Officer issues required to issue a certified receipt of the GHG emission reductions within 90 days.

### **Rule 2702**

The SCAQMD adopted Rule 2702 on February 6, 2009, which establishes a voluntary air quality investment program from which SCAQMD can collect funds from parties that desire certified GHG emission reductions, pool those funds, and use them to purchase or fund GHG emission reduction projects within two years, unless extended by the Governing Board. Priority will be given to projects that result in co-benefit emission reductions of GHG emissions and criteria or toxic air pollutants within environmental justice areas. Further, this voluntary program may compete with the cap-and-trade program identified for implementation in CARB's Scoping Plan, or a Federal cap and trade program.

### **Rule 3002**

The SCAQMD amended Rule 3002 on November 5, 2010 to include facilities that emit greater than 100,000 tons per year of CO<sub>2</sub>e are required to apply for a Title V permit by July 1, 2011. A Title V permit is for facilities that are considered major sources of emissions.

Although the SCAQMD is responsible for regional air quality planning efforts, it does not have the authority to directly regulate air quality issues associated with plans and new development projects throughout the South Coast Air Basin. Instead, this is controlled through local jurisdictions in accordance with the California Environmental Quality Act (CEQA). In order to assist local jurisdictions with air quality compliance issues the [CEQA Air Quality Handbook \(SCAQMD CEQA Handbook\)](http://www.aqmd.gov/ceqa/hdbk.html) prepared by the SCAQMD (1993) with the most current updates found at <http://www.aqmd.gov/ceqa/hdbk.html>, was developed in accordance with the projections and programs of the AQMP. The purpose of the SCAQMD CEQA Handbook is to assist Lead Agencies, as well as consultants, project proponents, and other interested parties in evaluating a proposed project's potential air quality impacts. Specifically, the SCAQMD CEQA Handbook explains the procedures that the SCAQMD recommends be followed for the environmental review process required by CEQA. The SCAQMD CEQA Handbook provides direction on how to evaluate potential air quality impacts, how to determine whether these impacts are significant, and how to mitigate these impacts. SCAQMD is in the process of developing an "Air Quality Analysis Guidance Handbook" to replace the CEQA Air Quality Handbook approved by the AQMD Governing Board in 1993. The 1993 CEQA Air Quality Handbook is still available but not online. In addition, there are sections of the 1993 Handbook that are obsolete. In order to assist the CEQA practitioner in conducting an air quality analysis while the new Handbook is being prepared,

supplemental information regarding: significance thresholds and analysis, emissions factors, cumulative impacts emissions analysis, and other useful subjects, are available at the SCAQMD website<sup>3</sup>.

### SCAQMD Working Group

Since neither CARB nor the OPR has developed GHG emissions threshold, the SCAQMD formed a Working Group to develop significance thresholds related to GHG emissions. At the September 28, 2010 Working Group meeting, the SCAQMD released its most current version of the draft GHG emissions thresholds, which recommends a tiered approach that provides a quantitative annual thresholds of 10,000 MTCO<sub>2e</sub> for industrial uses.

### *Southern California Association of Governments*

The SCAG is the regional planning agency for Los Angeles, Orange, Ventura, Riverside, San Bernardino and Imperial Counties and addresses regional issues relating to transportation, the economy, community development and the environment. SCAG is the Federally designated MPO for the majority of the southern California region and is the largest MPO in the nation. With respect to air quality planning, SCAG has prepared the Regional Transportation Plan and Regional Transportation Improvement Plan (RTIP), which addresses regional development and growth forecasts. These plans form the basis for the land use and transportation components of the AQMP, which are utilized in the preparation of air quality forecasts and in the consistency analysis included in the AQMP. The Regional Transportation Plan, Regional Transportation Improvement Plan, and AQMP are based on projections originating within the City and County General Plans.

On April 7, 2016, SCAG's Regional Council adopted the 2016-2040 Regional Transportation Plan/ Sustainable Communities Strategy (2016 RTP/SCS or Plan). The Plan is a long-range visioning plan that balances future mobility and housing needs with economic, environmental and public health goals. The Plan charts a course for closely integrating land use and transportation – so that the region can grow smartly and sustainably. It outlines more than \$556.5 billion in transportation system investments through 2040. The Plan was prepared through a collaborative, continuous, and comprehensive process with input from local governments, county transportation commissions, tribal governments, non-profit organizations, businesses and local stakeholders within the counties of Imperial, Los Angeles, Orange, Riverside, San Bernardino and Ventura. In June 2016, SCAG received its conformity determination from the Federal Highway Administration (FHWA) and the Federal Transit Administration (FTA) indicating that all air quality conformity requirements for the 2016 RTP/SCS and associated 2015 FTIP Consistency Amendment through Amendment 15-12 have been met.

### Local – City of Costa Mesa

Local jurisdictions, such as the City of Costa Mesa, have the authority and responsibility to reduce air pollution through its police power and decision-making authority. Specifically, the City is responsible for the assessment and mitigation of air emissions resulting from its land use decisions. The City is also responsible for the implementation of transportation control measures as outlined in the 2016 AQMP. Examples of such measures include bus turnouts, energy-efficient streetlights, and synchronized traffic signals. In accordance with CEQA requirements and the CEQA review process, the City assesses the air quality impacts of new development projects, requires mitigation of potentially significant air quality impacts by conditioning discretionary permits, and monitors and enforces implementation of such mitigation.

The City relies on the expertise of the SCAQMD and utilizes the SCAQMD CEQA Air Quality Handbook as the guidance document for the environmental review of plans and development proposals within its jurisdiction.

The City of Costa Mesa 2015-2035 General Plan Conservation Element contains the following air quality-related goals, objectives, and policies that are applicable to the proposed project:

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<sup>3</sup> <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook>.

**Goal CON-4** Improved Air Quality: Take steps to improve and maintain air quality for the benefit of the health and vitality of residents and the local economy. In alignment with State emissions reduction goals and in cooperation with the South Coast Air Quality Management District, pursue regional collaboration to reduce emissions from all sources.

Objective CON-4.A Pursue the prevention of the significant deterioration of local and regional air quality.

### Air Quality

*Policy Con-4.A.1* Support regional policies and efforts that improve air quality to protect human and environmental health, and minimize disproportionate impacts on sensitive population groups.

*Policy CON-4.A.2* Encourage businesses, industries and residents to reduce the impact of direct, indirect, and cumulative impacts of stationary and non-stationary pollution sources.

*Policy CON-4.A.3* Require that sensitive uses such as schools, childcare centers, parks and playgrounds, housing, and community gathering places are protected from adverse impacts of emissions.

*Policy CON-4.A.4* Continue to participate in regional planning efforts with the Southern California Association of Governments, nearby jurisdictions, and the South Coast Air Quality Management District to meet or exceed air quality standards.

### Climate Change

*Policy CON-4.A.5* Encourage compact development, infill development, and a mix of uses that are in proximity to transit, pedestrian, and bicycling infrastructures.

*Policy CON-4.A.46* Enhance bicycling and walking infrastructure, and support public bus service, pursuant to the Circulation Element's goals, objectives, and policies.

*Policy CON-4.A.7* Encourage installation of renewable energy devices for businesses and facilities and strive to reduce communitywide energy consumption.

*Policy CON-4.A.8* Develop long-term, community-wide strategies and programs that work at the local level to reduce greenhouse gases and Costa Mesa's "carbon footprint".

## MONITORED AIR QUALITY

The air quality at any site is dependent on the regional air quality and local pollutant sources. Regional air quality is determined by the release of pollutants throughout the air basin. Estimates of the existing emissions in the Basin provided in the Final 2016 Air Quality Management Plan prepared by SCAQMD (March 2017) indicate that collectively, mobile sources account for 60 percent of the VOC, 90 percent of the NO<sub>x</sub> emissions, 95 percent of the CO emissions and 34 percent of directly emitted PM<sub>2.5</sub>, with another 13 percent of PM<sub>2.5</sub> from road dust.

The EPA and the ARB designate air basins where ambient air quality standards are exceeded as "nonattainment" areas. If standards are met, the area is designated as an "attainment" area. If there is inadequate or inconclusive data to make a definitive attainment designation, they are considered "unclassified". National nonattainment areas are further designated as marginal, moderate, serious, severe, or extreme as a function of deviation from standards. Each standard has a different definition, or 'form' of what constitutes attainment, based on specific air quality statistics. For example, the Federal 8-hour CO standard

is not to be exceeded more than once per year; therefore, an area is in attainment of the CO standard if no more than one 8-hour ambient air monitoring values exceeds the threshold per year. In contrast, the Federal annual PM2.5 standard is met if the three-year average of the annual average PM2.5 concentration is less than or equal to the standard. Attainment status is shown in Table 4.

The SCAQMD has divided the South Coast Air Basin into 38 air-monitoring areas with a designated ambient air monitoring station representative of each area. The project site is located in the North Coastal Orange County Monitoring Area (Area 18), which is located in Orange County and covers from Long Beach on the north, the Pacific Ocean on the west, Fountain Valley on the east, and the San Joaquin Hills to the south. The nearest air monitoring station to the project site is the Costa Mesa-Mesa Verde Drive Monitoring Station (Costa Mesa Station). The Costa Mesa Station is located approximately 2.79 miles southwest of the project site at 2850 Mesa Verde Drive, Costa Mesa. As not all monitoring stations monitor all pollutants, the next nearest monitoring station, Anaheim-Pampas Lane Monitoring Station (Anaheim Station), was also used. The Anaheim Station is located approximately 11.04 miles northwest of the project site at 1630 Pampas Lane, Anaheim. Table 5 presents the monitored pollutant levels from the Costa Mesa and Anaheim Stations. However, it should be noted that due to the air monitoring station distance from the project site, recorded air pollution levels at the air monitoring station reflect with varying degrees of accuracy, local air quality conditions at the project site.

Table 5 summarizes 2015 through 2017 published monitoring data, which is the most recent 3-year period available. The data shows that during the past few years, the project area has exceeded the ozone and Particulate Matter (PM10 and PM2.5) standards.

### **Ozone**

During the 2015 to 2017 monitoring period, the State 1-hour concentration standard for ozone was exceeded for only one day in 2015 at the Costa Mesa Station. The State 8-hour ozone standard was exceeded for two days in 2015 and five days in 2017 over the past three years at the Costa Mesa Station. The Federal 8-hour ozone standard was exceeded for two days in 2015 and five days in 2017 over the past three years at the Costa Mesa Station.

Ozone is a secondary pollutant as it is not directly emitted. Ozone is the result of chemical reactions between other pollutants, most importantly hydrocarbons and NO<sub>2</sub>, which occur only in the presence of bright sunlight. Pollutants emitted from upwind cities react during transport downwind to produce the oxidant concentrations experienced in the area. Many areas of the SCAQMD contribute to the ozone levels experienced at the monitoring station, with the more significant areas being those directly upwind.

### **Carbon Monoxide**

CO is another important pollutant that is due mainly to motor vehicles. The Costa Mesa Station did not record an exceedance of the state or federal 8-hour CO standard for the last three years.

### **Nitrogen Dioxide**

The Costa Mesa Station did not record an exceedance of the State or Federal NO<sub>2</sub> standards for the last three years.

### **Particulate Matter**

The State 24-hour concentration standards for PM10 have been estimated to have been exceeded between two and five days each year over the past three years at the Anaheim Station. Over the past three years, the Anaheim Station did not record an exceedance of the Federal 24-hour standards for PM10.

The Federal 24 hour standard for PM2.5 has been estimated to have been exceeded between one and seven days each year over the past three years. There does not appear to be a noticeable trend for PM10 or PM2.5 in either maximum particulate concentrations or days of exceedances in the area. Particulate levels in the area are due to natural sources, grading operations, and motor vehicles.

According to the EPA, some people are much more sensitive than others to breathing fine particles (PM10 and PM2.5). People with influenza, chronic respiratory and cardiovascular diseases, and the elderly may suffer worsening illness and premature death due to breathing these fine particles. People with bronchitis can expect aggravated symptoms from breathing in fine particles. Children may experience decline in lung function due to breathing in PM10 and PM2.5. Other groups considered sensitive are smokers and people who cannot breathe well through their noses. Exercising athletes are also considered sensitive, because many breathe through their mouths during exercise.

**Table 3  
State and Federal Criteria Pollutant Standards <sup>1</sup>**

Air Pollutant	Concentration / Averaging Time		Most Relevant Effects
	California Standards	Federal Primary Standards	
Ozone (O <sub>3</sub> )	0.09 ppm/1-hour 0.07 ppm/8-hour	0.070 ppm/8-hour	(a) Decline in pulmonary function and localized lung edema in humans and animals; (b) Risk to public health implied by alterations in pulmonary morphology and host defense in animals; (c) Increased mortality risk; (d) Risk to public health implied by altered connective tissue metabolism and altered pulmonary morphology in animals after long-term exposures and pulmonary function decrements in chronically exposed humans; (e) Vegetation damage; and (f) Property damage.
Carbon Monoxide (CO)	20.0 ppm/1-hour 9.0 ppm/8-hour	35.0 ppm/1-hour 9.0 ppm/8-hour	(a) Aggravation of angina pectoris and other aspects of coronary heart disease; (b) Decreased exercise tolerance in persons with peripheral vascular disease and lung disease; (c) Impairment of central nervous system functions; and (d) Possible increased risk to fetuses.
Nitrogen Dioxide (NO <sub>2</sub> )	0.18 ppm/1-hour 0.03 ppm/annual	100 ppb/1-hour 0.053 ppm/annual	(a) Potential to aggravate chronic respiratory disease and respiratory symptoms in sensitive groups; (b) Risk to public health implied by pulmonary and extra-pulmonary biochemical and cellular changes and pulmonary structural changes; and (c) Contribution to atmospheric discoloration.
Sulfur Dioxide (SO <sub>2</sub> )	0.25 ppm/1-hour 0.04 ppm/24-hour	75 ppb/1-hour 0.14 ppm/annual	(a) Bronchoconstriction accompanied by symptoms which may include wheezing, shortness of breath and chest tightness, during exercise or physical activity in persons with asthma.
Suspended Particulate Matter (PM <sub>10</sub> )	50 µg/m <sup>3</sup> /24-hour 20 µg/m <sup>3</sup> /annual	150 µg/m <sup>3</sup> /24-hour	(a) Exacerbation of symptoms in sensitive patients with respiratory or cardiovascular disease; (b) Declines in pulmonary function growth in children; (c) Increased risk of premature death from heart or lung diseases in elderly.
Suspended Particulate Matter (PM <sub>2.5</sub> )	12 µg/m <sup>3</sup> / annual	35 µg/m <sup>3</sup> /24-hour 12 µg/m <sup>3</sup> /annual	
Sulfates	25 µg/m <sup>3</sup> /24-hour	No Federal Standards	(a) Decrease in ventilatory function; (b) Aggravation of asthmatic symptoms; (c) Aggravation of cardio-pulmonary disease; (d) Vegetation damage; (e) Degradation of visibility; (f) property damage.
Lead	1.5 µg/m <sup>3</sup> /30-day	0.15 µg/m <sup>3</sup> /3-month rolling	(a) Learning disabilities; (b) Impairment of blood formation and nerve conduction.
Visibility Reducing Particles	Extinction coefficient of 0.23 per kilometer-visibility of 10 miles or more due to particles when humidity is less than 70 percent.	No Federal Standards	Visibility impairment on days when relative humidity is less than 70 percent.

Notes:

(1) Source: <http://www3.epa.gov/climatechange/ghgemissions/gases.html>



**Table 4**  
**South Coast Air Basin Attainment Status**

Pollutant	State Status <sup>1</sup>	National Status <sup>2</sup>
Ozone	Nonattainment	Nonattainment (Extreme)
Carbon monoxide	Attainment	Attainment/Unclassified
Nitrogen dioxide	Attainment	Attainment/Unclassified
Sulfur dioxide	Attainment	Attainment/Unclassified
PM10	Nonattainment	Attainment (Maintenance)
PM2.5	Nonattainment	Nonattainment (Moderate)

Notes:

(1) Source of Federal and State status: California Air Resources Board October 2018.

**Table 5  
Air Quality Monitoring Summary<sup>1</sup>**

Pollutant (Standard) <sup>2</sup>		Year		
		2015	2016	2017
Ozone:	Maximum 1-Hour Concentration (ppm)	0.099	0.090	0.088
	Days > CAAQS (0.09 ppm)	<b>1</b>	0	0
	Maximum 8-Hour Concentration (ppm)	0.080	0.069	0.080
	Days > NAAQS (0.070 ppm)	<b>2</b>	0	<b>4</b>
	Days > CAAQS (0.070 ppm)	<b>2</b>	0	<b>5</b>
Carbon Monoxide:	Maximum 8-Hour Concentration (ppm)	*	*	*
	Days > CAAQS (9 ppm)	0	0	0
	Days > NAAQS (9 ppm)	0	0	0
Nitrogen Dioxide:	Maximum 1-Hour Concentration (ppm)	0.052	0.060	0.045
	Days > CAAQS (0.18 ppm)	0	0	0
Inhalable Particulates (PM10): <sup>3</sup>	Maximum 24-Hour Concentration (µg/m <sup>3</sup> )	59.0	74.0	95.7
	Days > NAAQS (150 µg/m <sup>3</sup> )	0	0	0
	Days > CAAQS (50 µg/m <sup>3</sup> )	<b>2</b>	<b>3</b>	<b>5</b>
	Annual Average (µg/m <sup>3</sup> )	25.5	27.5	26.9
Ultra-Fine Particulates (PM2.5): <sup>3</sup>	Maximum 24-Hour Concentration (µg/m <sup>3</sup> )	53.8	45.5	56.2
	Days > NAAQS (35 µg/m <sup>3</sup> )	<b>3</b>	<b>1</b>	<b>7</b>
	Annual Average (µg/m <sup>3</sup> )	14.7	9.4	*

Notes:

(1) Source: <http://www.arb.ca.gov/adam/topfour/topfour1.php>

Data from the Costa Mesa-Mesa Verde Drive Monitoring Station unless otherwise noted.

(2) CAAQS = California Ambient Air Quality Standard; NAAQS = National Ambient Air Quality Standard; ppm = parts per million

\* Means there was insufficient data available to determine value.

(3) Data was taken from the Anaheim-Pampas Lane Monitoring Station.

## 5. AIR QUALITY STANDARDS

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### REGIONAL AIR QUALITY

Many air quality impacts that derive from dispersed mobile sources, which are the dominate pollution generators in the basin, often occurs hours later and miles away after photochemical processes have converted primary exhaust pollutants into secondary contaminants such as ozone. The incremental regional air quality impact of an individual project is generally very small and difficult to measure. Therefore, the SCAQMD has developed significance thresholds based on the volume of pollution emitted rather than on actual ambient air quality because the direct air quality impact of a project is not quantifiable on a regional scale. The SCAQMD CEQA Handbook states that any project in the South Coast Air Basin with daily emissions that exceed any of the identified significance thresholds should be considered as having an individually and cumulatively significant air quality impact. For the purposes to this air quality impact analysis, a regional air quality impact would be considered significant if emissions exceed the SCAQMD significance thresholds identified in Table 6.

### LOCAL AIR QUALITY

Project-related construction air emissions may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the South Coast Air Basin. In order to assess local air quality impacts the SCAQMD has developed Localized Significant Thresholds (LSTs) to assess the project-related air emissions in the project vicinity. The SCAQMD has also provided Final Localized Significant Threshold Methodology (LST Methodology), June 2003, which details the methodology to analyze local air emission impacts. The Localized Significant Threshold Methodology found that the primary emissions of concern are NO<sub>2</sub>, CO, PM10, and PM2.5.

The significance thresholds for the local emissions of NO<sub>2</sub> and CO are determined by subtracting the highest background concentration from the last three years of these pollutants from Table 5 above, from the most restrictive ambient air quality standards for these pollutants that are outlined in the Localized Significant Thresholds. Table 6 shows the ambient air quality standards for NO<sub>2</sub>, CO, and PM10 and PM2.5.

### TOXIC AIR CONTAMINANTS

#### *Construction*

The construction equipment would emit DPM, which is a carcinogen. However, the DPM emissions are short-term in nature. Determination of risk from DPM is considered over a 30-year exposure period because carcinogenic risk is directly related to sustain exposure. In contrast, construction activities for the project are only expected to last approximately ten months. Thus, the duration of construction activities would represent only a small fraction of the 30-year exposure period used as the basis for assessing the significance of carcinogenic risk exposure and, therefore, would not represent a source of sustained DPM emissions. Therefore, considering the short time frame, exposure to DPM is anticipated to be less than significant.

#### *Operation*

The project proposes to develop the site with an approximately 14,816 square foot 100-bed permanent bridge shelter for those experiencing homelessness. Therefore, the project is not anticipated be a source of toxic air contaminants and sensitive receptors would not be exposed to toxic sources of air pollution.

### ODOR IMPACTS

The SCAQMD CEQA Handbook states that an odor impact would occur if the proposed project creates an odor nuisance pursuant to SCAQMD Rule 402, which states:

A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.

The provisions of this rule shall not apply to odors emanating from agricultural operations necessary for the growing of crops or the raising of fowl or animals.

If the proposed project results in a violation of Rule 402 with regards to odor impacts, then the proposed project would create a significant odor impact.

## **GREENHOUSE GASES**

The CEQA Guidelines recommend that a lead agency consider the following when assessing the significance of impacts from GHG emissions on the environment:

- The extent to which the project may increase (or reduce) GHG emissions as compared to the existing environmental setting;
- Whether the project emissions exceed a threshold of significance that the lead agency determines applies to the project;
- The extent to which the project complies with regulations or requirements adopted to implement an adopted statewide, regional, or local plan for the reduction or mitigation of GHG emissions<sup>4</sup>.

### Regional – South Coast Air Quality Management District

The project is within the South Coast Air Basin, which is under the jurisdiction of the South Coast Air Quality Management District (SCAQMD).

### **SCAQMD Regulation XXVII, Climate Change**

SCAQMD Regulation XXVII currently includes three rules:

- The purpose of Rule 2700 is to define terms and post global warming potentials.
- The purpose of Rule 2701, SoCal Climate Solutions Exchange, is to establish a voluntary program to encourage, quantify, and certify voluntary, high quality certified greenhouse gas emission reductions in the SCAQMD.
- Rule 2702, Greenhouse Gas Reduction Program, was adopted on February 6, 2009. The purpose of this rule is to create a Greenhouse Gas Reduction Program for greenhouse gas emission reductions in the SCAQMD. The SCAQMD will fund projects through contracts in response to requests for proposals or purchase reductions from other parties.

A variety of agencies have developed greenhouse gas emission thresholds and/or have made recommendations for how to identify a threshold. However, the thresholds for projects in the jurisdiction of the SCAQMD remain in flux. The California Air Pollution Control Officers Association explored a variety of threshold approaches, but did not recommend one approach (2008). The ARB recommended approaches for setting interim significance thresholds (California Air Resources Board 2008b), in which a draft industrial project threshold suggests that non-transportation related emissions under 7,000 MTCO<sub>2e</sub> per year would be less than significant; however, the ARB has not approved those thresholds and has not published anything since then. The SCAQMD is in the process of developing thresholds, as discussed below.

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<sup>4</sup> The Governor's Office of Planning and Research recommendations include a requirement that such a plan must be adopted through a public review process and include specific requirements that reduce or mitigate the project's incremental contribution of GHG emissions. If there is substantial evidence that the possible effects of a particular project are still cumulatively considerable, notwithstanding compliance with the adopted regulations or requirements, an EIR must be prepared for the project.

## SCAQMD Threshold Development

On December 5, 2008, the SCAQMD Governing Board adopted an interim greenhouse gas significance threshold for stationary sources, rules, and plans where the SCAQMD is lead agency (SCAQMD permit threshold). The SCAQMD permit threshold consists of five tiers. However, the SCAQMD is not the lead agency for this project. Therefore, the five permit threshold tiers do not apply to the proposed project.

The SCAQMD is in the process of preparing recommended significance thresholds for greenhouse gases for local lead agency consideration (“SCAQMD draft local agency threshold”); however, the SCAQMD Board has not approved the thresholds as of the date of the Notice of Preparation. The current draft thresholds consist of the following tiered approach:

- Tier 1 consists of evaluating whether or not the project qualifies for any applicable exemption under CEQA.
- Tier 2 consists of determining whether the project is consistent with a greenhouse gas reduction plan. If a project is consistent with a qualifying local greenhouse gas reduction plan, it does not have significant greenhouse gas emissions.
- Tier 3 consists of screening values, which the lead agency can choose, but must be consistent with all projects within its jurisdiction. A project’s construction emissions are averaged over 30 years and are added to a project’s operational emissions. If a project’s emissions are under one of the following screening thresholds, then the project is less than significant:
  - All land use types: 3,000 MTCO<sub>2</sub>e per year
  - Based on land use type: residential: 3,500 MTCO<sub>2</sub>e per year; commercial: 1,400 MTCO<sub>2</sub>e per year; or mixed use: 3,000 MTCO<sub>2</sub>e per year.
  - Based on land type: Industrial (where SCAQMD is the lead agency), 10,000 MTCO<sub>2</sub>e per year.
- Tier 4 has the following options:
  - Option 1: Reduce emissions from business as usual (BAU) by a certain percentage; this percentage is currently undefined.
  - Option 2: Early implementation of applicable AB 32 Scoping Plan measures.
  - Option 3, 2020 target for service populations (SP), which includes residents and employees: 4.8 MTCO<sub>2</sub>e/SP/year for projects and 6.6 MTCO<sub>2</sub>e/SP/year for plans;
  - Option 3, 2035 target: 3.0 MTCO<sub>2</sub>e/SP/year for projects and 4.1 MTCO<sub>2</sub>e/SP/year for plans.
- Tier 5 involves mitigation offsets to achieve target significance threshold.

The SCAQMD’s draft threshold uses the Executive Order S-3-05 goal as the basis for the Tier 3 screening level. Achieving the Executive Order’s objective would contribute to worldwide efforts to cap carbon dioxide concentrations at 450 ppm, thus stabilizing global climate. Specifically, the Tier 3 screening level for stationary sources is based on an emission capture rate of 90 percent for all new or modified projects. A 90 percent emission capture rate means that 90 percent of total emissions from all new or modified stationary source projects would be subject to a CEQA analysis, including a negative declaration, a mitigated negative declaration, or an environmental impact report, which includes analyzing feasible alternatives and imposing feasible mitigation measures. A GHG significance threshold based on a 90 percent emission capture rate may be more appropriate to address the long-term adverse impacts associated with global climate change because most projects will be required to implement GHG reduction measures. Further, a 90 percent emission capture rate sets the emission threshold low enough to capture a substantial fraction of future stationary source projects that will be constructed to accommodate future statewide population and economic growth, while setting the emission threshold high enough to exclude small projects that will in aggregate contribute a relatively small fraction of the cumulative statewide GHG emissions. This assertion is based on the fact that staff estimates that these GHG emissions would account for slightly less than one percent of future 2050 statewide GHG emissions target (85 MMTCO<sub>2</sub>e/year). In addition, these small projects may be subject to future applicable GHG control regulations that would further reduce their overall future contribution to the statewide GHG inventory. Finally, these small sources are already subject to BACT for criteria pollutants and

are more likely to be single-permit facilities, so they are more likely to have few opportunities readily available to reduce GHG emissions from other parts of their facility.

### Local – City of Costa Mesa

The City of Costa Mesa does not currently have a Climate Action Plan. However, some of the goals, objectives, and policies contained in the City of Costa Mesa 2015-2035 General Plan Conservation Element would also result in the reduction of greenhouse gas emissions. The goals and policies in the Conservation Element that would also apply to greenhouse gases are provided below:

**Goal Con-2** Conserved Natural Resources through Environmental Sustainability: Reduce the City’s carbon footprints and manage resources wisely to meet the needs of a growing population and economy. Base community planning decisions on sustainable practices that reduce environmental pollutants, conserve resources, and minimize waste. Encourage the design of energy-efficient buildings, use renewable energy, and promote alternative methods of transportation.

Objective Con-2.A Work to conserve energy resources in existing and new buildings, utilities, and infrastructure.

### Energy Efficiency and Conservation

*Policy CON-2.A.1* Promote efficient use of energy and conservation of available resources in the design, construction, maintenance, and operation of public and private facilities, infrastructure, and equipment.

*Policy CON-2.A.2* Consult with regional agencies and utility companies to pursue energy efficiency goals. Expand renewable energy strategies to reach zero net energy for both residential and commercial new construction.

*Policy CON-2.A.3* Continue to develop partnerships with participating jurisdictions to promote energy efficiency, energy conservation, and renewable energy resource development by leveraging the abilities of local governments to strengthen and reinforce the capacity of energy efficiency efforts.

*Policy CON-2.A.4* Encourage new development to take advantage of Costa Mesa’s optimal climate in the warming and cooling of buildings, including use of heating, ventilation and air conditioning (HVAC) systems.

### Green Sustainable Development Practices

*Policy CON-2.A.5* Promote environmentally sustainable development principles for buildings, master planned communities, neighborhoods, and infrastructure.

*Policy CON-2.A.6* Encourage construction and building development practices that reduce resource expenditures throughout the lifecycle of a structure.

*Policy CON-2.A.7* Continue to require all City facilities and services to incorporate energy and resource conservation standards and practices and require that new municipal facilities be built within the LEED Gold standards or equivalent.

*Policy CON-2.A.8* Continue City green initiatives in purchases of equipment, and agreements that favor sustainable products and practices.

## Solid Waste Reduction and Recycling

- Policy CON-2.A.9* Encourage waste management programs that promote waste reduction and recycling to minimize materials sent to landfills. Maintain robust programs encourage residents and businesses to reduce, reuse, recycle, and compost.
- Policy CON-2.A.10* Support waste management practices that provide recycling programs. Promote organic recycling, landfill diversion, zero waste goals, proper hazardous waste collections, composting, and the continuance of recycling centers.
- Policy CON-2.A.11* Continue construction and demolition programs that require recycling and minimize waste in haul trips.

**Goal Con-3** Improved Water Supply and Quality: Pursue a multijurisdictional approach to protecting, maintaining, and improving water quality and the overall health of the watershed. A comprehensive, integrated approach will ensure compliance with federal and State standards, and will address a range of interconnected priorities, including water quality and runoff; storm water capture, storage, and flood management techniques that focus on natural drainage; natural filtration and groundwater recharge through green infrastructure and habitat restoration; and water recycling and conservation.

**Objective Con-3.A** Work towards the protection and conservation of existing and future water resources by recognizing water as a limited resource that requires conservation.

## Water Conservation

- Policy CON-3.A.2* Encourage residents, public facilities, businesses, and industry to minimize water consumption, especially during drought years.
- Policy CON-3.A.3* Restrict use of turf in new construction and landscape reinstallation that requires high irrigation demands, except for area parks and schools, and encourage the use of drought-tolerant landscaping.

**Goal Con-4** Improved Air Quality: Take steps to improve and maintain air quality for the benefit of the health and vitality of residents and the local economy. In alignment with State emissions reduction goals and in cooperation with the South Coast Air Quality Management District, pursue regional collaboration to reduce emissions from all sources.

**Objective Con-4.A** Pursue the prevention of the significant deterioration of local and regional air quality.

## Climate Change

- Policy CON-4.A.5* Encourage compact development, infill development, and a mix of uses that are in proximity to transit, pedestrian, and bicycling infrastructures.
- Policy CON-4.A.46* Enhance bicycling and walking infrastructure, and support public bus service, pursuant to the Circulation Element's goals, objectives, and policies.
- Policy CON-4.A.7* Encourage installation of renewable energy devices for businesses and facilities and strive to reduce communitywide energy consumption.

*Policy CON-4.A.8*      Develop long-term, community-wide strategies and programs that work at the local level to reduce greenhouse gases and Costa Mesa’s “carbon footprint”.

### **Thresholds of Significance for this Project**

Neither the City of Costa Mesa, the SCAQMD, nor the State CEQA Guidelines Amendments has adopted quantitative thresholds of significance for addressing a project’s GHG emissions. To determine whether the project’s GHG emissions are significant, this analysis uses the SCAQMD draft screening threshold of 3,000 MTCO<sub>2</sub>e per year for all land uses.

The project will be subject to the requirements of the California Green Building Code and 2016 Title 24 Building Energy Efficiency Standards which would also reduce project-related greenhouse gas emissions.



**Table 6**  
**SCAQMD Air Quality Significance Thresholds<sup>1,2</sup>**

Mass Daily Thresholds		
Pollutant	Construction (lbs/day)	Operation (lbs/day)
NOx	100	55
VOC	75	55
PM10	150	150
PM2.5	55	55
SOx	150	150
CO	550	550
Lead	3	3
Toxic Air Contaminants, Odor and GHG Thresholds		
TACs	Maximum Incremental Cancer Risk $\geq$ 10 in 1 million Cancer Burden > 0.5 excess cancer cases (in areas $\geq$ 1 in 1 million) Chronic & Acute Hazard Index > 1.0 (project increment)	
Odor	Project creates an odor nuisance pursuant to SCAQMD Rule 402	
GHG	10,000 MT/yr CO <sub>2</sub> e for industrial projects	
Ambient Air Quality Standards		
Pollutant	SCAQMD Standards	
NO <sub>2</sub> -1-hour average	0.18 ppm (338 $\mu\text{g}/\text{m}^3$ )	
PM10 -24-hour average		
Construction	10.4 $\mu\text{g}/\text{m}^3$	
Operations	2.5 $\mu\text{g}/\text{m}^3$	
PM2.5 -24-hour average		
Construction	10.4 $\mu\text{g}/\text{m}^3$	
Operations	2.5 $\mu\text{g}/\text{m}^3$	
SO <sub>2</sub>		
1-hour average	0.25 ppm	
24-hour average	0.04 ppm	
CO		
1-hour average	20 ppm (23,000 $\mu\text{g}/\text{m}^3$ )	
8-hour average	9 ppm (10,000 $\mu\text{g}/\text{m}^3$ )	
Lead		
30-day average	1.5 $\mu\text{g}/\text{m}^3$	
Rolling 3-month average	0.15 $\mu\text{g}/\text{m}^3$	
Quarterly average	1.5 $\mu\text{g}/\text{m}^3$	

Notes:

(1) Source: <http://www.aqmd.gov/ceqa/handbook/signthres.pdf>

## 6. SHORT-TERM CONSTRUCTION IMPACTS

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Construction activities associated with the proposed project would have the potential to generate air emissions, toxic air contaminant emissions, and odor impacts. Assumptions for the phasing, duration, and required equipment for the construction of the proposed project were obtained from the project applicant. The proposed project is the renovation of part of an existing industrial building into a shelter use with minor other site improvements; therefore, construction activities for the proposed project are anticipated to include: construction of an approximately 14,816 square foot 100-bed shelter and application of architectural coatings.

CalEEMod does not have a shelter land use available in its database; therefore, the proposed project was modeled as Congregate Care (Assisted Living) (ITE Code 253) as this is the closest land use to a shelter available.

The proposed project is anticipated to start construction no sooner than September 2019 and be completed by the end of June 2020.

### CONSTRUCTION-RELATED REGIONAL IMPACTS

The construction-related regional air quality impacts have been analyzed for both criteria pollutants and GHGs.

#### Construction-Related Criteria Pollutants Analysis

The following provides a discussion of the methodology used to calculate regional construction air emissions and an analysis of the proposed project's short-term construction emissions for the criteria pollutants.

#### *Methodology*

Typical emission rates from construction activities were obtained from CalEEMod Version 2016.3.2. CalEEMod is a computer model published by the SCAQMD for estimating air pollutant emissions. The CalEEMod program uses the EMFAC2014 computer program to calculate the emission rates specific for the northeastern portion of Orange County for construction-related employee vehicle trips and the OFFROAD2011 computer program to calculate emission rates for heavy truck operations. EMFAC2014 and OFFROAD2011 are computer programs generated by CARB that calculates composite emission rates for vehicles. Emission rates are reported by the program in grams per trip and grams per mile or grams per running hour. Using CalEEMod, the peak daily air pollutant emissions during each phase was calculated and presented below. These emissions represent the highest level of emissions for each of the construction phases in terms of air pollutant emissions. The construction emissions printouts from CalEEMod are provided in Appendix B.

Per SCAQMD Rule 1113 as amended on June 3, 2011, the architectural coatings that would be applied after January 1, 2014 will be limited to an average of 50 grams per liter or less.

The phases of the construction activities which have been analyzed below for each phase are: (1) building construction and (2) application of architectural coatings. Details pertaining to the project's construction timing and the type of equipment modeled for each construction phase are available in the CalEEMod output in Appendix B.

#### *Project Impacts*

The construction-related criteria pollutant emissions for each phase are shown below in Table 7. Table 7 shows that none of the project's emissions will exceed regional thresholds. Therefore, a less than significant regional air quality impact would occur from construction of the proposed project.

## CONSTRUCTION-RELATED LOCAL IMPACTS

Construction-related air emissions may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the South Coast Air Basin. The proposed project has been analyzed for the potential local air quality impacts created from: construction-related fugitive dust and diesel emissions; from toxic air contaminants; and from construction-related odor impacts.

### Local Air Quality Impacts from Construction

The SCAQMD has published a “Fact Sheet for Applying CalEEMod to Localized Significance Thresholds” (South Coast Air Quality Management District 2011b). CalEEMod calculates construction emissions based on the number of equipment hours and the maximum daily disturbance activity possible for each piece of equipment. In order to compare CalEEMod reported emissions against the localized significance threshold lookup tables, the CEQA document should contain in its project design features or its mitigation measures the following parameters:

- (1) The off-road equipment list (including type of equipment, horsepower, and hours of operation) assumed for the day of construction activity with maximum emissions.
- (2) The maximum number of acres disturbed on the peak day.
- (3) Any emission control devices added onto off-road equipment.
- (4) Specific dust suppression techniques used on the day of construction activity with maximum emissions.

The CalEEMod output in Appendix B show the equipment used for this analysis.

The proposed project involves the renovation of the interior of an existing industrial building with only minor exterior upgrades; therefore, as there will be no grading or earthwork-related activities, local emissions are anticipated to be minimal. However, to be conservative, the maximum number of acres disturbed in a day has been anticipated to be approximately 0.34 acres (14,861 square foot) to match the estimated area of overall site improvements. The local air quality emissions from construction were analyzed using the SCAQMD’s Mass Rate Localized Significant Threshold Look-up Tables and the methodology described in Localized Significance Threshold Methodology prepared by SCAQMD (revised July 2008). The Look-up Tables were developed by the SCAQMD in order to readily determine if the daily emissions of CO, NOx, PM10, and PM2.5 from the proposed project could result in a significant impact to the local air quality. The emission thresholds were calculated based on the North Coastal Orange County source receptor area (SRA) 18 and a disturbance value of one acre per day, as this is the lowest acreage provided in the look-up tables. According to LST Methodology, any receptor located closer than 25 meters (82 feet) shall be based on the 25 meter thresholds. The nearest sensitive receptors are the Mariners Christian School located 1,825 feet (556 meters) southwest of the project site and multi-family attached residential dwelling units located approximately 2,050 feet (625 meters) northwest of the project site; therefore, to be conservative, the SCAQMD Look-up Tables for 500 meters was used. Table 8 shows the on-site emissions from the CalEEMod model for the different construction phases and the LST emissions thresholds.

The data provided in Table 8 shows that none of the analyzed criteria pollutants would exceed the calculated local emissions thresholds at the nearest sensitive receptors. Therefore, a less than significant local air quality impact would occur from construction of the proposed project.

### Construction-Related Toxic Air Contaminant Impacts

The greatest potential for toxic air contaminant emissions would be related to diesel particulate emissions associated with heavy equipment operations during construction of the proposed project. According to SCAQMD methodology, health effects from carcinogenic air toxics are usually described in terms of “individual

cancer risk". "Individual Cancer Risk" is the likelihood that a person exposed to concentrations of toxic air contaminants over a 30 year lifetime will contract cancer, based on the use of standard risk-assessment methodology. Given the relatively limited number of heavy-duty construction equipment and the short-term construction schedule, the proposed project would not result in a long-term (i.e., 30 years) substantial source of toxic air contaminant emissions and corresponding individual cancer risk. Furthermore, construction-based particulate matter (PM) emissions (including diesel exhaust emissions) do not exceed any local or regional thresholds. Therefore, no significant short-term toxic air contaminant impacts would occur during construction of the proposed project.

#### Construction-Related Odor Impacts

Potential sources that may emit odors during construction activities include the application of materials such as asphalt pavement. The objectionable odors that may be produced during the construction process are of short-term in nature and the odor emissions are expected cease upon the drying or hardening of the odor producing materials. Due to the short-term nature and limited amounts of odor producing materials being utilized, no significant impact related to odors would occur during construction of the proposed project. Diesel exhaust and VOCs would be emitted during construction of the project, which are objectionable to some; however, emissions would disperse rapidly from the project site and therefore should not reach an objectionable level at the nearest sensitive receptors.

**Table 7  
Construction-Related Regional Pollutant Emissions<sup>1</sup>**

Activity		Pollutant Emissions (pounds/day)					
		ROG	NOx	CO	SO <sub>2</sub>	PM10	PM2.5
Building Construction	On-Site <sup>2</sup>	0.96	9.82	7.54	0.01	0.61	0.56
	Off-Site <sup>3</sup>	0.06	0.26	0.45	0.00	0.14	0.04
	Subtotal	1.02	10.08	8.00	0.01	0.74	0.60
Architectural Coating	On-Site <sup>2</sup>	8.67	1.68	1.83	0.00	0.11	0.11
	Off-Site <sup>3</sup>	0.01	0.01	0.07	0.00	0.02	0.01
	Subtotal	8.68	1.69	1.90	0.00	0.13	0.12
Total for overlapping phases <sup>4</sup>		9.70	11.77	9.89	0.02	0.88	0.71
SCAQMD Thresholds		75	100	550	150	150	55
Exceeds Thresholds?		No	No	No	No	No	No

Notes:

- (1) Source: CalEEMod Version 2016.3.2
- (2) On-site emissions from equipment operated on-site that is not operated on public roads.
- (3) Off-site emissions from equipment operated on public roads.
- (4) Construction and painting phases may overlap.

**Table 8  
Local Construction Emissions at the Nearest Receptors<sup>1</sup>**

Activity	On-Site Pollutant Emissions (pounds/day)			
	NOx	CO	PM10	PM2.5
Building Construction	9.82	7.54	0.61	0.56
Architectural Coating	1.68	1.83	0.11	0.11
<b>SCAQMD Thresholds<sup>2</sup></b>	<b>219</b>	<b>6,841</b>	<b>135</b>	<b>76</b>
Exceeds Threshold?	No	No	No	No

Notes:

(1) Source: Calculated from CalEEMod and SCAQMD's Mass Rate Look-up Tables for 1 acre at a distance of 500 m in SRA 18 North Coastal Orange County.

(2) The nearest sensitive receptors to the project include Mariners Christian School located 1,825 feet (~556 meters) southwest and the multi-family attached residential dwelling units located approximately 2,050 feet (~625 meters) northwest of the project site; therefore, the 500 meter threshold was used.

General Note: The proposed project will disturb up to a maximum of 0.34 acres a day per the total square footage of improvements.

## 7. LONG-TERM AIR QUALITY OPERATIONAL IMPACTS

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The on-going operation of the proposed project would result in a long-term increase in air quality emissions. This increase would be due to emissions from the project-generated vehicle trips and through operational emissions from the on-going use of the proposed project. The following section provides an analysis of potential long-term air quality impacts due to: regional air quality and local air quality impacts with the on-going operations of the proposed project.

### OPERATIONS-RELATED REGIONAL AIR QUALITY IMPACTS

The potential operations-related air emissions have been analyzed below for the criteria pollutants and cumulative impacts.

#### Operations-Related Criteria Pollutants Analysis

The operations-related criteria air quality impacts created by the proposed project have been analyzed through the use of the CalEEMod model. The operating emissions were based on the year 2020, which is the anticipated opening year for the proposed project. The operations daily emissions printouts from the CalEEMod model are provided in Appendix B. The CalEEMod analyzes operational emissions from area sources, energy usage, and mobile sources, which are discussed below.

#### Mobile Sources

Mobile sources include emissions from the additional vehicle miles generated from the proposed project. The vehicle trips associated with the proposed project have been analyzed by inputting the project-generated vehicular trips from the Revised 3175 Airway Trip Generation Memorandum (Trip Generation Memorandum) prepared by the City of Costa Mesa Department of Public Services/Transportation Services Division (May 3, 2019) for the proposed project into the CalEEMod Model. The Trip Generation Memorandum found that the proposed project will generate approximately 149 vehicle trips per day. Therefore, the trip generation rate for the proposed project would be 10.06 trips per thousand square foot per day. The program then applies the emission factors for each trip which is provided by the EMFAC2014 model to determine the vehicular traffic pollutant emissions.

#### Area Sources

Area sources include emissions from consumer products, landscape equipment and architectural coatings. Landscape maintenance includes fuel combustion emissions from equipment such as lawn mowers, rototillers, shredders/grinders, blowers, trimmers, chain saws, and hedge trimmers, as well as air compressors, generators, and pumps. As specifics were not known about the landscaping equipment fleet, CalEEMod defaults were used to estimate emissions from landscaping equipment. No changes were made to the default area source parameters.

#### Energy Usage

Energy usage includes emissions from the generation of electricity and natural gas used on-site. No changes were made to the default energy usage parameters.

#### Project Impacts

The worst-case summer or winter criteria pollutant emissions created from the proposed project's long-term operations have been calculated and are shown below in Table 9. The results show that none of the SCAQMD regional thresholds would be exceeded. Therefore, a less than significant regional air quality impact would occur from operation of the proposed project.

## Cumulative Regional Air Quality Impacts

Cumulative projects include local development as well as general growth within the project area. However, as with most development, the greatest source of emissions is from mobile sources, which travel well out of the local area. Therefore, from an air quality standpoint, the cumulative analysis would extend beyond any local projects and when wind patterns are considered would cover an even larger area. Accordingly, the cumulative analysis for the project's air quality must be generic by nature.

The project area is out of attainment for ozone and in 2018 was out of attainment for PM10. Construction and operation of cumulative projects will further degrade the local air quality, as well as the air quality of the South Coast Air Basin. The greatest cumulative impact on the quality of regional air cell will be the incremental addition of pollutants mainly from increased traffic volumes from residential, commercial, and industrial development and the use of heavy equipment and trucks associated with the construction of these projects. Air quality will be temporarily degraded during construction activities that occur separately or simultaneously. However, in accordance with the SCAQMD methodology, projects that do not exceed the SCAQMD criteria or can be mitigated to less than criteria levels are not significant and do not add to the overall cumulative impact. With respect to long-term emissions, this project would create a less than significant cumulative impact.

## **OPERATIONS-RELATED LOCAL AIR QUALITY IMPACTS**

Project-related air emissions may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the South Coast Air Basin. The proposed project has been analyzed for the potential local CO emission impacts from the project-generated vehicular trips and from the potential local air quality impacts from on-site operations. The following analysis analyzes the vehicular CO emissions, local impacts from on-site operations, and odor impacts.

### Local CO Emission Impacts from Project-Generated Vehicular Trips

CO is the pollutant of major concern along roadways because the most notable source of CO is motor vehicles. For this reason, CO concentrations are usually indicative of the local air quality generated by a roadway network and are used as an indicator of potential local air quality impacts. Local air quality impacts can be assessed by comparing future without and with project CO levels to the State and Federal CO standards which were presented above in Section 5.

To determine if the proposed project could cause emission levels in excess of the CO standards discussed above in Section 5, a sensitivity analysis is typically conducted to determine the potential for CO "hot spots" at a number of intersections in the general project vicinity. Because of reduced speeds and vehicle queuing, "hot spots" potentially can occur at high traffic volume intersections with a Level of Service E or worse.

The analysis prepared for CO attainment in the South Coast Air Basin by the SCAQMD can be used to assist in evaluating the potential for CO exceedances in the South Coast Air Basin. CO attainment was thoroughly analyzed as part of the SCAQMD's 2003 Air Quality Management Plan (2003 AQMP) and the 1992 Federal Attainment Plan for Carbon Monoxide (1992 CO Plan). As discussed in the 1992 CO Plan, peak carbon monoxide concentrations in the South Coast Air Basin are due to unusual meteorological and topographical conditions, and not due to the impact of particular intersections. Considering the region's unique meteorological conditions and the increasingly stringent CO emissions standards, CO modeling was performed as part of 1992 CO Plan and subsequent plan updates and air quality management plans. In the 1992 CO Plan, a CO hot spot analysis was conducted for four busy intersections in Los Angeles at the peak morning and afternoon time periods. The intersections evaluated included: South Long Beach Boulevard and Imperial Highway (Lynwood); Wilshire Boulevard and Veteran Avenue (Westwood); Sunset Boulevard and Highland Avenue (Hollywood); and La Cienega Boulevard and Century Boulevard (Inglewood). These analyses did not



predict a violation of CO standards. The busiest intersection evaluated was that at Wilshire Boulevard and Veteran Avenue, which has a daily traffic volume of approximately 100,000 vehicles per day. The Los Angeles County Metropolitan Transportation Authority evaluated the Level of Service in the vicinity of the Wilshire Boulevard/Veteran Avenue intersection and found it to be Level of Service E during the morning peak hour and Level of Service F during the afternoon peak hour.

The Trip Generation Memorandum showed that the project would generate 149 vehicle trips per day. The 1992 Federal Attainment Plan for Carbon Monoxide (1992 CO Plan) showed that an intersection which has a daily traffic volume of approximately 100,000 vehicles per day would not violate the CO standard. Therefore, as the project only includes 149 vehicle trips per day and did not even require a Traffic Study, no CO “hot spot” modeling was performed and no significant long-term air quality impact is anticipated to local air quality with the on-going use of the proposed project.

#### Local Air Quality Impacts from On-Site Operations

Project-related air emissions from on-site sources such as architectural coatings, landscaping equipment, on-site usage of natural gas appliances as well as the operation of vehicles on-site may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the Air Basin. The nearest sensitive receptors that may be impacted by the proposed project are the Mariners Christian School located 1,825 feet (556 meters) southwest of the project site and multi-family attached residential dwelling units located approximately 2,050 feet (625 meters) northwest of the project site.

According to SCAQMD LST methodology, LSTs would apply to the operational phase of a project, if the project includes stationary sources, or attracts mobile sources (such as heavy-duty trucks) that may spend long periods queuing and idling at the site; such as industrial warehouse/transfer facilities. The proposed project is the development of the site with a 14,816 square foot 100-bed permanent bridge shelter for those experiencing homelessness and does not include such uses. Therefore, due the lack of stationary source emissions, no long-term localized significance threshold analysis is warranted.

#### Operations-Related Odor Impacts

Potential sources that may emit odors during the on-going operations of the proposed project would include odor emissions from diesel truck emissions and trash storage areas. Due to the distance of the nearest receptors from the project site and through compliance with SCAQMD’s Rule 402 no significant impact related to odors would occur during the on-going operations of the proposed project.

**Table 9  
Regional Operational Pollutant Emissions<sup>1</sup>**

Activity	Pollutant Emissions (pounds/day)					
	ROG	NOx	CO	SO2	PM10	PM2.5
Area Sources <sup>2</sup>	0.38	0.24	1.32	0.00	0.02	0.02
Energy Usage <sup>3</sup>	0.01	0.04	0.02	0.00	0.00	0.00
Mobile Sources <sup>4</sup>	0.26	1.08	3.48	0.01	1.09	0.30
<b>Total Emissions</b>	<b>0.64</b>	<b>1.36</b>	<b>4.82</b>	<b>0.01</b>	<b>1.12</b>	<b>0.33</b>
SCAQMD Thresholds	55	55	550	150	150	55
Exceeds Threshold?	No	No	No	No	No	No

Notes:

- (1) Source: CalEEMod Version 2016.3.2; the higher of either summer or winter emissions.
- (2) Area sources consist of emissions from consumer products, architectural coatings, and landscaping equipment.
- (3) Energy usage consists of emissions from generation of electricity and on-site natural gas usage.
- (4) Mobile sources consist of emissions from vehicles and road dust.

## 8. GLOBAL CLIMATE CHANGE ANALYSIS

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The proposed project is anticipated to generate GHG emissions from area sources, energy usage, mobile sources, waste, water, and construction equipment. The following provides the methodology used to calculate the project-related GHG emissions, the project impacts and a consistency analysis of the proposed project with any applicable GHG reduction plans, policies or regulations.

### METHODOLOGY

The CalEEMod Version 2016.3.2 was used to calculate the GHG emissions from the proposed project. The project's emissions were compared to the tier 3 SCAQMD draft screening threshold of 3,000 metric tons CO<sub>2</sub>e per year for all land uses.

The CalEEMod Annual Output for year 2020 is available in Appendix C. Each source of GHG emissions is described in greater detail below.

#### Area Sources

Area sources include emissions from consumer products, landscape equipment and architectural coatings. No changes were made to the default area source emissions.

#### Energy Usage

Energy usage includes emissions from the generation of electricity and natural gas used on-site. No changes were made to the default energy usage parameters.

#### Mobile Sources

Mobile sources include emissions from the additional vehicle miles generated from the proposed project. The vehicle trips associated with the proposed project have been analyzed based on the project trip generation calculated in the Trip Generation Memorandum. See Section 7 for details.

#### Waste

Waste includes the GHG emissions generated from the processing of waste from the proposed project as well as the GHG emissions from the waste once it is interred into a landfill. AB 341 requires that 75 percent of waste be diverted from landfills by 2020, reductions for this are shown in the mitigated CalEEMod output values. No other changes were made to the default waste parameters.

#### Water

Water includes the water used for the interior of the building as well as for landscaping and is based on the GHG emissions associated with the energy used to transport and filter the water. No changes were made to the default water usage parameters.

#### Construction

The construction-related GHG emissions were also included in the analysis and were based on a 30 year amortization rate as recommended in the SCAQMD GHG Working Group meeting on November 19, 2009. The construction-related GHG emissions were calculated by CalEEMod using the methodology detailed above in Section 6.

## PROJECT GREENHOUSE GAS EMISSIONS

The GHG emissions have been calculated based on the parameters described above. A summary of the results are shown below in Table 10 and the CalEEMod Model run for the proposed project is provided in Appendix C. Table 10 shows that the proposed project's unmitigated emissions would be 253.73 MTCO<sub>2</sub>e per year. According to the thresholds of significance established above in Section 5, a cumulative global climate change impact would occur if the GHG emissions created from the on-going operations of the proposed project would exceed the SCAQMD threshold of 3,000 metric tons CO<sub>2</sub>e per year for all land uses. Therefore, the proposed project's GHG emissions are considered to be less than significant.

Compliance with 2016 Green Building Standards will further reduce project-related greenhouse emissions.

## GREENHOUSE GAS PLAN CONSISTENCY

The proposed project would have the potential to conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases. As stated previously, the City of Costa Mesa does not currently have a Climate Action Plan; therefore, the project has been compared to the goals of the CARB Scoping Plan.

### Scoping Plan

Emission reductions in California alone would not be able to stabilize the concentration of greenhouse gases in the earth's atmosphere. However, California's actions set an example and drive progress towards a reduction in greenhouse gases elsewhere. If other states and countries were to follow California's emission reduction targets, this could avoid medium or higher ranges of global temperature increases. Thus, severe consequences of climate change could also be avoided.

The CARB approved a Climate Change Scoping Plan in December 2008. The Scoping Plan outlines the State's strategy to achieve the 2020 greenhouse gas emissions limit. The Scoping Plan "proposes a comprehensive set of actions designed to reduce overall greenhouse gas emissions in California, improve our environment, reduce our dependence on oil, diversify our energy sources, save energy, create new jobs, and enhance public health" (California Air Resources Board 2008). The measures in the Scoping Plan have been in place since 2012.

This Scoping Plan calls for an "ambitious but achievable" reduction in California's greenhouse gas emissions, cutting approximately 30 percent from business-as-usual emission levels projected for 2020, or about 10 percent from today's levels. On a per-capita basis, that means reducing annual emissions of 14 tons of carbon dioxide for every man, woman and child in California down to about 10 tons per person by 2020.

In May 2014, CARB released its *First Update to the Climate Change Scoping Plan* (CARB 2014). This *Update* identifies the next steps for California's leadership on climate change. While California continues on its path to meet the near-term 2020 greenhouse gas limit, it must also set a clear path toward long-term, deep GHG emission reductions. This report highlights California's success to date in reducing its GHG emissions and lays the foundation for establishing a broad framework for continued emission reductions beyond 2020, on the path to 80 percent below 1990 levels by 2050.

In November 2017, CARB release the 2017 Scoping Plan. This Scoping Plan incorporates, coordinates, and leverages many existing and ongoing efforts and identifies new policies and actions to accomplish the State's climate goals, and includes a description of a suite of specific actions to meet the State's 2030 GHG limit. In addition, Chapter 4 provides a broader description of the many actions and proposals being explored across the sectors, including the natural resources sector, to achieve the State's mid and long-term climate goals.

Guided by legislative direction, the actions identified in the 2017 Scoping Plan reduce overall GHG emissions in California and deliver policy signals that will continue to drive investment and certainty in a low carbon

economy. The 2017 Scoping Plan builds upon the successful framework established by the Initial Scoping Plan and First Update, while identifying new, technologically feasible, and cost-effective strategies to ensure that California meets its GHG reduction targets in a way that promotes and rewards innovation, continues to foster economic growth, and delivers improvements to the environment and public health, including in disadvantaged communities. The Plan includes policies to require direct GHG reductions at some of the State's largest stationary sources and mobile sources. These policies include the use of lower GHG fuels, efficiency regulations, and the Cap-and Trade Program, which constrains and reduces emissions at covered sources.

As the latest, 2017 Scoping Plan builds upon previous versions, project consistency with applicable strategies of both the 2008 and 2017 Plan are assessed in Table 11. As shown in Table 11, the project is consistent with the applicable strategies and would result in a less than significant impact.

Therefore, the project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases. Furthermore, the project will also comply with applicable Green Building Standards and City of Costa Mesa's policies regarding sustainability (as dictated by the City's General Plan).

**Table 10  
Project-Related Greenhouse Gas Emissions<sup>1</sup>**

Category	Greenhouse Gas Emissions (Metric Tons/Year)					
	Bio-CO <sub>2</sub>	NonBio-CO <sub>2</sub>	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Area Sources <sup>2</sup>	0.00	3.45	3.45	0.00	0.00	3.48
Energy Usage <sup>3</sup>	0.00	27.80	27.80	0.00	0.00	27.92
Mobile Sources <sup>4</sup>	0.00	203.74	203.74	0.01	0.00	203.95
Waste <sup>5</sup>	2.74	0.00	2.74	0.16	0.00	6.80
Water <sup>6</sup>	0.31	6.16	6.47	0.03	0.00	7.50
Construction <sup>7</sup>	0.00	4.05	4.05	0.00	0.00	<b>4.08</b>
<b>Total Emissions</b>	3.05	245.20	248.25	0.21	0.00	<b>253.73</b>
<b>SCAQMD Draft Threshold</b>						<b>3,000</b>
Exceeds Threshold?						No

Notes:

- (1) Source: CalEEMod Version 2016.3.2 for Opening Year 2020.
- (2) Area sources consist of GHG emissions from consumer products, architectural coatings, and landscape equipment.
- (3) Energy usage consist of GHG emissions from electricity and natural gas usage.
- (4) Mobile sources consist of GHG emissions from vehicles.
- (5) Solid waste includes the CO<sub>2</sub> and CH<sub>4</sub> emissions created from the solid waste placed in landfills.
- (6) Water includes GHG emissions from electricity used for transport of water and processing of wastewater.
- (7) Construction GHG emissions CO<sub>2</sub>e based on a 30 year amortization rate.

**Table 11**  
**Project Consistency with CARB Scoping Plan Policies and Measures<sup>1</sup>**

2008 Scoping Plan Measures to Reduce Greenhouse Gas Emissions	Project Compliance with Measure
California Light-Duty Vehicle Greenhouse Gas Standards – Implement adopted standards and planned second phase of the program. Align zero-emission vehicle, alternative and renewable fuel and vehicle technology programs with long-term climate change goals.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Energy Efficiency – Maximize energy efficiency building and appliance standards; pursue additional efficiency including new technologies, policy, and implementation mechanisms. Pursue comparable investment in energy efficiency from all retail providers of electricity in California.	Consistent. The proposed project will be compliant with the current Title 24 standards.
Low Carbon Fuel Standard – Develop and adopt the Low Carbon Fuel Standard.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Vehicle Efficiency Measures – Implement light-duty vehicle efficiency measures.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Medium/Heavy-Duty Vehicles – Adopt medium and heavy-duty vehicle efficiency measures.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Green Building Strategy – Expand the use of green building practices to reduce the carbon footprint of California’s new and existing inventory of buildings.	Consistent. The California Green Building Standards Code (proposed Part 11, Title 24) was adopted as part of the California Building Standards Code in the CCR. Part 11 establishes voluntary standards, that are mandatory in the 2016 edition of the Code, on planning and design for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants. The proposed project will be subject to these mandatory standards.
High Global Warming Potential Gases – Adopt measures to reduce high global warming potential gases.	Consistent. CARB identified five measures that reduce HFC emissions from vehicular and commercial refrigeration systems; vehicles that access the proposed project that are required to comply with the measures will comply with the strategy.
Recycling and Waste – Reduce methane emissions at landfills. Increase waste diversion, composting, and commercial recycling. Move toward zero-waste.	Consistent. The state is currently developing a regulation to reduce methane emissions from municipal solid waste landfills. The proposed project will be required to comply with City programs, such as City’s recycling and waste reduction program, which comply, with the 75 percent reduction required by 2020 per AB 341.
Water – Continue efficiency programs and use cleaner energy sources to move and treat water.	Consistent. The proposed project will comply with all applicable City ordinances and CAL Green requirements.

2017 Scoping Plan Recommended Actions to Reduce Greenhouse Gas Emissions	Project Compliance with Recommended Action
Implement Mobile Source Strategy: Further increase GHG stringency on all light-duty vehicles beyond existing Advanced Clean Car regulations.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement Mobile Source Strategy: At least 1.5 million zero emission and plug-in hybrid light-duty electric vehicles by 2025 and at least 4.2 million zero emission and plug-in hybrid light-duty electric vehicles by 2030.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement Mobile Source Strategy: Innovative Clean Transit: Transition to a suite of to-be-determined innovative clean transit options. Assumed 20 percent of new urban buses purchased beginning in 2018 will be zero emission buses with the penetration of zero-emission technology ramped up to 100 percent of new sales in 2030. Also, new natural gas buses, starting in 2018, and diesel buses, starting in 2020, meet the optional heavy-duty low-NOX standard.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement Mobile Source Strategy: Last Mile Delivery: New regulation that would result in the use of low NOX or cleaner engines and the deployment of increasing numbers of zero-emission trucks primarily for class 3-7 last mile delivery trucks in California. This measure assumes ZEVs comprise 2.5 percent of new Class 3–7 truck sales in local fleets starting in 2020, increasing to 10 percent in 2025 and remaining flat through 2030.	Consistent. These are CARB enforced standards; vehicles that access the proposed project that are required to comply with the standards will comply with the strategy.
Implement SB 350 by 2030: Establish annual targets for statewide energy efficiency savings and demand reduction that will achieve a cumulative doubling of statewide energy efficiency savings in electricity and natural gas end uses by 2030.	Consistent. The proposed project will be compliant with the current Title 24 standards.
By 2019, develop regulations and programs to support organic waste landfill reduction goals in the SLCP and SB 1383.	Consistent. The proposed project will be required to comply with City programs, such as City’s recycling and waste reduction program, which comply, with the 75 percent reduction required by 2020 per AB 341.

Notes:

(1) Source: CARB Scoping Plan (2008 and 2017)

## 9. ENERGY ANALYSIS

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### EXISTING CONDITIONS

This section provides an overview of the existing energy conditions in the project area and region.

#### Overview

California's estimated annual energy use as of 2017 included:

- Approximately 206,336 gigawatt hours of electricity;<sup>5</sup>
- Approximately 2,110,829 million cubic feet of natural gas per year<sup>6</sup>; and
- Approximately 23.2 billion gallons of transportation fuel (for the year 2015)<sup>7</sup>.

As of 2016, the year of most recent data currently available by the United States Energy Information Administration (EIA), energy use in California by demand sector was:

- Approximately 39.8 percent transportation;
- Approximately 23.7 percent industrial;
- Approximately 17.7 percent residential; and
- Approximately 18.9 percent commercial.<sup>8</sup>

California's electricity in-state generation system generates approximately 206,336 gigawatt-hours each year. In 2017, California produced approximately 71 percent of the electricity it uses; the rest was imported from the Pacific Northwest (approximately 14 percent) and the U.S. Southwest (approximately 16 percent). Natural gas is the main source for electricity generation at approximately 43 percent of the total in-state electric generation system power as shown in Table 12.

A summary of and context for energy consumption and energy demands within the State is presented in "U.S. Energy Information Administration, California State Profile and Energy Estimates, Quick Facts" excerpted below:

- Excluding federal offshore areas, California was the fourth-largest producer of crude oil among the 50 states in 2017, after Texas, North Dakota, and Alaska, and, as of January 2018, third in oil refining capacity after Texas and Louisiana.
- In 2016, California accounted for one-fifth of the nation's jet fuel consumption.
- California's total energy consumption is the second-highest in the nation, but, in 2016, the State's per capita energy consumption ranked 48th, due in part to its mild climate and its energy efficiency programs.
- In 2017, California ranked second in the nation in conventional hydroelectric generation and first as a producer of electricity from solar, geothermal, and biomass resources.
- In 2017, solar PV and solar thermal installations provided about 16 percent of California's net electricity generation<sup>9</sup>.

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<sup>5</sup> California Energy Commission. Energy Almanac. Total Electric Generation. [Online] June 21, 2018. [http://www.energy.ca.gov/almanac/electricity\\_data/total\\_system\\_power.html](http://www.energy.ca.gov/almanac/electricity_data/total_system_power.html).

<sup>6</sup> Natural Gas Consumption by End Use . U.S. Energy Information Administration. [Online] March 29, 2019. [https://www.eia.gov/dnav/ng/ng\\_cons\\_sum\\_dcu\\_SCA\\_a.htm](https://www.eia.gov/dnav/ng/ng_cons_sum_dcu_SCA_a.htm).

<sup>7</sup> California Energy Commission. Revised Transportation Energy Demand Forecast 2018-2030. [Online] April 19, 2018. <https://www.energy.ca.gov/assessments/>

<sup>8</sup> U.S. Energy Information Administration. California Energy Consumption by End-Use Sector. California State Profile and Energy Estimates.[Online] November 15, 2018 <https://www.eia.gov/state/?sid=CA#tabs-2>

<sup>9</sup> State Profile and Energy Estimates. Independent Statistics and Analysis. [Online] [Cited: November 15, 2018.] <http://www.eia.gov/state/?sid=CA#tabs2>.



As indicated above, California is one of the nation's leading energy-producing states, and California per capita energy use is among the nation's most efficient. Given the nature of the proposed project being permanent bridge shelter for those experiencing homelessness, the remainder of this discussion will focus on the three sources of energy that are most relevant to the project—namely, electricity and natural gas for shelter uses, and transportation fuel for vehicle trips associated with the proposed project.

### Electricity

Electricity would be provided to the project by Southern California Edison (SCE). SCE provides electric power to more than 15 million persons, within a service area encompassing approximately 50,000 square miles.<sup>10</sup> SCE derives electricity from varied energy resources including: fossil fuels, hydroelectric generators, nuclear power plants, geothermal power plants, solar power generation, and wind farms. SCE also purchases from independent power producers and utilities, including out-of-state suppliers.<sup>11</sup>

Table 13 identifies SCE's specific proportional shares of electricity sources in 2017. As shown in Table 13, the 2017 SCE Power Mix has renewable energy at 29 percent of the overall energy resources, of which biomass and waste is at 2 percent, geothermal is at 4 percent, small hydroelectric is at 3 percent, solar energy is at 10 percent, and wind power is at 10 percent; other energy sources include coal at 4 percent, large hydroelectric at 15 percent, natural gas at 34 percent, nuclear at 9 percent and unspecified sources at 9 percent.

### Natural Gas

Natural gas would be provided to the project by Southern California Gas (SoCalGas). The following summary of natural gas resources and service providers, delivery systems, and associated regulation is excerpted from information provided by the California Public Utilities Commission (CPUC).

The CPUC regulates natural gas utility service for approximately 10.8 million customers that receive natural gas from Pacific Gas and Electric (PG&E), Southern California Gas (SoCalGas), San Diego Gas & Electric (SDG&E), Southwest Gas, and several smaller investor-owned natural gas utilities. The CPUC also regulates independent storage operators Lodi Gas Storage, Wild Goose Storage, Central Valley Storage and Gill Ranch Storage.

The vast majority of California's natural gas customers are residential and small commercial customers, referred to as "core" customers, who accounted for approximately 32 percent of the natural gas delivered by California utilities in 2012. Large consumers, like electric generators and industrial customers, referred to as "noncore" customers, accounted for approximately 68 percent of the natural gas delivered by California utilities in 2012.

The PUC regulates the California utilities' natural gas rates and natural gas services, including in-state transportation over the utilities' transmission and distribution pipeline systems, storage, procurement, metering and billing.

Most of the natural gas used in California comes from out-of-state natural gas basins. In 2012, California customers received 35 percent of their natural gas supply from basins located in the Southwest, 16 percent from Canada, 40 percent from the Rocky Mountains, and 9 percent from basins located within California. California gas utilities may soon also begin receiving biogas into their pipeline systems."<sup>12</sup>

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<sup>10</sup> <https://www.sce.com/about-us/who-we-are/leadership/our-service-territory>

<sup>11</sup> California Energy Commission. Utility Energy Supply plans from 2015.  
[https://www.energy.ca.gov/almanac/electricity\\_data/supply\\_forms.html](https://www.energy.ca.gov/almanac/electricity_data/supply_forms.html)

<sup>12</sup> California Public Utilities Commission. Natural Gas and California. [http://www.cpuc.ca.gov/natural\\_gas/](http://www.cpuc.ca.gov/natural_gas/)

## Transportation Energy Resources

The project would attract additional vehicle trips with resulting consumption of energy resources, predominantly gasoline and diesel fuel. Gasoline (and other vehicle fuels) are commercially-provided commodities and would be available to the project patrons and employees via commercial outlets.

The most recent data available (2016) shows the transportation sector emits 41 percent of the total greenhouse gases in the state and about 84 percent of smog-forming oxides of nitrogen (NOx).<sup>13,14</sup> Petroleum comprises about 92 percent of all transportation energy use, excluding fuel consumed for aviation and most marine vessels.<sup>15</sup>

## **REGULATORY BACKGROUND**

Federal and state agencies regulate energy use and consumption through various means and programs. On the federal level, the United States Department of Transportation, the United States Department of Energy, and the United States Environmental Protection Agency are three federal agencies with substantial influence over energy policies and programs. On the state level, the PUC and the California Energy Commissions (CEC) are two agencies with authority over different aspects of energy. Relevant federal and state energy-related laws and plans are summarized below.

### Federal Regulations

#### **Corporate Average Fuel Economy (CAFE) Standards**

First established by the U.S. Congress in 1975, the Corporate Average Fuel Economy (CAFE) standards reduce energy consumption by increasing the fuel economy of cars and light trucks. The National Highway Traffic Safety Administration (NHTSA) and U.S. Environmental Protection Agency (USEPA) jointly administer the CAFE standards. The U.S. Congress has specified that CAFE standards must be set at the “maximum feasible level” with consideration given for: (1) technological feasibility; (2) economic practicality; (3) effect of other standards on fuel economy; and (4) need for the nation to conserve energy.<sup>16</sup>

#### **Intermodal Surface Transportation Efficiency Act of 1991 (ISTEA)**

The Intermodal Surface Transportation Efficiency Act of 1991 (ISTEA) promoted the development of intermodal transportation systems to maximize mobility as well as address national and local interests in air quality and energy. ISTEA contained factors that Metropolitan Planning Organizations (MPOs) were to address in developing transportation plans and programs, including some energy-related factors. To meet the new ISTEA requirements, MPOs adopted explicit policies defining the social, economic, energy, and environmental values guiding transportation decisions.

#### **The Transportation Equity Act of the 21st Century (TEA-21)**

The Transportation Equity Act for the 21st Century (TEA-21) was signed into law in 1998 and builds upon the initiatives established in the ISTEA legislation, discussed above. TEA-21 authorizes highway, highway safety, transit, and other efficient surface transportation programs. TEA-21 continues the program structure established for highways and transit under ISTEA, such as flexibility in the use of funds, emphasis on measures to improve the environment, and focus on a strong planning process as the foundation of good transportation decisions. TEA-21 also provides for investment in research and its application to maximize the performance

<sup>13</sup> CARB. California Greenhouse Gas Emissions Inventory – 2018 Edition. <https://www.arb.ca.gov/cc/inventory/data/data.htm>

<sup>14</sup> CARB. 2016 SIP Emission Projection Data. [https://www.arb.ca.gov/app/emsmv/2017/emseic1\\_query.php?F\\_DIV=-4&F\\_YR=2012&F\\_SEASON=A&SP=SIP105ADJ&F\\_AREA=CA](https://www.arb.ca.gov/app/emsmv/2017/emseic1_query.php?F_DIV=-4&F_YR=2012&F_SEASON=A&SP=SIP105ADJ&F_AREA=CA)

<sup>15</sup> US Energy Information Administration. Use of Energy in the United States Explained: Energy Use for Transportation. [https://www.eia.gov/energyexplained/?page=us\\_energy\\_transportation](https://www.eia.gov/energyexplained/?page=us_energy_transportation)

<sup>16</sup> <https://www.nhtsa.gov/lawsregulations/corporate-average-fuel-economy>.

of the transportation system through, for example, deployment of Intelligent Transportation Systems, to help improve operations and management of transportation systems and vehicle safety.

### State Regulations

#### **Integrated Energy Policy Report (IEPR)**

Senate Bill 1389 requires the California Energy Commission (CEC) to prepare a biennial integrated energy policy report that assesses major energy trends and issues facing the State's electricity, natural gas, and transportation fuel sectors and provides policy recommendations to conserve resources; protect the environment; ensure reliable, secure, and diverse energy supplies; enhance the state's economy; and protect public health and safety. The Energy Commission prepares these assessments and associated policy recommendations every two years, with updates in alternate years, as part of the Integrated Energy Policy Report.

The recently-approved 2017 Integrated Energy Policy Report Updated (2017 IEPR) was published in April 2018, and continues to work towards improving electricity, natural gas, and transportation fuel energy use in California. The 2016 IEPR focuses on a variety of topics such as implementation of Senate Bill 350, integrated resource planning, distributed energy resources, transportation electrification, solutions to increase resiliency in the electricity sector, energy efficiency, transportation electrification, barriers faced by disadvantaged communities, demand response, transmission and landscape-scale planning, the California Energy Demand Preliminary Forecast, the preliminary transportation energy demand forecast, renewable gas (in response to Senate Bill 1383), updates on Southern California electricity reliability, natural gas outlook, and climate adaptation and resiliency.<sup>17</sup>

#### **State of California Energy Plan**

The CEC is responsible for preparing the State Energy Plan, which identifies emerging trends related to energy supply, demand, conservation, public health and safety, and the maintenance of a healthy economy. The Plan calls for the state to assist in the transformation of the transportation system to improve air quality, reduce congestion, and increase the efficient use of fuel supplies with the least environmental and energy costs. To further this policy, the plan identifies a number of strategies, including assistance to public agencies and fleet operators and encouragement of urban designs that reduce vehicle miles traveled and accommodate pedestrian and bicycle access.

#### **California Building Standards Code (Title 24)**

The California Building Standards Code Title 24 was previously discussed in Section 4 Air Quality Management of this report.

##### *California Building Energy Efficiency Standards (Title 24, Part 6)*

The California Building Energy Efficiency Standards for Residential and Nonresidential Buildings (California Code of Regulations, Title 24, Part 6) were adopted to ensure that building construction and system design and installation achieve energy efficiency and preserve outdoor and indoor environmental quality. The current California Building Energy Efficiency Standards (Title 24 standards) are the 2016 Title 24 standards, which became effective on January 1, 2017. The 2016 Title 24 standards include efficiency improvements to the residential standards for attics, walls, water heating, and lighting and efficiency improvements to the non-residential standards include alignment with the American Society of Heating and Air-Conditioning Engineers.

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<sup>17</sup> California Energy Commission. Final 2017 Integrated Energy Policy Report. April 16, 2018.  
[https://www.energy.ca.gov/2017\\_energy/policy/](https://www.energy.ca.gov/2017_energy/policy/)

## *California Building Energy Efficiency Standards (Title 24, Part 11)*

The 2016 California Green Building Standards Code (California Code of Regulations, Title 24, Part 11), commonly referred to as the CALGreen Code, went into effect on January 1, 2017. The 2016 CALGreen Code includes mandatory measures for non-residential development related to site development; energy efficiency; water efficiency and conservation; material conservation and resource efficiency; and environmental quality. Most mandatory measure changes, when compared to the previously applicable 2013 CALGreen Code, were related to the definitions and to the clarification or addition of referenced manuals, handbooks, and standards. For example, several definitions related to energy that were added or revised affect electric vehicle (EV) chargers and charging and hot water recirculation systems. For new multi-family dwelling units, the residential mandatory measures were revised to provide additional EV charging requirements, including quantity, location, size, single EV space, multiple EV spaces, and identification. For nonresidential mandatory measures, the CALGreen table (Table 5.106.5.3.3) identifying the number of required EV charging spaces has been revised in its entirety.

### **Senate Bill 350**

As previously discussed in Section 4 Air Quality Management of this report, Senate Bill 350 (SB 350) was signed into law October 7, 2015, SB 350 increases California's renewable electricity procurement goal from 33 percent by 2020 to 50 percent by 2030. This will increase the use of Renewables Portfolio Standard (RPS) eligible resources, including solar, wind, biomass, geothermal, and others. In addition, SB 350 requires the state to double statewide energy efficiency savings in electricity and natural gas end uses by 2030. To help ensure these goals are met and the greenhouse gas emission reductions are realized, large utilities will be required to develop and submit Integrated Resource Plans (IRPs). These IRPs will detail how each entity will meet their customers resource needs, reduce greenhouse gas emissions and ramp up the deployment of clean energy resources.

### **Assembly Bill 32**

As discussed in Section 4 Air Quality Management of this report, in 2006 the California State Legislature adopted Assembly Bill 32 (AB 32), the California Global Warming Solutions Act of 2006. AB 32 requires CARB, to adopt rules and regulations that would achieve GHG emissions equivalent to statewide levels in 1990 by 2020 through an enforceable statewide emission cap which will be phased in starting in 2012. Emission reductions shall include carbon sequestration projects that would remove carbon from the atmosphere and best management practices that are technologically feasible and cost effective. Please see Section 4 for further detail on AB 32.

### **Assembly Bill 1493/Pavley Regulations**

As discussed Section 4 Air Quality Management of this report, California Assembly Bill 1493 enacted on July 22, 2002, required CARB to develop and adopt regulations that reduce GHGs emitted by passenger vehicles and light duty trucks. In 2005, the CARB submitted a "waiver" request to the EPA from a portion of the federal Clean Air Act in order to allow the State to set more stringent tailpipe emission standards for CO<sub>2</sub> and other GHG emissions from passenger vehicles and light duty trucks. On December 19, 2007 the EPA announced that it denied the "waiver" request. On January 21, 2009, CARB submitted a letter to the EPA administrator regarding the State's request to reconsider the waiver denial. The EPA approved the waiver on June 30, 2009.

### **Executive Order S-1-07/Low Carbon Fuel Standard**

As discussed Section 4 Air Quality Management of this report, Executive Order S-1-07 was issued in 2007 and proclaims that the transportation sector is the main source of GHG emissions in the State, since it generates more than 40 percent of the State's GHG emissions. It establishes a goal to reduce the carbon intensity of transportation fuels sold in the State by at least ten percent by 2020. This Order also directs CARB

to determine whether this Low Carbon Fuel Standard (LCFS) could be adopted as a discrete early-action measure as part of the effort to meet the mandates in AB 32.

On April 23, 2009 CARB approved the proposed regulation to implement the low carbon fuel standard. The low carbon fuel standard is anticipated to reduce GHG emissions by about 16 MMT per year by 2020. The low carbon fuel standard is designed to provide a framework that uses market mechanisms to spur the steady introduction of lower carbon fuels. The framework establishes performance standards that fuel producers and importers must meet each year beginning in 2011. Separate standards are established for gasoline and diesel fuels and the alternative fuels that can replace each. The standards are “back-loaded”, with more reductions required in the last five years, than during the first five years. This schedule allows for the development of advanced fuels that are lower in carbon than today’s fuels and the market penetration of plug-in hybrid electric vehicles, battery electric vehicles, fuel cell vehicles, and flexible fuel vehicles. It is anticipated that compliance with the low carbon fuel standard will be based on a combination of both lower carbon fuels and more efficient vehicles.

Reformulated gasoline mixed with corn-derived ethanol at ten percent by volume and low sulfur diesel fuel represent the baseline fuels. Lower carbon fuels may be ethanol, biodiesel, renewable diesel, or blends of these fuels with gasoline or diesel as appropriate. Compressed natural gas and liquefied natural gas also may be low carbon fuels. Hydrogen and electricity, when used in fuel cells or electric vehicles are also considered as low carbon fuels for the low carbon fuel standard.

## California Air Resources Board

### *CARB’s Advanced Clean Cars Program*

Closely associated with the Pavley regulations, the Advanced Clean Cars emissions control program was approved by CARB in 2012. The program combines the control of smog, soot, and GHGs with requirements for greater numbers of zero-emission vehicles for model years 2015–2025.<sup>15</sup> The components of the Advanced Clean Cars program include the Low-Emission Vehicle (LEV) regulations that reduce criteria pollutants and GHG emissions from light- and medium-duty vehicles, and the Zero-Emission Vehicle (ZEV) regulation, which requires manufacturers to produce an increasing number of pure ZEVs (meaning battery electric and fuel cell electric vehicles), with provisions to also produce plug-in hybrid electric vehicles (PHEV) in the 2018 through 2025 model years.<sup>18</sup>

### *Airborne Toxic Control Measure to Limit Diesel-Fueled Commercial Motor Vehicle Idling*

The Airborne Toxic Control Measure to Limit Diesel-Fueled Commercial Motor Vehicle Idling (Title 13, California Code of Regulations, Division 3, Chapter 10, Section 2435) was adopted to reduce public exposure to diesel particulate matter and other air contaminants by limiting the idling of diesel-fueled commercial motor vehicles. This section applies to diesel-fueled commercial motor vehicles with gross vehicular weight ratings of greater than 10,000 pounds that are or must be licensed for operation on highways. Reducing idling of diesel-fueled commercial motor vehicles reduces the amount of petroleum-based fuel used by the vehicle.

### *Regulation to Reduce Emissions of Diesel Particulate Matter, Oxides of Nitrogen, and other Criteria Pollutants, from In-Use Heavy-Duty Diesel-Fueled Vehicles*

The Regulation to Reduce Emissions of Diesel Particulate Matter, Oxides of Nitrogen and other Criteria Pollutants, from In-Use Heavy-Duty Diesel-Fueled Vehicles (Title 13, California Code of Regulations, Division 3, Chapter 1, Section 2025) was adopted to reduce emissions of diesel particulate matter, oxides of nitrogen (NOX) and other criteria pollutants from in-use diesel-fueled vehicles. This regulation is phased, with full implementation by 2023. The regulation aims to reduce emissions by requiring the installation of diesel soot filters and encouraging the retirement, replacement, or repower of older, dirtier engines with newer emission-

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<sup>18</sup> California Air Resources Board, California’s Advanced Clean Cars Program, January 18, 2017. [www.arb.ca.gov/msprog/acc/acc.htm](http://www.arb.ca.gov/msprog/acc/acc.htm).

controlled models. The newer emission controlled models would use petroleum-based fuel in a more efficient manner.

### **Sustainable Communities Strategy**

The Sustainable Communities and Climate Protection Act of 2008, or Senate Bill 375 (SB 375), coordinates land use planning, regional transportation plans, and funding priorities to help California meet the GHG reduction mandates established in AB 32.

As previously stated in Section 4 Air Quality Management of this report, Senate Bill 375 (SB 375) was adopted September 2008 and aligns regional transportation planning efforts, regional GHG emission reduction targets, and land use and housing allocation. SB 375 requires Metropolitan Planning Organizations (MPO) to adopt a sustainable communities strategy (SCS) or alternate planning strategy (APS) that will prescribe land use allocation in that MPOs Regional Transportation Plan (RTP). CARB, in consultation with each MPO, will provide each affected region with reduction targets for GHGs emitted by passenger cars and light trucks in the region for the years 2020 and 2035. These reduction targets will be updated every eight years but can be updated every four years if advancements in emissions technologies affect the reduction strategies to achieve the targets. CARB is also charged with reviewing each MPO's sustainable communities strategy or alternate planning strategy for consistency with its assigned targets.

The proposed project is located within the Southern California Association of Governments (SCAG) jurisdiction, which has authority to develop the SCS or APS. For the SCAG region, the targets set by CARB are at eight percent below 2005 per capita GHG emissions levels by 2020 and 19 percent below 2005 per capita GHG emissions levels by 2035. These reduction targets became effective October 2018.

## **PROJECT ENERGY DEMANDS AND ENERGY EFFICIENCY MEASURES**

### Evaluation Criteria

In compliance with Appendix G of the State CEQA Guidelines, this report analyzes the project's anticipated energy use to determine if the project would:

- Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- Conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

In addition, Appendix F of the State CEQA Guidelines states that the means of achieving the goal of energy conservation includes the following:

- Decreasing overall per capita energy consumption;
- Decreasing reliance on fossil fuels such as coal, natural gas and oil; and
- Increasing reliance on renewable energy sources.

### Methodology

Information from the CalEEMod 2016.3.2 Daily and Annual Outputs contained in Appendix B and C, utilized for air quality and greenhouse gas analyses in Sections 6, 7, and 8 of this report, were also utilized for this analysis. The CalEEMod outputs detail project related construction equipment, transportation energy demands, and facility energy demands.

## Construction Energy Demands

The construction schedule is anticipated to occur between September 2019 and June 2020 and be completed in one phase. As the proposed project includes renovation of an existing industrial building for a homeless shelter, no import or export of soil will be required. Staging of construction vehicles and equipment will occur on-site. The approximately ten-month schedule is relatively short and the project site is relatively small at approximately 0.34 acres (14,816 square feet).

### *Construction Equipment Electricity Usage Estimates*

As stated previously, Electrical service will be provided by Southern California Edison. The focus within this section is the energy implications of the construction process, specifically the power cost from on-site electricity consumption during construction of the proposed project. Based on the 2017 National Construction Estimator, Richard Pray (2017)<sup>19</sup>, the typical power cost per 1,000 square feet of building construction per month is estimated to be \$2.32. The project plans to develop a 14,816 square foot 100 bed permanent bridge shelter over the course of approximately ten months. Based on Table 14, the total power cost of the on-site electricity usage during the construction of the proposed project is estimated to be approximately \$343.73.

### *Construction Equipment Fuel Estimates*

Fuel consumed by construction equipment would be the primary energy resource expended over the course of project construction. Fuel consumed by construction equipment was evaluated with the following assumptions:

- Construction schedule of 10 months.
- All construction equipment was assumed to run on diesel fuel.
- Typical daily use of 8 hours, with some equipment operating from 4-6 hours per day.
- Aggregate fuel consumption rate for all equipment was estimated at 18.5 hp-hr/day (from CARB's 2017 Emissions Factors Tables and fuel consumption rate factors as shown in Table D-21 of the Moyer Guidelines: ([https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017\\_gl\\_appendix\\_d.pdf](https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017_gl_appendix_d.pdf)).
- Diesel fuel would be the responsibility of the equipment operators/contractors and would be sources within the region.
- Project construction represents a "single-event" for diesel fuel demand and would not require on-going or permanent commitment of diesel fuel resources during long term operation.

Using the CalEEMod data input for the air quality and greenhouse gas analyses (Sections 6, 7, and 8 of this report), the project's construction phase would consume electricity and fossil fuels as a single energy demand, that is, once construction is completed their use would cease. CARB's 2013 Emissions Factors Tables show that on average aggregate fuel consumption (gasoline and diesel fuel) would be approximately 18.5 hp-hr-gal. Table 15 shows the results of the analysis of construction equipment.

As presented in Table 15, project construction activities would consume an estimated 20,131 gallons of diesel fuel. As stated previously, project construction would represent a "single-event" diesel fuel demand and would not require on-going or permanent commitment of diesel fuel resources for this purpose.

### *Construction Worker Fuel Estimates*

It is assumed that all construction worker trips are from light duty autos (LDA) along area roadways. With respect to estimated VMT, the construction worker trips would generate an estimated 33,633 VMT. Data regarding project related construction worker trips were based on CalEEMod 2016.3.2 model defaults.

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<sup>19</sup> Pray, Richard. 2017 National Construction Estimator. Carlsbad : Craftsman Book Company, 2017.

Vehicle fuel efficiencies for construction workers were estimated in the air quality and greenhouse gas analyses (Sections 6, 7, and 8 of this report) using information generated using CARB's EMFAC model. As generated by EMFAC (see Appendix C), LDAs have an aggregate fuel efficiency of 28.57 miles per gallon (mpg), which was used to calculate vehicle miles traveled for construction worker trips. Table 16 shows that an estimated 1,177 gallons of fuel would be consumed for construction worker trips.

#### *Construction Vendor/Hauling Fuel Estimates*

Tables 17 and 18 show the estimated fuel consumption for vendor and hauling during building construction and architectural coating. With respect to estimated VMT, the vendor and hauling trips would generate an estimated 2,843 VMT. Data regarding project related construction worker trips were based on CalEEMod 2016.3.2 model defaults.

For the architectural coatings it is assumed that the contractors would be responsible for bringing coatings and equipment with them in their light duty vehicles. Therefore, vendors delivering construction material or hauling debris from the site during site preparation would use medium to heavy duty vehicles with an average fuel consumption of 8.5 mpg. Tables 17 and 18 show that an estimated 334 gallons of fuel would be consumed for vendor and hauling trips.

#### *Construction Energy Efficiency/Conservation Measures*

Construction equipment used over the approximately ten-month construction phase would conform to CARB regulations and California emissions standards and is evidence of related fuel efficiencies. There are no unusual project characteristics or construction processes that would require the use of equipment that would be more energy intensive than is used for comparable activities; or equipment that would not conform to current emissions standards (and related fuel efficiencies). Equipment employed in construction of the project would therefore not result in inefficient wasteful, or unnecessary consumption of fuel.

The project would utilize construction contractors which practice compliance with applicable CARB regulation regarding retrofitting, repowering, or replacement of diesel off-road construction equipment. Additionally, CARB has adopted the Airborne Toxic Control Measure to limit heavy-duty diesel motor vehicle idling in order to reduce public exposure to diesel particulate matter and other Toxic Air Contaminants. Compliance with these measures would result in a more efficient use of construction-related energy and would minimize or eliminate wasteful or unnecessary consumption of energy. Idling restrictions and the use of newer engines and equipment would result in less fuel combustion and energy consumption.

Additionally, as required by California Code of Regulations Title 13, Motor Vehicles, section 2449(d)(3) Idling, limits idling times of construction vehicles to no more than five minutes, thereby minimizing or eliminating unnecessary and wasteful consumption of fuel due to unproductive idling of construction equipment. Enforcement of idling limitations is realized through periodic site inspections conducted by City building officials, and/or in response to citizen complaints.

Furthermore, this project is the renovation of an existing building occurring over only approximately ten months and would not require very many large pieces of construction equipment.

#### Operational Energy Demands

Energy consumption in support of or related to project operations would include transportation energy demands (energy consumed by employee and shuttle bus accessing the project site) and facilities energy demands (energy consumed by building operations and site maintenance activities).



### *Transportation Fuel Consumption*

Using the CalEEMod output from the air quality and greenhouse gas analyses (Sections 6, 7, and 8 of this report), it is assumed that an average trip for autos and light trucks was assumed to be 14.7 miles and 3- 4-axle trucks were assumed to travel an average of 8.7 miles<sup>20</sup>. To present a worst-case scenario, it was assumed that vehicles would operate 365 days per year rather than the more likely 253 days (excluding weekends and up to 8 holidays). Table 19 shows the estimated annual fuel consumption for all classes of vehicles from autos to heavy-heavy trucks.

The proposed project would generate 149 trips per day; 138 auto and/or light trucks and 11 medium to heavy trucks. The vehicle fleet mix was used from the CalEEMod output. Table 19 shows that an estimated 41,713 gallons of fuel would be consumed per year for the operation of the proposed project.

### *Facility Energy Demands (Electricity and Natural Gas)*

Building operation and site maintenance (including landscape maintenance) would result in the consumption of electricity (provided by Southern California Edison) and natural gas (provided by Southern California Gas Company). The annual natural gas and electricity demands were provided per the CalEEMod output from the air quality and greenhouse gas analyses (Sections 6, 7, and 8 of this report) and are provided in Table 20.

Energy use in buildings is divided into energy consumed by the built environment and energy consumed by uses that are independent of the construction of the building such as in plug-in appliances. In California, the California Building Standards Code Title 24 governs energy consumed by the built environment, mechanical systems, and some types of fixed lighting. Non-building energy use, or “plug-in” energy use can be further subdivided by specific end-use (refrigeration, cooking, appliances, etc.).

## **RENEWABLE ENERGY AND ENERGY EFFICIENCY PLAN CONSISTENCY**

Regarding federal transportation regulations, the project site is located in an already developed area. Access to/from the project site is from existing roads. These roads are already in place so the project would not interfere with, nor otherwise obstruct intermodal transportation plans or projects that may be proposed pursuant to the ISTEA because SCAG is not planning for intermodal facilities in the project area.

Regarding the State’s Energy Plan and compliance with Title 24 CCR energy efficiency standards, the applicant is required to comply with the California Green Building Standard Code requirements for energy efficient buildings and appliances as well as utility energy efficiency programs implemented by Southern California Edison and Southern California Gas Company. CalGreen Standards require that new buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant-emitting finish materials.

Regarding Pavley (AB 1493) regulations, an individual project does not have the ability to comply or conflict with these regulations because they are intended for agencies and their adoption of procedures and protocols for reporting and certifying GHG emission reductions from mobile sources.

California’s Renewables Portfolio Standard (RPS) requires that 33 percent of electricity retail sales be served by renewable energy sources by 2020. The proposed project would be served with gas provided by Southern California Gas (SoCalGas). SoCalGas offers renewable natural gas (RNG) captured from sources like dairies, wastewater treatment plants and landfills.<sup>21</sup> The proposed project would be served with electricity provided by Southern California Edison. Southern California Edison’s 2017 power mix included 32 percent eligible

<sup>20</sup> CalEEMod default distance for H-W (home-work) or C-W (commercial-work) is 14.7 miles; 8.7 miles for H-O (home-other) or C-O (commercial-other).

<sup>21</sup> Southern California Gas (SCG). 2019. Website: <https://www.socalgas.com/>

renewable (biomass and biowaste, geothermal, eligible hydroelectric, solar, and wind), 34 percent unspecified sources of power, 20 percent natural gas, 8 percent large hydroelectric, and 6 percent nuclear.<sup>22</sup> Southern California Edison also offers a Green Rate 50 percent option that sources 66 percent of its power mix from eligible renewable energy sources, and a Green Rate 100 percent option that sources 100 percent of its power mix from eligible renewable energy sources. Southern California Edison is on track to meet the California Renewables Portfolio Standard (RPS) of 33 percent by 2020 mandate.

Finally, as the City of Costa Mesa does not currently have a Climate Action Plan project compliance has been compared to the goals of the CARB Scoping Plan. The Scoping Plan contains measures to reduce the State's emissions, and one of its key elements is to expand and strengthen existing energy efficiency programs as well as building and appliance standards. As shown in Section 8 and Table 11 above, the proposed project is consistent with the applicable strategies of the CARB Scoping Plan.

## CONCLUSIONS

As supported by the preceding analyses, project construction and operations would not result in the inefficient, wasteful or unnecessary consumption of energy. Further, the energy demands of the project can be accommodated within the context of available resources and energy delivery systems. The project would therefore not cause or result in the need for additional energy producing or transmission facilities. The project would not engage in wasteful or inefficient uses of energy and aims to achieve energy conservation goals within the State of California. Notwithstanding, the project proposes a shelter land use and will not have any long-term effects on an energy provider's future energy development or future energy conservation strategies.

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<sup>22</sup> California Energy Commission (CEC). 2018. 2017 Power Content Label – Southern California Edison. July. [https://www.sce.com/sites/default/files/inline-files/2017PCL\\_0.pdf](https://www.sce.com/sites/default/files/inline-files/2017PCL_0.pdf)

**Table 12**  
**Total Electricity System Power (California 2017)**

Fuel Type	California In-State Generation (GWh)	Percent of California In-State Generation	Northwest Imports (GWh)	Southwest Imports (GWh)	California Power Mix (GWh)	Percent California Power Mix
Coal	302	0.15%	409	11,364	12,075	4.13%
Large Hydro	36,920	17.89%	4,531	1,536	42,987	14.72%
Natural Gas	89,564	43.40%	46	8,705	98,315	33.67%
Nuclear	17,925	8.69%	0	8,594	26,519	9.08%
Oil	33	0.02%	0	0	33	0.01%
Other (Petroleum Coke/Waste Heat)	409	0.20%	0	0	409	0.14%
Renewables	61,183	29.65%	12,502	10,999	84,684	29.00%
Biomass	5,827	2.82%	1,015	32	6,874	2.35%
Geothermal	11,745	5.69%	23	937	12,705	4.35%
Small Hydro	6,413	3.11%	1,449	5	7,867	2.70%
Solar	24,331	11.79%	0	5,465	29,796	10.20%
Wind	12,867	6.24%	10,015	4,560	27,442	9.40%
Unspecified Sources of Power	N/A	N/A	22,385	4,632	27,017	9.25%
<b>Total</b>	<b>206,336</b>	<b>100.00%</b>	<b>39,873</b>	<b>45,830</b>	<b>292,039</b>	<b>100.00%</b>

Notes:

(1) Source: California Energy Commission. Total System electric Generation, June 21, 2018.  
[https://www.energy.ca.gov/almanac/electricity\\_data/total\\_system\\_power.html](https://www.energy.ca.gov/almanac/electricity_data/total_system_power.html)

**Table 13**  
**SCE 2017 Power Content Mix**

Energy Resources	2017 SCE Power Mix
Eligible Renewable	29%
Biomass & Waste	2%
Geothermal	4%
Small Hydroelectric	3%
Solar	10%
Wind	10%
Coal	4%
Large Hydroelectric	15%
Natural Gas	34%
Nuclear	9%
Other	<1%
Unspecified Sources of power*	9%
<b>Total</b>	<b>100%</b>

Notes:

(1) [https://www.sce.com/sites/default/files/inline-files/2017PCL\\_0.pdf](https://www.sce.com/sites/default/files/inline-files/2017PCL_0.pdf)

\* Unspecified sources of power means electricity from transactions that are not traceable to specific generation sources.

**Table 14**  
**Project Construction Power Cost and Electricity Usage**

Power Cost (per 1,000 square foot of building per month of construction)	Total Building Size (1,000 Square Foot)	Construction Duration (months)	Total Project Construction Power Cost
\$2.32	14.816	10	\$343.73

**Table 15  
Construction Equipment Fuel Consumption Estimates**

Phase	Number of Days	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor	HP hrs/day	Total Fuel Consumption (gal diesel fuel) <sup>1</sup>
Building Construction	206	Cranes	1	4	231	0.29	268	2,984
	206	Forklifts	2	6	89	0.2	214	2,378
	206	Tractors/Loaders/Backhoes	2	8	97	0.37	574	6,394
Architectrual Coating	11	Air Compressors	1	6	78	0.48	225	134
<b>CONSTRUCTION FUEL DEMAND (gallons of diesel fuel)</b>								<b>20,131</b>

Notes:

- (1) Using Carl Moyer Guidelines Table D-21 Fuel consumption rate factors (bhp-hr/gal) for engines less than 750 hp.  
(Source: [https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017\\_gl\\_appendix\\_d.pdf](https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017_gl_appendix_d.pdf))

**Table 16**  
**Construction Worker Fuel Consumption Estimates**

Phase	Number of Days	Worker Trips/Day	Trip Length (miles)	Vehicle Miles Traveled	Average Vehicle Fuel Economy (mpg)	Estimated Fuel Consumption (gallons)
Building Construction	206	11	14.7	33,310	28.57	1,166
Architectural Coating	11	2	14.7	323	28.57	11
<b>Total Construction Worker Fuel Consumption</b>						<b>1,177</b>

Notes:

(1) Assumptions for the worker trip length and vehicle miles traveled are consistent with CalEEMod 2016.3.2 defaults.

**Table 17**  
**Construction Vendor Fuel Consumption Estimates (MHD Trucks)<sup>1</sup>**

Phase	Number of Days	Vendor Trips/Day	Trip Length (miles)	Vehicle Miles Traveled	Average Vehicle Fuel Economy (mpg)	Estimated Fuel Consumption (gallons)
Building Construction	206	2	6.9	2,843	8.5	334
Architectural Coating	11	0	6.9	0	8.5	0
<b>Total Construction Worker Fuel Consumption</b>						<b>334</b>

Notes:

(1) Assumptions for the vendor trip length and vehicle miles traveled are consistent with CalEEMod 2016.3.2 defaults.



**Table 18**  
**Construction Hauling Fuel Consumption Estimates (HHD Trucks)<sup>1</sup>**

Phase	Number of Days	Hauling Trips/Day	Trip Length (miles)	Vehicle Miles Traveled	Average Vehicle Fuel Economy (mpg)	Estimated Fuel Consumption (gallons)
Building Construction	206	0	20	0	8.5	0
Architectural Coating	11	0	20	0	8.5	0
<b>Total Construction Worker Fuel Consumption</b>						<b>0</b>

Notes:

(1) Assumptions for the hauling trip length and vehicle miles traveled are consistent with CalEEMod 2016.3.2 defaults.

**Table 19**  
**Estimated Vehicle Operations Fuel Consumption**

Vehicle Type	Vehicle Mix	Number of Vehicles	Average Trip (miles) <sup>1</sup>	Daily VMT	Average Fuel Economy (mpg)	Total Gallons per Day	Total Annual Fuel Consumption (gallons)
Light Auto	Automobile	83	14.7	1220	28.57	42.71	15,588
Light Truck	Automobile	7	14.7	103	14.08	7.31	2,668
Light Truck	Automobile	31	14.7	456	14.08	32.37	11,813
Medium Truck	Automobile	17	8.7	148	8.5	17.40	6,351
Light Heavy Truck	2-Axle Truck	3	8.7	26	8.5	3.07	1,121
Light Heavy Truck	2-Axle Truck	1	8.7	9	8.5	1.02	374
Medium Heavy Truck	3-Axle Truck	4	8.7	35	5.85	5.95	2,171
Heavy Heavy Truck	4-Axle Truck	3	8.7	26	5.85	4.46	1,628
Total		149	--	2,022	11.74	114.28	--
<b>Total Annual Fuel Consumption</b>							<b>41,713</b>

Notes:

(1) Based on the size of the site and relative location, trips were assumed to be local rather than regional.

**Table 20**  
**Project Annual Operational Energy Demand Summary<sup>1</sup>**

Natural Gas Demand	kBTU/year
Bridge Shelter	169,309

Electricity Demand	kWh/year
Bridge Shelter	58,898

Notes:

(1) Taken from the CalEEMod 2016.3.2 annual output (Appendix C of this report).

## 10. AIR QUALITY COMPLIANCE

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The California Environmental Quality Act (CEQA) requires a discussion of any inconsistencies between a proposed project and applicable General Plans and Regional Plans (CEQA Guidelines Section 15125). The regional plan that applies to the proposed project includes the SCAQMD Air Quality Management Plan (AQMP). Therefore, this section discusses any potential inconsistencies of the proposed project with the AQMP.

The purpose of this discussion is to set forth the issues regarding consistency with the assumptions and objectives of the AQMP and discuss whether the proposed project would interfere with the region's ability to comply with Federal and State air quality standards. If the decision-makers determine that the proposed project is inconsistent, the lead agency may consider project modifications or inclusion of mitigation to eliminate the inconsistency.

The SCAQMD CEQA Handbook states that "New or amended General Plan Elements (including land use zoning and density amendments), Specific Plans, and significant projects must be analyzed for consistency with the AQMP". Strict consistency with all aspects of the plan is usually not required. A proposed project should be considered to be consistent with the AQMP if it furthers one or more policies and does not obstruct other policies. The SCAQMD CEQA Handbook identifies two key indicators of consistency:

- (1) Whether the project will result in an increase in the frequency or severity of existing air quality violations or cause or contribute to new violations, or delay timely attainment of air quality standards or the interim emission reductions specified in the AQMP.
- (2) Whether the project will exceed the assumptions in the AQMP in 2016 or increments based on the year of project buildout and phase.

Both of these criteria are evaluated in the following sections.

### CRITERIA 1 - INCREASE IN THE FREQUENCY OR SEVERITY OF VIOLATIONS

Based on the air quality modeling analysis contained in this Air Analysis, short-term construction impacts will not result in significant impacts based on the SCAQMD regional and local thresholds of significance. This Air Analysis also found that long-term operations impacts will not result in significant impacts based on the SCAQMD local and regional thresholds of significance.

Therefore, the proposed project is not projected to contribute to the exceedance of any air pollutant concentration standards and is found to be consistent with the AQMP for the first criterion.

### CRITERIA 2 - EXCEED ASSUMPTIONS IN THE AQMP?

Consistency with the AQMP assumptions is determined by performing an analysis of the proposed project with the assumptions in the AQMP. The emphasis of this criterion is to ensure that the analyses conducted for the proposed project are based on the same forecasts as the AQMP. The 2016-2040 Regional Transportation/Sustainable Communities Strategy prepared by SCAG (2016) includes chapters on: the challenges in a changing region, creating a plan for our future, and the road to greater mobility and sustainable growth. These chapters currently respond directly to federal and state requirements placed on SCAG. Local governments are required to use these as the basis of their plans for purposes of consistency with applicable regional plans under CEQA. For this project, the City of Costa Mesa Land Use Plan defines the assumptions that are represented in the AQMP.

The general plan land use designation for the site is Industrial Park (MP) and the site is zoned Industrial Park (MP). Per the City of Costa Mesa, a combination of residential, institutional, and commercial uses may be allowed in areas designated as Industrial Park in the General Plan through the Planned Development process;

however, emergency shelters are only permitted in the Planning Development Industrial (PDI) zone, with a maximum allowance of 30 beds at each shelter. Therefore, the project is proposing a Code Amendment that will modify the Citywide Land Use Matrix to allow emergency shelters in the MP zone. A Conditional Use Permit (CUP) would be required prior to operation of an emergency shelter in an MP zone.

Therefore, the proposed project is not currently consistent with the existing zoning. However, once the Code Amendment is approved, the project would be consistent with the City's zoning. Although the project may initially result in an inconsistency with the AQMP on paper, the inconsistency would not necessarily constitute a conflict with the AQMP. The SCAQMD acknowledges that strict consistency with all aspects of the AQMP is not required in order to make a finding of no conflict. Rather, a project is considered to be consistent with the AQMP if it furthers one or more policies and does not obstruct other policies. The project would implement contemporary energy-efficient technologies and regulatory/operational programs required per Title 24, CalGreen and City standards. Generally, compliance with SCAQMD emissions reductions and control requirements also act to reduce project air pollutant emissions. Project compliance with regulatory/operational programs is consistent with and supports overarching AQMP air pollution reduction strategies. Project support of these strategies promotes timely attainment of AQMP air quality standards and would bring the project into conformance with the AQMP. Therefore, the proposed project is not anticipated to exceed the AQMP assumptions for the project site and is found to be consistent with the AQMP for the second criterion.

Based on the above, the proposed project will not result in an inconsistency with the SCAQMD AQMP. Therefore, a less than significant impact will occur.

# 11. MITIGATION MEASURES

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## CONSTRUCTION MEASURES

No construction mitigation required.

## OPERATIONAL MEASURES

No operational mitigation required.

## 12. REFERENCES

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### California Air Resources Board

- 2008 Resolution 08-43
- 2008 Recommended Approaches for Setting Interim Significance Thresholds for Greenhouse Gases under the California Environmental Quality Act
- 2008 Climate Change Scoping Plan, a framework for change.
- 2011 Supplement to the AB 32 Scoping Plan Functional Equivalent Document
- 2013 Almanac of Emissions and Air Quality.  
Source: <https://www.arb.ca.gov/aqd/almanac/almanac13/almanac13.htm>
- 2014 First Update to the Climate Change Scoping Plan, Building on the Framework Pursuant to AB32, the California Global Warming Solutions Act of 2006. May.
- 2017 California's 2017 Climate Change Scoping Plan. November.
- 2019 Historical Air Quality, Top 4 Summary

### City of Costa Mesa

- 2016 City of Costa Mesa 2015 to 2035 General Plan.
- 2019 City of Costa Mesa Department of Public Services/Transportation Services Division. Revised 3175 Airway Trip Generation Memorandum. May 3.

### Governor's Office of Planning and Research

- 2008 CEQA and Climate: Addressing Climate Change Through California Environmental Quality Act (CEQA) Review
- 2018 CEQA Guideline Sections to be Added or Amended

### Intergovernmental Panel on Climate Change (IPCC).

- 2014 IPCC Fifth Assessment Report, Climate Change 2014: Synthesis Report

### Office of Environmental Health Hazard Assessment

- 2015 Air Toxics Hot Spots Program Risk Assessment Guidelines

### South Coast Air Quality Management District

- 1993 CEQA Air Quality Handbook
- 2005 Rule 403 Fugitive Dust
- 2007 2007 Air Quality Management Plan

- 2008 Final Localized Significance Threshold Methodology, Revised
- 2012 Final 2012 Air Quality Management Plan
- 2016 2016 Air Quality Management Plan
- 2018 Historical Data by Year. 2013, 2014 and 2015 Air Quality Data Tables.  
Source: <http://www.aqmd.gov/home/library/air-quality-data-studies/historical-data-by-year>

#### **Southern California Association of Governments**

- 2016 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy

#### **U.S. Environmental Protection Agency (EPA)**

- 2017 Understanding Global Warming Potentials  
(Source: <https://www.epa.gov/ghgemissions/understanding-global-warming-potentials>)

#### **U.S. Geological Survey**

- 2011 Reported Historic Asbestos Mines, Historic Asbestos Prospects, and Other Natural Occurrences of Asbestos in California



## **APPENDICES**

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Appendix A Glossary of Terms

Appendix B CalEEMod Model Daily Emissions Printouts

Appendix C CalEEMod Model Annual Emissions Printouts and EMFAC

**APPENDIX A**  
**GLOSSARY OF TERMS**

AQMP	Air Quality Management Plan
BACT	Best Available Control Technologies
CAAQS	California Ambient Air Quality Standards
CalEPA	California Environmental Protection Agency
CARB	California Air Resources Board
CCAA	California Clean Air Act
CCAR	California Climate Action Registry
CEQA	California Environmental Quality Act
CFCs	Chlorofluorocarbons
CH <sub>4</sub>	Methane
CNG	Compressed natural gas
CO	Carbon monoxide
CO <sub>2</sub>	Carbon dioxide
CO <sub>2</sub> e	Carbon dioxide equivalent
DPM	Diesel particulate matter
EPA	U.S. Environmental Protection Agency
GHG	Greenhouse gas
GWP	Global warming potential
HIDPM	Hazard Index Diesel Particulate Matter
HFCs	Hydrofluorocarbons
IPCC	International Panel on Climate Change
LCFS	Low Carbon Fuel Standard
LST	Localized Significant Thresholds
MTCO <sub>2</sub> e	Metric tons of carbon dioxide equivalent
MMTCO <sub>2</sub> e	Million metric tons of carbon dioxide equivalent
MPO	Metropolitan Planning Organization
NAAQS	National Ambient Air Quality Standards
NO <sub>x</sub>	Nitrogen Oxides
NO <sub>2</sub>	Nitrogen dioxide
N <sub>2</sub> O	Nitrous oxide
O <sub>3</sub>	Ozone
OPR	Governor's Office of Planning and Research
PFCs	Perfluorocarbons
PM	Particle matter
PM <sub>10</sub>	Particles that are less than 10 micrometers in diameter
PM <sub>2.5</sub>	Particles that are less than 2.5 micrometers in diameter
PMI	Point of maximum impact
PPM	Parts per million
PPB	Parts per billion
RTIP	Regional Transportation Improvement Plan
RTP	Regional Transportation Plan
SANBAG	San Bernardino Association of Governments
SCAB	South Coast Air Basin
SCAG	Southern California Association of Governments
SCAQMD	South Coast Air Quality Management District
SSAB	Salton Sea Air Basin
SF <sub>6</sub>	Sulfur hexafluoride
SIP	State Implementation Plan
SO <sub>x</sub>	Sulfur Oxides
TAC	Toxic air contaminants
VOC	Volatile organic compounds

**APPENDIX B**

**CALEEMOD MODEL DAILY EMISSIONS PRINTOUTS**

19-0118 Permanent Bridge Shelter - Orange County, Summer

**19-0118 Permanent Bridge Shelter  
Orange County, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Congregate Care (Assisted Living)	14.82	Dwelling Unit	0.34	14,816.00	42

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2020
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MW hr)</b>	702.44	<b>CH4 Intensity (lb/MW hr)</b>	0.029	<b>N2O Intensity (lb/MW hr)</b>	0.006

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use - Renovation of existing bldg to have a 14,816 sf bridge shelter with 100 beds.

Construction Phase - Project is renovation of existing building, only building construction & architectural coating needed. Construction anticipated to start no earlier than Sept 2019 & be completed by end of June 2020.

Vehicle Trips - Per City Trip Gen Memo, 149 total trips. 149 trips /14.816 TSF = 10.06 trips/TSF.

Woodstoves - SCAQMD Rule 445 prohibits the installation of wood burning devices in new developments.

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation -

Waste Mitigation - AB 341 requires that 75 percent of waste be diverted from landfills by 2020.

## 19-0118 Permanent Bridge Shelter - Orange County, Summer

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	5.00	11.00
tblConstructionPhase	NumDays	100.00	206.00
tblConstructionPhase	PhaseEndDate	1/24/2020	6/30/2020
tblConstructionPhase	PhaseEndDate	1/17/2020	6/15/2020
tblConstructionPhase	PhaseStartDate	1/18/2020	6/16/2020
tblFireplaces	NumberGas	12.60	13.34
tblFireplaces	NumberWood	0.74	0.00
tblLandUse	LotAcreage	0.93	0.34
tblVehicleTrips	ST_TR	2.20	10.06
tblVehicleTrips	SU_TR	2.44	10.06
tblVehicleTrips	WD_TR	2.74	10.06
tblWoodstoves	NumberCatalytic	0.74	0.00
tblWoodstoves	NumberNoncatalytic	0.74	0.00

## 2.0 Emissions Summary

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19-0118 Permanent Bridge Shelter - Orange County, Summer

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.0104	10.0774	7.9956	0.0131	0.1357	0.6077	0.7435	0.0363	0.5592	0.5954	0.0000	1,306.1388	1,306.1388	0.3644	0.0000	1,315.2497
2020	8.6778	9.0873	7.8025	0.0131	0.1357	0.5243	0.6600	0.0363	0.4824	0.5187	0.0000	1,277.1087	1,277.1087	0.3639	0.0000	1,286.2048
<b>Maximum</b>	<b>8.6778</b>	<b>10.0774</b>	<b>7.9956</b>	<b>0.0131</b>	<b>0.1357</b>	<b>0.6077</b>	<b>0.7435</b>	<b>0.0363</b>	<b>0.5592</b>	<b>0.5954</b>	<b>0.0000</b>	<b>1,306.1388</b>	<b>1,306.1388</b>	<b>0.3644</b>	<b>0.0000</b>	<b>1,315.2497</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.0104	10.0774	7.9956	0.0131	0.1357	0.6077	0.7435	0.0363	0.5592	0.5954	0.0000	1,306.1388	1,306.1388	0.3644	0.0000	1,315.2497
2020	8.6778	9.0873	7.8025	0.0131	0.1357	0.5243	0.6600	0.0363	0.4824	0.5187	0.0000	1,277.1087	1,277.1087	0.3639	0.0000	1,286.2048
<b>Maximum</b>	<b>8.6778</b>	<b>10.0774</b>	<b>7.9956</b>	<b>0.0131</b>	<b>0.1357</b>	<b>0.6077</b>	<b>0.7435</b>	<b>0.0363</b>	<b>0.5592</b>	<b>0.5954</b>	<b>0.0000</b>	<b>1,306.1388</b>	<b>1,306.1388</b>	<b>0.3644</b>	<b>0.0000</b>	<b>1,315.2497</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274
Energy	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
Mobile	0.2551	1.0469	3.4795	0.0126	1.0803	0.0123	1.0926	0.2889	0.0115	0.3004		1,276.0466	1,276.0466	0.0531		1,277.3751
<b>Total</b>	<b>0.6421</b>	<b>1.3251</b>	<b>4.8183</b>	<b>0.0143</b>	<b>1.0803</b>	<b>0.0404</b>	<b>1.1207</b>	<b>0.2889</b>	<b>0.0396</b>	<b>0.3285</b>	<b>0.0000</b>	<b>1,615.3135</b>	<b>1,615.3135</b>	<b>0.0618</b>	<b>6.1800e-003</b>	<b>1,618.6987</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274
Energy	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
Mobile	0.2551	1.0469	3.4795	0.0126	1.0803	0.0123	1.0926	0.2889	0.0115	0.3004		1,276.0466	1,276.0466	0.0531		1,277.3751
<b>Total</b>	<b>0.6421</b>	<b>1.3251</b>	<b>4.8183</b>	<b>0.0143</b>	<b>1.0803</b>	<b>0.0404</b>	<b>1.1207</b>	<b>0.2889</b>	<b>0.0396</b>	<b>0.3285</b>	<b>0.0000</b>	<b>1,615.3135</b>	<b>1,615.3135</b>	<b>0.0618</b>	<b>6.1800e-003</b>	<b>1,618.6987</b>



19-0118 Permanent Bridge Shelter - Orange County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

### 3.0 Construction Detail

#### Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Building Construction	Building Construction	9/1/2019	6/15/2020	5	206	
2	Architectural Coating	Architectural Coating	6/16/2020	6/30/2020	5	11	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 0

Acres of Paving: 0

Residential Indoor: 30,002; Residential Outdoor: 10,001; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural Coating – sqft)

#### OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

#### Trips and VMT

19-0118 Permanent Bridge Shelter - Orange County, Summer

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Building Construction	5	11.00	2.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	2.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

Water Exposed Area

Reduce Vehicle Speed on Unpaved Roads

**3.2 Building Construction - 2019**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569		1,127.6696	1,127.6696	0.3568		1,136.5892
<b>Total</b>	<b>0.9576</b>	<b>9.8207</b>	<b>7.5432</b>	<b>0.0114</b>		<b>0.6054</b>	<b>0.6054</b>		<b>0.5569</b>	<b>0.5569</b>		<b>1,127.6696</b>	<b>1,127.6696</b>	<b>0.3568</b>		<b>1,136.5892</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**3.2 Building Construction - 2019**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	7.5000e-003	0.2270	0.0600	5.0000e-004	0.0128	1.5300e-003	0.0143	3.6800e-003	1.4700e-003	5.1400e-003		54.5938	54.5938	4.6100e-003		54.7090
Worker	0.0453	0.0297	0.3924	1.2400e-003	0.1230	8.2000e-004	0.1238	0.0326	7.6000e-004	0.0334		123.8754	123.8754	3.0500e-003		123.9516
<b>Total</b>	<b>0.0528</b>	<b>0.2567</b>	<b>0.4524</b>	<b>1.7400e-003</b>	<b>0.1357</b>	<b>2.3500e-003</b>	<b>0.1381</b>	<b>0.0363</b>	<b>2.2300e-003</b>	<b>0.0385</b>		<b>178.4692</b>	<b>178.4692</b>	<b>7.6600e-003</b>		<b>178.6606</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	0.0000	1,127.6696	1,127.6696	0.3568		1,136.5892
<b>Total</b>	<b>0.9576</b>	<b>9.8207</b>	<b>7.5432</b>	<b>0.0114</b>		<b>0.6054</b>	<b>0.6054</b>		<b>0.5569</b>	<b>0.5569</b>	<b>0.0000</b>	<b>1,127.6696</b>	<b>1,127.6696</b>	<b>0.3568</b>		<b>1,136.5892</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**3.2 Building Construction - 2019**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	7.5000e-003	0.2270	0.0600	5.0000e-004	0.0128	1.5300e-003	0.0143	3.6800e-003	1.4700e-003	5.1400e-003		54.5938	54.5938	4.6100e-003		54.7090
Worker	0.0453	0.0297	0.3924	1.2400e-003	0.1230	8.2000e-004	0.1238	0.0326	7.6000e-004	0.0334		123.8754	123.8754	3.0500e-003		123.9516
<b>Total</b>	<b>0.0528</b>	<b>0.2567</b>	<b>0.4524</b>	<b>1.7400e-003</b>	<b>0.1357</b>	<b>2.3500e-003</b>	<b>0.1381</b>	<b>0.0363</b>	<b>2.2300e-003</b>	<b>0.0385</b>		<b>178.4692</b>	<b>178.4692</b>	<b>7.6600e-003</b>		<b>178.6606</b>

**3.2 Building Construction - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806		1,102.9781	1,102.9781	0.3567		1,111.8962
<b>Total</b>	<b>0.8617</b>	<b>8.8523</b>	<b>7.3875</b>	<b>0.0114</b>		<b>0.5224</b>	<b>0.5224</b>		<b>0.4806</b>	<b>0.4806</b>		<b>1,102.9781</b>	<b>1,102.9781</b>	<b>0.3567</b>		<b>1,111.8962</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**3.2 Building Construction - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	6.3900e-003	0.2084	0.0550	5.0000e-004	0.0128	1.0900e-003	0.0139	3.6800e-003	1.0400e-003	4.7200e-003		54.2258	54.2258	4.3900e-003		54.3354
Worker	0.0423	0.0266	0.3601	1.2000e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		119.9048	119.9048	2.7300e-003		119.9731
<b>Total</b>	<b>0.0487</b>	<b>0.2350</b>	<b>0.4151</b>	<b>1.7000e-003</b>	<b>0.1357</b>	<b>1.9000e-003</b>	<b>0.1376</b>	<b>0.0363</b>	<b>1.7900e-003</b>	<b>0.0381</b>		<b>174.1306</b>	<b>174.1306</b>	<b>7.1200e-003</b>		<b>174.3086</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806	0.0000	1,102.9781	1,102.9781	0.3567		1,111.8962
<b>Total</b>	<b>0.8617</b>	<b>8.8523</b>	<b>7.3875</b>	<b>0.0114</b>		<b>0.5224</b>	<b>0.5224</b>		<b>0.4806</b>	<b>0.4806</b>	<b>0.0000</b>	<b>1,102.9781</b>	<b>1,102.9781</b>	<b>0.3567</b>		<b>1,111.8962</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**3.2 Building Construction - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	6.3900e-003	0.2084	0.0550	5.0000e-004	0.0128	1.0900e-003	0.0139	3.6800e-003	1.0400e-003	4.7200e-003		54.2258	54.2258	4.3900e-003		54.3354
Worker	0.0423	0.0266	0.3601	1.2000e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		119.9048	119.9048	2.7300e-003		119.9731
<b>Total</b>	<b>0.0487</b>	<b>0.2350</b>	<b>0.4151</b>	<b>1.7000e-003</b>	<b>0.1357</b>	<b>1.9000e-003</b>	<b>0.1376</b>	<b>0.0363</b>	<b>1.7900e-003</b>	<b>0.0381</b>		<b>174.1306</b>	<b>174.1306</b>	<b>7.1200e-003</b>		<b>174.3086</b>

**3.3 Architectural Coating - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	8.4279					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109		281.4481	281.4481	0.0218		281.9928
<b>Total</b>	<b>8.6701</b>	<b>1.6838</b>	<b>1.8314</b>	<b>2.9700e-003</b>		<b>0.1109</b>	<b>0.1109</b>		<b>0.1109</b>	<b>0.1109</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0218</b>		<b>281.9928</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**3.3 Architectural Coating - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	7.6900e-003	4.8400e-003	0.0655	2.2000e-004	0.0224	1.5000e-004	0.0225	5.9300e-003	1.4000e-004	6.0600e-003		21.8009	21.8009	5.0000e-004		21.8133
<b>Total</b>	<b>7.6900e-003</b>	<b>4.8400e-003</b>	<b>0.0655</b>	<b>2.2000e-004</b>	<b>0.0224</b>	<b>1.5000e-004</b>	<b>0.0225</b>	<b>5.9300e-003</b>	<b>1.4000e-004</b>	<b>6.0600e-003</b>		<b>21.8009</b>	<b>21.8009</b>	<b>5.0000e-004</b>		<b>21.8133</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	8.4279					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928
<b>Total</b>	<b>8.6701</b>	<b>1.6838</b>	<b>1.8314</b>	<b>2.9700e-003</b>		<b>0.1109</b>	<b>0.1109</b>		<b>0.1109</b>	<b>0.1109</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0218</b>		<b>281.9928</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**3.3 Architectural Coating - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	7.6900e-003	4.8400e-003	0.0655	2.2000e-004	0.0224	1.5000e-004	0.0225	5.9300e-003	1.4000e-004	6.0600e-003		21.8009	21.8009	5.0000e-004		21.8133
<b>Total</b>	<b>7.6900e-003</b>	<b>4.8400e-003</b>	<b>0.0655</b>	<b>2.2000e-004</b>	<b>0.0224</b>	<b>1.5000e-004</b>	<b>0.0225</b>	<b>5.9300e-003</b>	<b>1.4000e-004</b>	<b>6.0600e-003</b>		<b>21.8009</b>	<b>21.8009</b>	<b>5.0000e-004</b>		<b>21.8133</b>

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**



19-0118 Permanent Bridge Shelter - Orange County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.2551	1.0469	3.4795	0.0126	1.0803	0.0123	1.0926	0.2889	0.0115	0.3004		1,276.0466	1,276.0466	0.0531		1,277.3751
Unmitigated	0.2551	1.0469	3.4795	0.0126	1.0803	0.0123	1.0926	0.2889	0.0115	0.3004		1,276.0466	1,276.0466	0.0531		1,277.3751

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Congregate Care (Assisted Living)	149.05	149.05	149.05	509,323	509,323
Total	149.05	149.05	149.05	509,323	509,323

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Congregate Care (Assisted Living)	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Congregate Care (Assisted Living)	0.555968	0.043848	0.210359	0.116378	0.016765	0.005795	0.025008	0.016160	0.001677	0.001586	0.004867	0.000586	0.001002

5.0 Energy Detail

19-0118 Permanent Bridge Shelter - Orange County, Summer

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
NaturalGas Unmitigated	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Congregate Care (Assisted Living)	463.861	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
<b>Total</b>		<b>5.0000e-003</b>	<b>0.0428</b>	<b>0.0182</b>	<b>2.7000e-004</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>54.5719</b>	<b>54.5719</b>	<b>1.0500e-003</b>	<b>1.0000e-003</b>	<b>54.8962</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**5.2 Energy by Land Use - Natural Gas**

**Mitigated**

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Congregate Care (Assisted Living)	0.463861	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
<b>Total</b>		<b>5.0000e-003</b>	<b>0.0428</b>	<b>0.0182</b>	<b>2.7000e-004</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>54.5719</b>	<b>54.5719</b>	<b>1.0500e-003</b>	<b>1.0000e-003</b>	<b>54.8962</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274
Unmitigated	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274

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**6.2 Area by SubCategory**

**Unmitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0254					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.2934					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0259	0.2213	0.0942	1.4100e-003		0.0179	0.0179		0.0179	0.0179	0.0000	282.4941	282.4941	5.4100e-003	5.1800e-003	284.1728
Landscaping	0.0374	0.0142	1.2264	6.0000e-005		6.7400e-003	6.7400e-003		6.7400e-003	6.7400e-003		2.2010	2.2010	2.1500e-003		2.2546
<b>Total</b>	<b>0.3820</b>	<b>0.2355</b>	<b>1.3206</b>	<b>1.4700e-003</b>		<b>0.0246</b>	<b>0.0246</b>		<b>0.0246</b>	<b>0.0246</b>	<b>0.0000</b>	<b>284.6951</b>	<b>284.6951</b>	<b>7.5600e-003</b>	<b>5.1800e-003</b>	<b>286.4274</b>

19-0118 Permanent Bridge Shelter - Orange County, Summer

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0254					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.2934					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0259	0.2213	0.0942	1.4100e-003		0.0179	0.0179		0.0179	0.0179	0.0000	282.4941	282.4941	5.4100e-003	5.1800e-003	284.1728
Landscaping	0.0374	0.0142	1.2264	6.0000e-005		6.7400e-003	6.7400e-003		6.7400e-003	6.7400e-003		2.2010	2.2010	2.1500e-003		2.2546
<b>Total</b>	<b>0.3820</b>	<b>0.2355</b>	<b>1.3206</b>	<b>1.4700e-003</b>		<b>0.0246</b>	<b>0.0246</b>		<b>0.0246</b>	<b>0.0246</b>	<b>0.0000</b>	<b>284.6951</b>	<b>284.6951</b>	<b>7.5600e-003</b>	<b>5.1800e-003</b>	<b>286.4274</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

**8.0 Waste Detail**

**8.1 Mitigation Measures Waste**

Institute Recycling and Composting Services

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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19-0118 Permanent Bridge Shelter - Orange County, Summer

**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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19-0118 Permanent Bridge Shelter - Orange County, Winter

**19-0118 Permanent Bridge Shelter  
Orange County, Winter**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Congregate Care (Assisted Living)	14.82	Dwelling Unit	0.34	14,816.00	42

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2020
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MW hr)</b>	702.44	<b>CH4 Intensity (lb/MW hr)</b>	0.029	<b>N2O Intensity (lb/MW hr)</b>	0.006

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use - Renovation of existing bldg to have a 14,816 sf bridge shelter with 100 beds.

Construction Phase - Project is renovation of existing building, only building construction & architectural coating needed. Construction anticipated to start no earlier than Sept 2019 & be completed by end of June 2020.

Vehicle Trips - Per City Trip Gen Memo, 149 total trips. 149 trips /14.816 TSF = 10.06 trips/TSF.

Woodstoves - SCAQMD Rule 445 prohibits the installation of wood burning devices in new developments.

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation -

Waste Mitigation - AB 341 requires that 75 percent of waste be diverted from landfills by 2020.

## 19-0118 Permanent Bridge Shelter - Orange County, Winter

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	5.00	11.00
tblConstructionPhase	NumDays	100.00	206.00
tblConstructionPhase	PhaseEndDate	1/24/2020	6/30/2020
tblConstructionPhase	PhaseEndDate	1/17/2020	6/15/2020
tblConstructionPhase	PhaseStartDate	1/18/2020	6/16/2020
tblFireplaces	NumberGas	12.60	13.34
tblFireplaces	NumberWood	0.74	0.00
tblLandUse	LotAcreage	0.93	0.34
tblVehicleTrips	ST_TR	2.20	10.06
tblVehicleTrips	SU_TR	2.44	10.06
tblVehicleTrips	WD_TR	2.74	10.06
tblWoodstoves	NumberCatalytic	0.74	0.00
tblWoodstoves	NumberNoncatalytic	0.74	0.00

## 2.0 Emissions Summary

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19-0118 Permanent Bridge Shelter - Orange County, Winter

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.0165	10.0806	7.9724	0.0131	0.1357	0.6078	0.7435	0.0363	0.5592	0.5955	0.0000	1,298.1758	1,298.1758	0.3645	0.0000	1,307.2888
2020	8.6788	9.0899	7.7805	0.0130	0.1357	0.5243	0.6600	0.0363	0.4824	0.5187	0.0000	1,269.3496	1,269.3496	0.3639	0.0000	1,278.4476
<b>Maximum</b>	<b>8.6788</b>	<b>10.0806</b>	<b>7.9724</b>	<b>0.0131</b>	<b>0.1357</b>	<b>0.6078</b>	<b>0.7435</b>	<b>0.0363</b>	<b>0.5592</b>	<b>0.5955</b>	<b>0.0000</b>	<b>1,298.1758</b>	<b>1,298.1758</b>	<b>0.3645</b>	<b>0.0000</b>	<b>1,307.2888</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.0165	10.0806	7.9724	0.0131	0.1357	0.6078	0.7435	0.0363	0.5592	0.5955	0.0000	1,298.1758	1,298.1758	0.3645	0.0000	1,307.2888
2020	8.6788	9.0899	7.7805	0.0130	0.1357	0.5243	0.6600	0.0363	0.4824	0.5187	0.0000	1,269.3496	1,269.3496	0.3639	0.0000	1,278.4476
<b>Maximum</b>	<b>8.6788</b>	<b>10.0806</b>	<b>7.9724</b>	<b>0.0131</b>	<b>0.1357</b>	<b>0.6078</b>	<b>0.7435</b>	<b>0.0363</b>	<b>0.5592</b>	<b>0.5955</b>	<b>0.0000</b>	<b>1,298.1758</b>	<b>1,298.1758</b>	<b>0.3645</b>	<b>0.0000</b>	<b>1,307.2888</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274
Energy	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
Mobile	0.2513	1.0804	3.3262	0.0120	1.0803	0.0123	1.0926	0.2889	0.0116	0.3005		1,219.042 2	1,219.042 2	0.0529		1,220.363 4
<b>Total</b>	<b>0.6383</b>	<b>1.3586</b>	<b>4.6650</b>	<b>0.0138</b>	<b>1.0803</b>	<b>0.0404</b>	<b>1.1207</b>	<b>0.2889</b>	<b>0.0397</b>	<b>0.3285</b>	<b>0.0000</b>	<b>1,558.309 1</b>	<b>1,558.309 1</b>	<b>0.0615</b>	<b>6.1800e-003</b>	<b>1,561.687 0</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274
Energy	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
Mobile	0.2513	1.0804	3.3262	0.0120	1.0803	0.0123	1.0926	0.2889	0.0116	0.3005		1,219.042 2	1,219.042 2	0.0529		1,220.363 4
<b>Total</b>	<b>0.6383</b>	<b>1.3586</b>	<b>4.6650</b>	<b>0.0138</b>	<b>1.0803</b>	<b>0.0404</b>	<b>1.1207</b>	<b>0.2889</b>	<b>0.0397</b>	<b>0.3285</b>	<b>0.0000</b>	<b>1,558.309 1</b>	<b>1,558.309 1</b>	<b>0.0615</b>	<b>6.1800e-003</b>	<b>1,561.687 0</b>

## 19-0118 Permanent Bridge Shelter - Orange County, Winter

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail****Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Building Construction	Building Construction	9/1/2019	6/15/2020	5	206	
2	Architectural Coating	Architectural Coating	6/16/2020	6/30/2020	5	11	

**Acres of Grading (Site Preparation Phase): 0****Acres of Grading (Grading Phase): 0****Acres of Paving: 0****Residential Indoor: 30,002; Residential Outdoor: 10,001; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural Coating – sqft)****OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

19-0118 Permanent Bridge Shelter - Orange County, Winter

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Building Construction	5	11.00	2.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	2.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

Water Exposed Area

Reduce Vehicle Speed on Unpaved Roads

**3.2 Building Construction - 2019**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569		1,127.6696	1,127.6696	0.3568		1,136.5892
<b>Total</b>	<b>0.9576</b>	<b>9.8207</b>	<b>7.5432</b>	<b>0.0114</b>		<b>0.6054</b>	<b>0.6054</b>		<b>0.5569</b>	<b>0.5569</b>		<b>1,127.6696</b>	<b>1,127.6696</b>	<b>0.3568</b>		<b>1,136.5892</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**3.2 Building Construction - 2019**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	7.8200e-003	0.2272	0.0659	4.9000e-004	0.0128	1.5600e-003	0.0143	3.6800e-003	1.4900e-003	5.1700e-003		53.2710	53.2710	4.8500e-003		53.3923
Worker	0.0511	0.0327	0.3633	1.1800e-003	0.1230	8.2000e-004	0.1238	0.0326	7.6000e-004	0.0334		117.2351	117.2351	2.8900e-003		117.3073
<b>Total</b>	<b>0.0590</b>	<b>0.2599</b>	<b>0.4292</b>	<b>1.6700e-003</b>	<b>0.1357</b>	<b>2.3800e-003</b>	<b>0.1381</b>	<b>0.0363</b>	<b>2.2500e-003</b>	<b>0.0385</b>		<b>170.5061</b>	<b>170.5061</b>	<b>7.7400e-003</b>		<b>170.6996</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	0.0000	1,127.6696	1,127.6696	0.3568		1,136.5892
<b>Total</b>	<b>0.9576</b>	<b>9.8207</b>	<b>7.5432</b>	<b>0.0114</b>		<b>0.6054</b>	<b>0.6054</b>		<b>0.5569</b>	<b>0.5569</b>	<b>0.0000</b>	<b>1,127.6696</b>	<b>1,127.6696</b>	<b>0.3568</b>		<b>1,136.5892</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**3.2 Building Construction - 2019**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	7.8200e-003	0.2272	0.0659	4.9000e-004	0.0128	1.5600e-003	0.0143	3.6800e-003	1.4900e-003	5.1700e-003		53.2710	53.2710	4.8500e-003		53.3923
Worker	0.0511	0.0327	0.3633	1.1800e-003	0.1230	8.2000e-004	0.1238	0.0326	7.6000e-004	0.0334		117.2351	117.2351	2.8900e-003		117.3073
<b>Total</b>	<b>0.0590</b>	<b>0.2599</b>	<b>0.4292</b>	<b>1.6700e-003</b>	<b>0.1357</b>	<b>2.3800e-003</b>	<b>0.1381</b>	<b>0.0363</b>	<b>2.2500e-003</b>	<b>0.0385</b>		<b>170.5061</b>	<b>170.5061</b>	<b>7.7400e-003</b>		<b>170.6996</b>

**3.2 Building Construction - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806		1,102.9781	1,102.9781	0.3567		1,111.8962
<b>Total</b>	<b>0.8617</b>	<b>8.8523</b>	<b>7.3875</b>	<b>0.0114</b>		<b>0.5224</b>	<b>0.5224</b>		<b>0.4806</b>	<b>0.4806</b>		<b>1,102.9781</b>	<b>1,102.9781</b>	<b>0.3567</b>		<b>1,111.8962</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**3.2 Building Construction - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	6.6700e-003	0.2083	0.0603	4.9000e-004	0.0128	1.1100e-003	0.0139	3.6800e-003	1.0600e-003	4.7400e-003		52.8932	52.8932	4.6100e-003		53.0084
Worker	0.0478	0.0293	0.3328	1.1400e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		113.4783	113.4783	2.5900e-003		113.5431
<b>Total</b>	<b>0.0544</b>	<b>0.2376</b>	<b>0.3931</b>	<b>1.6300e-003</b>	<b>0.1357</b>	<b>1.9200e-003</b>	<b>0.1377</b>	<b>0.0363</b>	<b>1.8100e-003</b>	<b>0.0381</b>		<b>166.3715</b>	<b>166.3715</b>	<b>7.2000e-003</b>		<b>166.5514</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806	0.0000	1,102.9781	1,102.9781	0.3567		1,111.8962
<b>Total</b>	<b>0.8617</b>	<b>8.8523</b>	<b>7.3875</b>	<b>0.0114</b>		<b>0.5224</b>	<b>0.5224</b>		<b>0.4806</b>	<b>0.4806</b>	<b>0.0000</b>	<b>1,102.9781</b>	<b>1,102.9781</b>	<b>0.3567</b>		<b>1,111.8962</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**3.2 Building Construction - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	6.6700e-003	0.2083	0.0603	4.9000e-004	0.0128	1.1100e-003	0.0139	3.6800e-003	1.0600e-003	4.7400e-003		52.8932	52.8932	4.6100e-003		53.0084
Worker	0.0478	0.0293	0.3328	1.1400e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		113.4783	113.4783	2.5900e-003		113.5431
<b>Total</b>	<b>0.0544</b>	<b>0.2376</b>	<b>0.3931</b>	<b>1.6300e-003</b>	<b>0.1357</b>	<b>1.9200e-003</b>	<b>0.1377</b>	<b>0.0363</b>	<b>1.8100e-003</b>	<b>0.0381</b>		<b>166.3715</b>	<b>166.3715</b>	<b>7.2000e-003</b>		<b>166.5514</b>

**3.3 Architectural Coating - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	8.4279					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109		281.4481	281.4481	0.0218		281.9928
<b>Total</b>	<b>8.6701</b>	<b>1.6838</b>	<b>1.8314</b>	<b>2.9700e-003</b>		<b>0.1109</b>	<b>0.1109</b>		<b>0.1109</b>	<b>0.1109</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0218</b>		<b>281.9928</b>



19-0118 Permanent Bridge Shelter - Orange County, Winter

**3.3 Architectural Coating - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	8.6900e-003	5.3200e-003	0.0605	2.1000e-004	0.0224	1.5000e-004	0.0225	5.9300e-003	1.4000e-004	6.0600e-003		20.6324	20.6324	4.7000e-004		20.6442
<b>Total</b>	<b>8.6900e-003</b>	<b>5.3200e-003</b>	<b>0.0605</b>	<b>2.1000e-004</b>	<b>0.0224</b>	<b>1.5000e-004</b>	<b>0.0225</b>	<b>5.9300e-003</b>	<b>1.4000e-004</b>	<b>6.0600e-003</b>		<b>20.6324</b>	<b>20.6324</b>	<b>4.7000e-004</b>		<b>20.6442</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	8.4279					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928
<b>Total</b>	<b>8.6701</b>	<b>1.6838</b>	<b>1.8314</b>	<b>2.9700e-003</b>		<b>0.1109</b>	<b>0.1109</b>		<b>0.1109</b>	<b>0.1109</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0218</b>		<b>281.9928</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**3.3 Architectural Coating - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	8.6900e-003	5.3200e-003	0.0605	2.1000e-004	0.0224	1.5000e-004	0.0225	5.9300e-003	1.4000e-004	6.0600e-003		20.6324	20.6324	4.7000e-004		20.6442
<b>Total</b>	<b>8.6900e-003</b>	<b>5.3200e-003</b>	<b>0.0605</b>	<b>2.1000e-004</b>	<b>0.0224</b>	<b>1.5000e-004</b>	<b>0.0225</b>	<b>5.9300e-003</b>	<b>1.4000e-004</b>	<b>6.0600e-003</b>		<b>20.6324</b>	<b>20.6324</b>	<b>4.7000e-004</b>		<b>20.6442</b>

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**

19-0118 Permanent Bridge Shelter - Orange County, Winter

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.2513	1.0804	3.3262	0.0120	1.0803	0.0123	1.0926	0.2889	0.0116	0.3005		1,219.042 2	1,219.042 2	0.0529		1,220.363 4
Unmitigated	0.2513	1.0804	3.3262	0.0120	1.0803	0.0123	1.0926	0.2889	0.0116	0.3005		1,219.042 2	1,219.042 2	0.0529		1,220.363 4

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Congregate Care (Assisted Living)	149.05	149.05	149.05	509,323	509,323
Total	149.05	149.05	149.05	509,323	509,323

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Congregate Care (Assisted Living)	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Congregate Care (Assisted Living)	0.555968	0.043848	0.210359	0.116378	0.016765	0.005795	0.025008	0.016160	0.001677	0.001586	0.004867	0.000586	0.001002

5.0 Energy Detail

19-0118 Permanent Bridge Shelter - Orange County, Winter

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
NaturalGas Unmitigated	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Congregate Care (Assisted Living)	463.861	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
<b>Total</b>		<b>5.0000e-003</b>	<b>0.0428</b>	<b>0.0182</b>	<b>2.7000e-004</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>54.5719</b>	<b>54.5719</b>	<b>1.0500e-003</b>	<b>1.0000e-003</b>	<b>54.8962</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**5.2 Energy by Land Use - Natural Gas**

**Mitigated**

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Congregate Care (Assisted Living)	0.463861	5.0000e-003	0.0428	0.0182	2.7000e-004		3.4600e-003	3.4600e-003		3.4600e-003	3.4600e-003		54.5719	54.5719	1.0500e-003	1.0000e-003	54.8962
<b>Total</b>		<b>5.0000e-003</b>	<b>0.0428</b>	<b>0.0182</b>	<b>2.7000e-004</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>3.4600e-003</b>	<b>3.4600e-003</b>		<b>54.5719</b>	<b>54.5719</b>	<b>1.0500e-003</b>	<b>1.0000e-003</b>	<b>54.8962</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274
Unmitigated	0.3820	0.2355	1.3206	1.4800e-003		0.0246	0.0246		0.0246	0.0246	0.0000	284.6951	284.6951	7.5600e-003	5.1800e-003	286.4274

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**6.2 Area by SubCategory**

**Unmitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0254					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.2934					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0259	0.2213	0.0942	1.4100e-003		0.0179	0.0179		0.0179	0.0179	0.0000	282.4941	282.4941	5.4100e-003	5.1800e-003	284.1728
Landscaping	0.0374	0.0142	1.2264	6.0000e-005		6.7400e-003	6.7400e-003		6.7400e-003	6.7400e-003		2.2010	2.2010	2.1500e-003		2.2546
<b>Total</b>	<b>0.3820</b>	<b>0.2355</b>	<b>1.3206</b>	<b>1.4700e-003</b>		<b>0.0246</b>	<b>0.0246</b>		<b>0.0246</b>	<b>0.0246</b>	<b>0.0000</b>	<b>284.6951</b>	<b>284.6951</b>	<b>7.5600e-003</b>	<b>5.1800e-003</b>	<b>286.4274</b>

19-0118 Permanent Bridge Shelter - Orange County, Winter

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0254					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.2934					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0259	0.2213	0.0942	1.4100e-003		0.0179	0.0179		0.0179	0.0179	0.0000	282.4941	282.4941	5.4100e-003	5.1800e-003	284.1728
Landscaping	0.0374	0.0142	1.2264	6.0000e-005		6.7400e-003	6.7400e-003		6.7400e-003	6.7400e-003		2.2010	2.2010	2.1500e-003		2.2546
<b>Total</b>	<b>0.3820</b>	<b>0.2355</b>	<b>1.3206</b>	<b>1.4700e-003</b>		<b>0.0246</b>	<b>0.0246</b>		<b>0.0246</b>	<b>0.0246</b>	<b>0.0000</b>	<b>284.6951</b>	<b>284.6951</b>	<b>7.5600e-003</b>	<b>5.1800e-003</b>	<b>286.4274</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

**8.0 Waste Detail**

**8.1 Mitigation Measures Waste**

Institute Recycling and Composting Services

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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19-0118 Permanent Bridge Shelter - Orange County, Winter

**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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## **APPENDIX C**

### **CALEEMOD MODEL ANNUAL EMISSIONS PRINTOUTS AND EMFAC**

19-0118 Permanent Bridge Shelter - Orange County, Annual

**19-0118 Permanent Bridge Shelter  
Orange County, Annual**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Congregate Care (Assisted Living)	14.82	Dwelling Unit	0.34	14,816.00	42

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2020
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MW hr)</b>	702.44	<b>CH4 Intensity (lb/MW hr)</b>	0.029	<b>N2O Intensity (lb/MW hr)</b>	0.006

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use - Renovation of existing bldg to have a 14,816 sf bridge shelter with 100 beds.

Construction Phase - Project is renovation of existing building, only building construction & architectural coating needed. Construction anticipated to start no earlier than Sept 2019 & be completed by end of June 2020.

Vehicle Trips - Per City Trip Gen Memo, 149 total trips. 149 trips /14.816 TSF = 10.06 trips/TSF.

Woodstoves - SCAQMD Rule 445 prohibits the installation of wood burning devices in new developments.

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation -

Waste Mitigation - AB 341 requires that 75 percent of waste be diverted from landfills by 2020.

## 19-0118 Permanent Bridge Shelter - Orange County, Annual

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	5.00	11.00
tblConstructionPhase	NumDays	100.00	206.00
tblConstructionPhase	PhaseEndDate	1/24/2020	6/30/2020
tblConstructionPhase	PhaseEndDate	1/17/2020	6/15/2020
tblConstructionPhase	PhaseStartDate	1/18/2020	6/16/2020
tblFireplaces	NumberGas	12.60	13.34
tblFireplaces	NumberWood	0.74	0.00
tblLandUse	LotAcreage	0.93	0.34
tblVehicleTrips	ST_TR	2.20	10.06
tblVehicleTrips	SU_TR	2.44	10.06
tblVehicleTrips	WD_TR	2.74	10.06
tblWoodstoves	NumberCatalytic	0.74	0.00
tblWoodstoves	NumberNoncatalytic	0.74	0.00

## 2.0 Emissions Summary

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19-0118 Permanent Bridge Shelter - Orange County, Annual

**2.1 Overall Construction**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2019	0.0440	0.4387	0.3471	5.7000e-004	5.8000e-003	0.0264	0.0322	1.5500e-003	0.0243	0.0259	0.0000	51.3302	51.3302	0.0144	0.0000	51.6898
2020	0.1019	0.5504	0.4737	7.9000e-004	8.0600e-003	0.0318	0.0399	2.1600e-003	0.0293	0.0315	0.0000	70.1604	70.1604	0.0198	0.0000	70.6541
<b>Maximum</b>	<b>0.1019</b>	<b>0.5504</b>	<b>0.4737</b>	<b>7.9000e-004</b>	<b>8.0600e-003</b>	<b>0.0318</b>	<b>0.0399</b>	<b>2.1600e-003</b>	<b>0.0293</b>	<b>0.0315</b>	<b>0.0000</b>	<b>70.1604</b>	<b>70.1604</b>	<b>0.0198</b>	<b>0.0000</b>	<b>70.6541</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2019	0.0440	0.4387	0.3471	5.7000e-004	5.8000e-003	0.0264	0.0322	1.5500e-003	0.0243	0.0259	0.0000	51.3302	51.3302	0.0144	0.0000	51.6897
2020	0.1019	0.5504	0.4737	7.9000e-004	8.0600e-003	0.0318	0.0399	2.1600e-003	0.0293	0.0315	0.0000	70.1603	70.1603	0.0198	0.0000	70.6540
<b>Maximum</b>	<b>0.1019</b>	<b>0.5504</b>	<b>0.4737</b>	<b>7.9000e-004</b>	<b>8.0600e-003</b>	<b>0.0318</b>	<b>0.0399</b>	<b>2.1600e-003</b>	<b>0.0293</b>	<b>0.0315</b>	<b>0.0000</b>	<b>70.1603</b>	<b>70.1603</b>	<b>0.0198</b>	<b>0.0000</b>	<b>70.6540</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

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Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	9-1-2019	11-30-2019	0.3606	0.3606
2	12-1-2019	2-29-2020	0.3373	0.3373
3	3-1-2020	5-31-2020	0.3286	0.3286
4	6-1-2020	8-31-2020	0.1091	0.1091
		Highest	0.3606	0.3606

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.0632	4.5400e-003	0.1545	3.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	3.4530	3.4530	3.0000e-004	6.0000e-005	3.4781
Energy	9.1000e-004	7.8000e-003	3.3200e-003	5.0000e-005		6.3000e-004	6.3000e-004		6.3000e-004	6.3000e-004	0.0000	27.8012	27.8012	9.5000e-004	3.3000e-004	27.9220
Mobile	0.0445	0.2001	0.6137	2.2100e-003	0.1932	2.2400e-003	0.1954	0.0517	2.1000e-003	0.0538	0.0000	203.7371	203.7371	8.7100e-003	0.0000	203.9548
Waste						0.0000	0.0000		0.0000	0.0000	2.7444	0.0000	2.7444	0.1622	0.0000	6.7992
Water						0.0000	0.0000		0.0000	0.0000	0.3063	6.1608	6.4672	0.0317	8.0000e-004	7.4972
<b>Total</b>	<b>0.1085</b>	<b>0.2125</b>	<b>0.7715</b>	<b>2.2900e-003</b>	<b>0.1932</b>	<b>3.9400e-003</b>	<b>0.1971</b>	<b>0.0517</b>	<b>3.8000e-003</b>	<b>0.0555</b>	<b>3.0508</b>	<b>241.1521</b>	<b>244.2029</b>	<b>0.2039</b>	<b>1.1900e-003</b>	<b>249.6513</b>

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**2.2 Overall Operational**

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.0632	4.5400e-003	0.1545	3.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	3.4530	3.4530	3.0000e-004	6.0000e-005	3.4781
Energy	9.1000e-004	7.8000e-003	3.3200e-003	5.0000e-005		6.3000e-004	6.3000e-004		6.3000e-004	6.3000e-004	0.0000	27.8012	27.8012	9.5000e-004	3.3000e-004	27.9220
Mobile	0.0445	0.2001	0.6137	2.2100e-003	0.1932	2.2400e-003	0.1954	0.0517	2.1000e-003	0.0538	0.0000	203.7371	203.7371	8.7100e-003	0.0000	203.9548
Waste						0.0000	0.0000		0.0000	0.0000	0.6861	0.0000	0.6861	0.0406	0.0000	1.6998
Water						0.0000	0.0000		0.0000	0.0000	0.3063	6.1608	6.4672	0.0317	8.0000e-004	7.4972
<b>Total</b>	<b>0.1085</b>	<b>0.2125</b>	<b>0.7715</b>	<b>2.2900e-003</b>	<b>0.1932</b>	<b>3.9400e-003</b>	<b>0.1971</b>	<b>0.0517</b>	<b>3.8000e-003</b>	<b>0.0555</b>	<b>0.9924</b>	<b>241.1521</b>	<b>242.1445</b>	<b>0.0822</b>	<b>1.1900e-003</b>	<b>244.5519</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>67.47</b>	<b>0.00</b>	<b>0.84</b>	<b>59.67</b>	<b>0.00</b>	<b>2.04</b>

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Building Construction	Building Construction	9/1/2019	6/15/2020	5	206	
2	Architectural Coating	Architectural Coating	6/16/2020	6/30/2020	5	11	

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**Acres of Grading (Site Preparation Phase): 0**

**Acres of Grading (Grading Phase): 0**

**Acres of Paving: 0**

**Residential Indoor: 30,002; Residential Outdoor: 10,001; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Building Construction	5	11.00	2.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	2.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

Water Exposed Area

Reduce Vehicle Speed on Unpaved Roads

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**3.2 Building Construction - 2019**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0417	0.4272	0.3281	5.0000e-004		0.0263	0.0263		0.0242	0.0242	0.0000	44.5007	44.5007	0.0141	0.0000	44.8527
<b>Total</b>	<b>0.0417</b>	<b>0.4272</b>	<b>0.3281</b>	<b>5.0000e-004</b>		<b>0.0263</b>	<b>0.0263</b>		<b>0.0242</b>	<b>0.0242</b>	<b>0.0000</b>	<b>44.5007</b>	<b>44.5007</b>	<b>0.0141</b>	<b>0.0000</b>	<b>44.8527</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	3.3000e-004	0.0101	2.7400e-003	2.0000e-005	5.5000e-004	7.0000e-005	6.1000e-004	1.6000e-004	6.0000e-005	2.2000e-004	0.0000	2.1325	2.1325	1.9000e-004	0.0000	2.1371
Worker	2.0000e-003	1.4600e-003	0.0162	5.0000e-005	5.2500e-003	4.0000e-005	5.2900e-003	1.3900e-003	3.0000e-005	1.4300e-003	0.0000	4.6970	4.6970	1.2000e-004	0.0000	4.6999
<b>Total</b>	<b>2.3300e-003</b>	<b>0.0115</b>	<b>0.0189</b>	<b>7.0000e-005</b>	<b>5.8000e-003</b>	<b>1.1000e-004</b>	<b>5.9000e-003</b>	<b>1.5500e-003</b>	<b>9.0000e-005</b>	<b>1.6500e-003</b>	<b>0.0000</b>	<b>6.8295</b>	<b>6.8295</b>	<b>3.1000e-004</b>	<b>0.0000</b>	<b>6.8371</b>



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**3.2 Building Construction - 2019**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0417	0.4272	0.3281	5.0000e-004		0.0263	0.0263		0.0242	0.0242	0.0000	44.5007	44.5007	0.0141	0.0000	44.8526
<b>Total</b>	<b>0.0417</b>	<b>0.4272</b>	<b>0.3281</b>	<b>5.0000e-004</b>		<b>0.0263</b>	<b>0.0263</b>		<b>0.0242</b>	<b>0.0242</b>	<b>0.0000</b>	<b>44.5007</b>	<b>44.5007</b>	<b>0.0141</b>	<b>0.0000</b>	<b>44.8526</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	3.3000e-004	0.0101	2.7400e-003	2.0000e-005	5.5000e-004	7.0000e-005	6.1000e-004	1.6000e-004	6.0000e-005	2.2000e-004	0.0000	2.1325	2.1325	1.9000e-004	0.0000	2.1371
Worker	2.0000e-003	1.4600e-003	0.0162	5.0000e-005	5.2500e-003	4.0000e-005	5.2900e-003	1.3900e-003	3.0000e-005	1.4300e-003	0.0000	4.6970	4.6970	1.2000e-004	0.0000	4.6999
<b>Total</b>	<b>2.3300e-003</b>	<b>0.0115</b>	<b>0.0189</b>	<b>7.0000e-005</b>	<b>5.8000e-003</b>	<b>1.1000e-004</b>	<b>5.9000e-003</b>	<b>1.5500e-003</b>	<b>9.0000e-005</b>	<b>1.6500e-003</b>	<b>0.0000</b>	<b>6.8295</b>	<b>6.8295</b>	<b>3.1000e-004</b>	<b>0.0000</b>	<b>6.8371</b>

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**3.2 Building Construction - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0513	0.5267	0.4396	6.8000e-004		0.0311	0.0311		0.0286	0.0286	0.0000	59.5360	59.5360	0.0193	0.0000	60.0174
<b>Total</b>	<b>0.0513</b>	<b>0.5267</b>	<b>0.4396</b>	<b>6.8000e-004</b>		<b>0.0311</b>	<b>0.0311</b>		<b>0.0286</b>	<b>0.0286</b>	<b>0.0000</b>	<b>59.5360</b>	<b>59.5360</b>	<b>0.0193</b>	<b>0.0000</b>	<b>60.0174</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	3.9000e-004	0.0126	3.4300e-003	3.0000e-005	7.5000e-004	7.0000e-005	8.1000e-004	2.2000e-004	6.0000e-005	2.8000e-004	0.0000	2.8968	2.8968	2.4000e-004	0.0000	2.9028
Worker	2.5500e-003	1.7900e-003	0.0203	7.0000e-005	7.1900e-003	5.0000e-005	7.2300e-003	1.9100e-003	4.0000e-005	1.9500e-003	0.0000	6.2188	6.2188	1.4000e-004	0.0000	6.2224
<b>Total</b>	<b>2.9400e-003</b>	<b>0.0144</b>	<b>0.0237</b>	<b>1.0000e-004</b>	<b>7.9400e-003</b>	<b>1.2000e-004</b>	<b>8.0400e-003</b>	<b>2.1300e-003</b>	<b>1.0000e-004</b>	<b>2.2300e-003</b>	<b>0.0000</b>	<b>9.1156</b>	<b>9.1156</b>	<b>3.8000e-004</b>	<b>0.0000</b>	<b>9.1252</b>

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**3.2 Building Construction - 2020**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0513	0.5267	0.4396	6.8000e-004		0.0311	0.0311		0.0286	0.0286	0.0000	59.5359	59.5359	0.0193	0.0000	60.0173
<b>Total</b>	<b>0.0513</b>	<b>0.5267</b>	<b>0.4396</b>	<b>6.8000e-004</b>		<b>0.0311</b>	<b>0.0311</b>		<b>0.0286</b>	<b>0.0286</b>	<b>0.0000</b>	<b>59.5359</b>	<b>59.5359</b>	<b>0.0193</b>	<b>0.0000</b>	<b>60.0173</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	3.9000e-004	0.0126	3.4300e-003	3.0000e-005	7.5000e-004	7.0000e-005	8.1000e-004	2.2000e-004	6.0000e-005	2.8000e-004	0.0000	2.8968	2.8968	2.4000e-004	0.0000	2.9028
Worker	2.5500e-003	1.7900e-003	0.0203	7.0000e-005	7.1900e-003	5.0000e-005	7.2300e-003	1.9100e-003	4.0000e-005	1.9500e-003	0.0000	6.2188	6.2188	1.4000e-004	0.0000	6.2224
<b>Total</b>	<b>2.9400e-003</b>	<b>0.0144</b>	<b>0.0237</b>	<b>1.0000e-004</b>	<b>7.9400e-003</b>	<b>1.2000e-004</b>	<b>8.0400e-003</b>	<b>2.1300e-003</b>	<b>1.0000e-004</b>	<b>2.2300e-003</b>	<b>0.0000</b>	<b>9.1156</b>	<b>9.1156</b>	<b>3.8000e-004</b>	<b>0.0000</b>	<b>9.1252</b>

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**3.3 Architectural Coating - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.0464					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.3300e-003	9.2600e-003	0.0101	2.0000e-005		6.1000e-004	6.1000e-004		6.1000e-004	6.1000e-004	0.0000	1.4043	1.4043	1.1000e-004	0.0000	1.4070
<b>Total</b>	<b>0.0477</b>	<b>9.2600e-003</b>	<b>0.0101</b>	<b>2.0000e-005</b>		<b>6.1000e-004</b>	<b>6.1000e-004</b>		<b>6.1000e-004</b>	<b>6.1000e-004</b>	<b>0.0000</b>	<b>1.4043</b>	<b>1.4043</b>	<b>1.1000e-004</b>	<b>0.0000</b>	<b>1.4070</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.0000e-005	3.0000e-005	3.4000e-004	0.0000	1.2000e-004	0.0000	1.2000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.1045	0.1045	0.0000	0.0000	0.1046
<b>Total</b>	<b>4.0000e-005</b>	<b>3.0000e-005</b>	<b>3.4000e-004</b>	<b>0.0000</b>	<b>1.2000e-004</b>	<b>0.0000</b>	<b>1.2000e-004</b>	<b>3.0000e-005</b>	<b>0.0000</b>	<b>3.0000e-005</b>	<b>0.0000</b>	<b>0.1045</b>	<b>0.1045</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1046</b>

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**3.3 Architectural Coating - 2020**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.0464					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.3300e-003	9.2600e-003	0.0101	2.0000e-005		6.1000e-004	6.1000e-004		6.1000e-004	6.1000e-004	0.0000	1.4043	1.4043	1.1000e-004	0.0000	1.4070
<b>Total</b>	<b>0.0477</b>	<b>9.2600e-003</b>	<b>0.0101</b>	<b>2.0000e-005</b>		<b>6.1000e-004</b>	<b>6.1000e-004</b>		<b>6.1000e-004</b>	<b>6.1000e-004</b>	<b>0.0000</b>	<b>1.4043</b>	<b>1.4043</b>	<b>1.1000e-004</b>	<b>0.0000</b>	<b>1.4070</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.0000e-005	3.0000e-005	3.4000e-004	0.0000	1.2000e-004	0.0000	1.2000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.1045	0.1045	0.0000	0.0000	0.1046
<b>Total</b>	<b>4.0000e-005</b>	<b>3.0000e-005</b>	<b>3.4000e-004</b>	<b>0.0000</b>	<b>1.2000e-004</b>	<b>0.0000</b>	<b>1.2000e-004</b>	<b>3.0000e-005</b>	<b>0.0000</b>	<b>3.0000e-005</b>	<b>0.0000</b>	<b>0.1045</b>	<b>0.1045</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1046</b>

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.0445	0.2001	0.6137	2.2100e-003	0.1932	2.2400e-003	0.1954	0.0517	2.1000e-003	0.0538	0.0000	203.7371	203.7371	8.7100e-003	0.0000	203.9548
Unmitigated	0.0445	0.2001	0.6137	2.2100e-003	0.1932	2.2400e-003	0.1954	0.0517	2.1000e-003	0.0538	0.0000	203.7371	203.7371	8.7100e-003	0.0000	203.9548

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Congregate Care (Assisted Living)	149.05	149.05	149.05	509,323	509,323
Total	149.05	149.05	149.05	509,323	509,323

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Congregate Care (Assisted Living)	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Congregate Care (Assisted Living)	0.555968	0.043848	0.210359	0.116378	0.016765	0.005795	0.025008	0.016160	0.001677	0.001586	0.004867	0.000586	0.001002

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**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	18.7662	18.7662	7.7000e-004	1.6000e-004	18.8333
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	18.7662	18.7662	7.7000e-004	1.6000e-004	18.8333
NaturalGas Mitigated	9.1000e-004	7.8000e-003	3.3200e-003	5.0000e-005		6.3000e-004	6.3000e-004		6.3000e-004	6.3000e-004	0.0000	9.0350	9.0350	1.7000e-004	1.7000e-004	9.0887
NaturalGas Unmitigated	9.1000e-004	7.8000e-003	3.3200e-003	5.0000e-005		6.3000e-004	6.3000e-004		6.3000e-004	6.3000e-004	0.0000	9.0350	9.0350	1.7000e-004	1.7000e-004	9.0887

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**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Congregate Care (Assisted Living)	169309	9.1000e-004	7.8000e-003	3.3200e-003	5.0000e-005		6.3000e-004	6.3000e-004		6.3000e-004	6.3000e-004	0.0000	9.0350	9.0350	1.7000e-004	1.7000e-004	9.0887
<b>Total</b>		<b>9.1000e-004</b>	<b>7.8000e-003</b>	<b>3.3200e-003</b>	<b>5.0000e-005</b>		<b>6.3000e-004</b>	<b>6.3000e-004</b>		<b>6.3000e-004</b>	<b>6.3000e-004</b>	<b>0.0000</b>	<b>9.0350</b>	<b>9.0350</b>	<b>1.7000e-004</b>	<b>1.7000e-004</b>	<b>9.0887</b>

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Congregate Care (Assisted Living)	169309	9.1000e-004	7.8000e-003	3.3200e-003	5.0000e-005		6.3000e-004	6.3000e-004		6.3000e-004	6.3000e-004	0.0000	9.0350	9.0350	1.7000e-004	1.7000e-004	9.0887
<b>Total</b>		<b>9.1000e-004</b>	<b>7.8000e-003</b>	<b>3.3200e-003</b>	<b>5.0000e-005</b>		<b>6.3000e-004</b>	<b>6.3000e-004</b>		<b>6.3000e-004</b>	<b>6.3000e-004</b>	<b>0.0000</b>	<b>9.0350</b>	<b>9.0350</b>	<b>1.7000e-004</b>	<b>1.7000e-004</b>	<b>9.0887</b>



19-0118 Permanent Bridge Shelter - Orange County, Annual

**5.3 Energy by Land Use - Electricity**

**Unmitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Congregate Care (Assisted Living)	58898	18.7662	7.7000e-004	1.6000e-004	18.8333
<b>Total</b>		<b>18.7662</b>	<b>7.7000e-004</b>	<b>1.6000e-004</b>	<b>18.8333</b>

**Mitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Congregate Care (Assisted Living)	58898	18.7662	7.7000e-004	1.6000e-004	18.8333
<b>Total</b>		<b>18.7662</b>	<b>7.7000e-004</b>	<b>1.6000e-004</b>	<b>18.8333</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

19-0118 Permanent Bridge Shelter - Orange County, Annual

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.0632	4.5400e-003	0.1545	3.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	3.4530	3.4530	3.0000e-004	6.0000e-005	3.4781
Unmitigated	0.0632	4.5400e-003	0.1545	3.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	3.4530	3.4530	3.0000e-004	6.0000e-005	3.4781

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	4.6400e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.0535					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	3.2000e-004	2.7700e-003	1.1800e-003	2.0000e-005		2.2000e-004	2.2000e-004		2.2000e-004	2.2000e-004	0.0000	3.2034	3.2034	6.0000e-005	6.0000e-005	3.2225
Landscaping	4.6700e-003	1.7700e-003	0.1533	1.0000e-005		8.4000e-004	8.4000e-004		8.4000e-004	8.4000e-004	0.0000	0.2496	0.2496	2.4000e-004	0.0000	0.2557
<b>Total</b>	<b>0.0632</b>	<b>4.5400e-003</b>	<b>0.1545</b>	<b>3.0000e-005</b>		<b>1.0600e-003</b>	<b>1.0600e-003</b>		<b>1.0600e-003</b>	<b>1.0600e-003</b>	<b>0.0000</b>	<b>3.4530</b>	<b>3.4530</b>	<b>3.0000e-004</b>	<b>6.0000e-005</b>	<b>3.4781</b>

19-0118 Permanent Bridge Shelter - Orange County, Annual

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	4.6400e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.0535					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	3.2000e-004	2.7700e-003	1.1800e-003	2.0000e-005		2.2000e-004	2.2000e-004		2.2000e-004	2.2000e-004	0.0000	3.2034	3.2034	6.0000e-005	6.0000e-005	3.2225
Landscaping	4.6700e-003	1.7700e-003	0.1533	1.0000e-005		8.4000e-004	8.4000e-004		8.4000e-004	8.4000e-004	0.0000	0.2496	0.2496	2.4000e-004	0.0000	0.2557
<b>Total</b>	<b>0.0632</b>	<b>4.5400e-003</b>	<b>0.1545</b>	<b>3.0000e-005</b>		<b>1.0600e-003</b>	<b>1.0600e-003</b>		<b>1.0600e-003</b>	<b>1.0600e-003</b>	<b>0.0000</b>	<b>3.4530</b>	<b>3.4530</b>	<b>3.0000e-004</b>	<b>6.0000e-005</b>	<b>3.4781</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

19-0118 Permanent Bridge Shelter - Orange County, Annual

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	6.4672	0.0317	8.0000e-004	7.4972
Unmitigated	6.4672	0.0317	8.0000e-004	7.4972

**7.2 Water by Land Use**

**Unmitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Congregate Care (Assisted Living)	0.965583 / 0.608737	6.4672	0.0317	8.0000e-004	7.4972
<b>Total</b>		<b>6.4672</b>	<b>0.0317</b>	<b>8.0000e-004</b>	<b>7.4972</b>

19-0118 Permanent Bridge Shelter - Orange County, Annual

**7.2 Water by Land Use**

**Mitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Congregate Care (Assisted Living)	0.965583 / 0.608737	6.4672	0.0317	8.0000e-004	7.4972
<b>Total</b>		<b>6.4672</b>	<b>0.0317</b>	<b>8.0000e-004</b>	<b>7.4972</b>

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

Institute Recycling and Composting Services

19-0118 Permanent Bridge Shelter - Orange County, Annual

**Category/Year**

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	0.6861	0.0406	0.0000	1.6998
Unmitigated	2.7444	0.1622	0.0000	6.7992

**8.2 Waste by Land Use**

**Unmitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Congregate Care (Assisted Living)	13.52	2.7444	0.1622	0.0000	6.7992
<b>Total</b>		<b>2.7444</b>	<b>0.1622</b>	<b>0.0000</b>	<b>6.7992</b>

19-0118 Permanent Bridge Shelter - Orange County, Annual

**8.2 Waste by Land Use**

**Mitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Congregate Care (Assisted Living)	3.38	0.6861	0.0406	0.0000	1.6998
<b>Total</b>		<b>0.6861</b>	<b>0.0406</b>	<b>0.0000</b>	<b>1.6998</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

19-0118 Permanent Bridge Shelter - Orange County, Annual

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EMFAC2017 (v1.0.2) Emissions Inventory

Region Type: Air District

Region: South Coast AQMD

Calendar Year: 2020

Season: Annual

Vehicle Classification: EMFAC2007 Categories

Units: miles/day for VMT, trips/day for Trips, tons/day for Emissions, 1000 gallons/day for Fuel Consumption

Region	CalYr	VehClass	MdYr	Speed	Fuel	Population	Fuel_Consumption	Fuel Consumption	Total Fuel Consumption	VMT	Total VMT	Miles per Gallon	VehClass
SCAQMD	2020	HHDT	Aggregated	Aggregated	GAS	802.1440496	22.12472978	22124.72978	2285504.664	104174.0551	13369344.05	5.85	HHDT
SCAQMD	2020	HHDT	Aggregated	Aggregated	DSL	94066.79161	2263.379935	2263379.935		13265170			
SCAQMD	2020	LDA	Aggregated	Aggregated	GAS	6241441.311	7791.379047	7791379.047	7849819.577	215630250.8	224300103.8	28.57	LDA
SCAQMD	2020	LDA	Aggregated	Aggregated	DSL	58578.66528	58.44052993	58440.52993		2170199.073			
SCAQMD	2020	LDA	Aggregated	Aggregated	ELEC	139480.2104	0	0		6499653.924			
SCAQMD	2020	LDT1	Aggregated	Aggregated	GAS	529468.9231	767.6565063	767656.5063	768313.2779	17839921.58	17869646.83	23.26	LDT1
SCAQMD	2020	LDT1	Aggregated	Aggregated	DSL	653.8523923	0.656771586	656.7715859		17424.66748			
SCAQMD	2020	LDT1	Aggregated	Aggregated	ELEC	394.8926991	0	0		12300.5894			
SCAQMD	2020	LDT2	Aggregated	Aggregated	GAS	2196840.435	3942.87661	3942876.61	3948206.775	81691950.79	81842773.79	20.73	LDT2
SCAQMD	2020	LDT2	Aggregated	Aggregated	DSL	3707.582469	5.330165365	5330.165365		150823.0049			
SCAQMD	2020	LHDT1	Aggregated	Aggregated	GAS	122811.721	324.3272067	324327.2067	487711.1787	3538562.329	6867749.007	14.08	LHDT1
SCAQMD	2020	LHDT1	Aggregated	Aggregated	DSL	93218.10849	163.383972	163383.972		3329186.678			
SCAQMD	2020	LHDT2	Aggregated	Aggregated	GAS	25139.08857	85.31303659	85313.03659	167294.3502	867472.8869	2400097.869	14.35	LHDT2
SCAQMD	2020	LHDT2	Aggregated	Aggregated	DSL	39016.92297	81.98131358	81981.31358		1532624.982			
SCAQMD	2020	MCY	Aggregated	Aggregated	GAS	289961.5795	55.31831514	55318.31514	55318.31514	1955845.416	1955845.416	35.36	MCY
SCAQMD	2020	MDV	Aggregated	Aggregated	GAS	1480427.171	3206.973029	3206973.029	3247601.48	49182321.35	50069698.89	15.42	MDV
SCAQMD	2020	MDV	Aggregated	Aggregated	DSL	22607.57726	40.62845112	40628.45112		887377.5364			
SCAQMD	2020	MH	Aggregated	Aggregated	GAS	37922.10127	41.47456076	41474.56076	49697.59794	307217.3044	391503.7566	7.88	MH
SCAQMD	2020	MH	Aggregated	Aggregated	DSL	9968.340503	8.223037177	8223.037177		84286.45216			
SCAQMD	2020	MHDT	Aggregated	Aggregated	GAS	19760.80313	139.5109867	139510.9867	994155.0541	980184.6784	8449666.761	8.50	MHDT
SCAQMD	2020	MHDT	Aggregated	Aggregated	DSL	134726.0007	854.6440674	854644.0674		7469482.082			
SCAQMD	2020	OBUS	Aggregated	Aggregated	GAS	8436.227028	54.40171127	54401.71127	114975.5108	392438.6707	833849.8071	7.25	OBUS
SCAQMD	2020	OBUS	Aggregated	Aggregated	DSL	5358.43226	60.5737995	60573.7995		441411.1364			
SCAQMD	2020	SBUS	Aggregated	Aggregated	GAS	2258.46776	7.601539992	7601.539992	35629.80433	86380.44602	288716.49	8.10	SBUS
SCAQMD	2020	SBUS	Aggregated	Aggregated	DSL	5309.122191	28.02826434	28028.26434		202336.044			
SCAQMD	2020	UBUS	Aggregated	Aggregated	GAS	2327.880438	53.57098395	53570.98395	163867.7724	267944.8976	795898.8585	4.86	UBUS
SCAQMD	2020	UBUS	Aggregated	Aggregated	DSL	4588.150023	110.2967884	110296.7884		527953.961			



**GANDDINI GROUP INC**

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Riverside, CA 92505  
951 710 3212

**PALO ALTO**

2100 Geng Road, Suite 210  
Palo Alto, CA 94303  
650 460 3400

**Appendix C:  
Biological Resources Supporting Materials**

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**Selected Elements by Scientific Name**  
**California Department of Fish and Wildlife**  
**California Natural Diversity Database**



Query Criteria: Quad (Tustin (3311767)) IS

Species	Element Code	Federal Status	State Status	Global Rank	State Rank	Rare Plant Rank/CDFW SSC or FP
<i>Accipiter cooperii</i> Cooper's hawk	ABNKC12040	None	None	G5	S4	WL
<i>Agelaius tricolor</i> tricolored blackbird	ABPBXB0020	None	Candidate Endangered	G2G3	S1S2	SSC
<i>Aimophila ruficeps canescens</i> southern California rufous-crowned sparrow	ABPBX91091	None	None	G5T3	S3	WL
<i>Ammodramus savannarum</i> grasshopper sparrow	ABPBXA0020	None	None	G5	S3	SSC
<i>Athene cunicularia</i> burrowing owl	ABNSB10010	None	None	G4	S3	SSC
<i>Atriplex coulteri</i> Coulter's saltbush	PDCHE040E0	None	None	G3	S1S2	1B.2
<i>Atriplex pacifica</i> south coast saltscale	PDCHE041C0	None	None	G4	S2	1B.2
<i>Atriplex serenana var. davidsonii</i> Davidson's saltscale	PDCHE041T1	None	None	G5T1	S1	1B.2
<i>Bombus crotchii</i> Crotch bumble bee	IIHYM24480	None	None	G3G4	S1S2	
<i>Campylorhynchus brunneicapillus sandiegensis</i> coastal cactus wren	ABPBG02095	None	None	G5T3Q	S3	SSC
<i>Centromadia parryi ssp. australis</i> southern tarplant	PDAST4R0P4	None	None	G3T2	S2	1B.1
<i>Choeronycteris mexicana</i> Mexican long-tongued bat	AMACB02010	None	None	G4	S1	SSC
<i>Coccyzus americanus occidentalis</i> western yellow-billed cuckoo	ABNRB02022	Threatened	Endangered	G5T2T3	S1	
<i>Coturnicops noveboracensis</i> yellow rail	ABNME01010	None	None	G4	S1S2	SSC
<i>Crotalus ruber</i> red-diamond rattlesnake	ARADE02090	None	None	G4	S3	SSC
<i>Dudleya multicaulis</i> many-stemmed dudleya	PDCRA040H0	None	None	G2	S2	1B.2
<i>Elanus leucurus</i> white-tailed kite	ABNKC06010	None	None	G5	S3S4	FP
<i>Emys marmorata</i> western pond turtle	ARAAD02030	None	None	G3G4	S3	SSC
<i>Eremophila alpestris actia</i> California horned lark	ABPAT02011	None	None	G5T4Q	S4	WL
<i>Eumops perotis californicus</i> western mastiff bat	AMACD02011	None	None	G5T4	S3S4	SSC



**Selected Elements by Scientific Name**  
**California Department of Fish and Wildlife**  
**California Natural Diversity Database**



Species	Element Code	Federal Status	State Status	Global Rank	State Rank	Rare Plant Rank/CDFW SSC or FP
<b><i>Helianthus nuttallii ssp. parishii</i></b> Los Angeles sunflower	PDAST4N102	None	None	G5TH	SH	1A
<b><i>Icteria virens</i></b> yellow-breasted chat	ABPBX24010	None	None	G5	S3	SSC
<b><i>Lasthenia glabrata ssp. coulteri</i></b> Coulter's goldfields	PDAST5L0A1	None	None	G4T2	S2	1B.1
<b><i>Laterallus jamaicensis coturniculus</i></b> California black rail	ABNME03041	None	Threatened	G3G4T1	S1	FP
<b><i>Lepidium virginicum var. robinsonii</i></b> Robinson's pepper-grass	PDBRA1M114	None	None	G5T3	S3	4.3
<b><i>Nama stenocarpa</i></b> mud nama	PDHYD0A0H0	None	None	G4G5	S1S2	2B.2
<b><i>Nasturtium gambelii</i></b> Gambel's water cress	PDBRA270V0	Endangered	Threatened	G1	S1	1B.1
<b><i>Passerculus sandwichensis beldingi</i></b> Belding's savannah sparrow	ABPBX99015	None	Endangered	G5T3	S3	
<b><i>Pentachaeta aurea ssp. allenii</i></b> Allen's pentachaeta	PDAST6X021	None	None	G4T1	S1	1B.1
<b><i>Perognathus longimembris pacificus</i></b> Pacific pocket mouse	AMAFD01042	Endangered	None	G5T1	S1	SSC
<b><i>Phrynosoma blainvillii</i></b> coast horned lizard	ARACF12100	None	None	G3G4	S3S4	SSC
<b><i>Polioptila californica californica</i></b> coastal California gnatcatcher	ABPBJ08081	Threatened	None	G4G5T2Q	S2	SSC
<b><i>Rallus obsoletus levipes</i></b> light-footed Ridgway's rail	ABNME05014	Endangered	Endangered	G5T1T2	S1	FP
<b><i>Senecio aphanactis</i></b> chaparral ragwort	PDAST8H060	None	None	G3	S2	2B.2
<b><i>Sidalcea neomexicana</i></b> salt spring checkerbloom	PDMAL110J0	None	None	G4	S2	2B.2
<b><i>Sorex ornatus salicornicus</i></b> southern California saltmarsh shrew	AMABA01104	None	None	G5T1?	S1	SSC
<b><i>Southern Coast Live Oak Riparian Forest</i></b> Southern Coast Live Oak Riparian Forest	CTT61310CA	None	None	G4	S4	
<b><i>Southern Coastal Salt Marsh</i></b> Southern Coastal Salt Marsh	CTT52120CA	None	None	G2	S2.1	
<b><i>Southern Sycamore Alder Riparian Woodland</i></b> Southern Sycamore Alder Riparian Woodland	CTT62400CA	None	None	G4	S4	
<b><i>Sternula antillarum browni</i></b> California least tern	ABNNM08103	Endangered	Endangered	G4T2T3Q	S2	FP
<b><i>Suaeda esteroa</i></b> estuary seablite	PDCHE0P0D0	None	None	G3	S2	1B.2



**Selected Elements by Scientific Name**  
**California Department of Fish and Wildlife**  
**California Natural Diversity Database**



<b>Species</b>	<b>Element Code</b>	<b>Federal Status</b>	<b>State Status</b>	<b>Global Rank</b>	<b>State Rank</b>	<b>Rare Plant Rank/CDFW SSC or FP</b>
<b><i>Symphotrichum defoliatum</i></b> San Bernardino aster	PDASTE80C0	None	None	G2	S2	1B.2
<b><i>Tryonia imitator</i></b> mimic tryonia (=California brackishwater snail)	IMGASJ7040	None	None	G2	S2	
<b><i>Vireo bellii pusillus</i></b> least Bell's vireo	ABPBW01114	Endangered	Endangered	G5T2	S2	

**Record Count: 44**



## Plant List

### Inventory of Rare and Endangered Plants

9 matches found. [Click on scientific name for details](#)

#### Search Criteria

California Rare Plant Rank is one of [1B, 2B], FESA is one of [Endangered, Threatened], CESA is one of [Endangered, Threatened, Rare], Found in Quads 3311778, 3311777, 3311776, 3311768, 3311767, 3311766 3311757 and 3311756;

[Modify Search Criteria](#)
[Export to Excel](#)
[Modify Columns](#)
[Modify Sort](#)
[Display Photos](#)

Scientific Name	Common Name	Family	Lifeform	Blooming Period	CA Rare Plant Rank	State Rank	Global Rank
<a href="#">Brodiaea filifolia</a>	thread-leaved brodiaea	Themidaceae	perennial bulbiferous herb	Mar-Jun	1B.1	S2	G2
<a href="#">Chloropyron maritimum ssp. maritimum</a>	salt marsh bird's-beak	Orobanchaceae	annual herb (hemiparasitic)	May-Oct (Nov)	1B.2	S1	G4?T1
<a href="#">Dodecahema leptoceras</a>	slender-horned spineflower	Polygonaceae	annual herb	Apr-Jun	1B.1	S1	G1
<a href="#">Dudleya stolonifera</a>	Laguna Beach dudleya	Crassulaceae	perennial stoloniferous herb	May-Jul	1B.1	S1	G1
<a href="#">Eriastrum densifolium ssp. sanctorum</a>	Santa Ana River woollystar	Polemoniaceae	perennial herb	Apr-Sep	1B.1	S1	G4T1
<a href="#">Eryngium aristulatum var. parishii</a>	San Diego button-celery	Apiaceae	annual / perennial herb	Apr-Jun	1B.1	S1	G5T1
<a href="#">Nasturtium gambelii</a>	Gambel's water cress	Brassicaceae	perennial rhizomatous herb	Apr-Oct	1B.1	S1	G1
<a href="#">Orcuttia californica</a>	California Orcutt grass	Poaceae	annual herb	Apr-Aug	1B.1	S1	G1
<a href="#">Verbesina dissita</a>	big-leaved crownbeard	Asteraceae	perennial herb	(Mar)Apr-Jul	1B.1	S1	G1G2

#### Suggested Citation

California Native Plant Society, Rare Plant Program. 2019. Inventory of Rare and Endangered Plants of California (online edition, v8-03 0.39). Website <http://www.rareplants.cnps.org> [accessed 11 April 2019].

#### Search the Inventory

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#### Contributors

[The Calflora Database](#)  
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[The Consortium of California Herbaria](#)

[CalPhotos](#)

**Questions and Comments**

[rareplants@cnps.org](mailto:rareplants@cnps.org)

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Soil Map—Orange County and Part of Riverside County, California



Soil Map may not be valid at this scale.

Map Scale: 1:691 if printed on A portrait (8.5" x 11") sheet.



## MAP LEGEND

- Area of Interest (AOI)
- Area of Interest (AOI)
- Soils**
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points
- Special Point Features**
- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features
- Water Features**
- Streams and Canals
- Transportation**
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads
- Background**
- Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Orange County and Part of Riverside County, California

Survey Area Data: Version 12, Sep 12, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 3, 2015—Jan 17, 2015

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
178	Myford sandy loam, thick surface, 0 to 2 percent slopes	1.2	100.0%
<b>Totals for Area of Interest</b>		<b>1.2</b>	<b>100.0%</b>

**Appendix D:  
Cultural Records Search Results**

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## Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
OR-00305		1979	Schroth, Adella	The History of Archaeological Research on Irvine Ranch Property: the Evolution of a Company Tradition	Archaeological Resource Management Corp.	30-000002, 30-000044, 30-000047, 30-000048, 30-000051, 30-000053, 30-000059, 30-000060, 30-000061, 30-000062, 30-000063, 30-000064, 30-000065, 30-000066, 30-000067, 30-000068, 30-000069, 30-000070, 30-000071, 30-000072, 30-000073, 30-000077, 30-000091, 30-000099, 30-000100, 30-000104, 30-000106, 30-000107, 30-000109, 30-000111
OR-01656		1997	Mason, Roger D.	Cultural Resources Survey Report for a Pacific Bell Mobile Services Telecommunications Facility: Cm 004-23, in the City of Costa Mesa, Ca.	Chambers Group, Inc.	
OR-02131	Cellular -	2000	Duke, Curt	Cultural Resource Assessment for Pacific Bell Mobile Services Facility Cm 298-02, County of Orange	LSA Associates, Inc.	
OR-02225	Other - Irvine Ranch	1978	Strozier, Hardy	The Irvine Company Planning Process and California Archaeology- A Review and Critique	The Irvine Company	
OR-02260		2000	Duke, Curt	Cultural Resources Assessment for At&t Wireless Services Facility Number R133.1, County of Orange, Ca	LSA Associates, Inc.	30-001538
OR-02534		1976		Annual Report to The Irvine Company from Archaeological Research, Inc.	ARI	30-000051, 30-000064, 30-000099, 30-000100, 30-000106, 30-000119, 30-000130, 30-000184, 30-000196, 30-000197, 30-000484, 30-000518, 30-000575
OR-03006		2002	Demcak, Carol R.	Report of Archaeological Resources Assessment for Paularino Avenue Reconstruction Project, City of Costa Mesa, Orange County, California	Archaeological Resource Management Corp.	
OR-03231		2005	Fulton, Phil and Terri Fulton	Cultural Resource Assessment Verizon Wireless Services Airway Facility City of Costa Mesa, Orange County, California	LSA Associates, Inc.	
OR-03972		2007	Kim, Steve	Proposed Federal Aviation Administration (FAA) Airport Surface Detection Equipment, Model X (ASDE-X) System to Serve John Wayne-Orange County Airport (SNA), Santa Ana, California	FAA	30-000077, 30-000194, 30-000687, 30-001223

## Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
OR-04068		2010	Fulton, Phil	Cultural Resource Assessment, Verizon Wireless Services, Airway Facility, City of Costa Mesa, Orange County, California	LSA Associates, Inc.	



## Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
OR-04172		2011	Chasteen, Carrie	Historic Property Survey Report San Diego Freeway (I-405) Improvement Project SR-73 to I-605, Orange and Los Angeles Counties	Parsons	19-189879, 19-189880, 19-189881, 19-189882, 19-189883, 19-189884, 19-189885, 19-189886, 19-189887, 19-189888, 19-189890, 19-189891, 19-189892, 19-189893, 19-189894, 19-189895, 19-189896, 19-189897, 19-189898, 19-189899, 19-189900, 19-189901, 19-189902, 19-189903, 19-189904, 19-189905, 19-189906, 19-189907, 19-189908, 19-189909, 19-189910, 19-189911, 19-189912, 19-189913, 19-189914, 19-189915, 19-189916, 19-189917, 19-189918, 19-189919, 19-189920, 19-189921, 19-189922, 19-189923, 19-189924, 19-189925, 19-189926, 19-189927, 30-000113, 30-000162, 30-001352, 30-001502, 30-177135, 30-177136, 30-177137, 30-177138, 30-177139, 30-177140, 30-177141, 30-177142, 30-177143, 30-177144, 30-177145, 30-177146, 30-177147, 30-177148, 30-177149, 30-177150, 30-177151, 30-177152, 30-177153, 30-177154, 30-177155, 30-177156, 30-177157, 30-177158, 30-177159, 30-177160, 30-177161, 30-177162, 30-177163, 30-177164, 30-177165, 30-177166, 30-177167, 30-177168, 30-177169, 30-177170, 30-177171, 30-177172, 30-177173, 30-177174, 30-177175, 30-177176, 30-177177, 30-177178, 30-177179, 30-177180, 30-177181, 30-177182, 30-177183, 30-177184, 30-177185, 30-177186, 30-177187, 30-177188, 30-177189, 30-177190, 30-177191, 30-177192, 30-177193, 30-177194, 30-177195, 30-177196, 30-177197, 30-177198, 30-177199, 30-177200, 30-177201, 30-177202, 30-177203, 30-177204, 30-177205, 30-177206, 30-177207, 30-177208, 30-177209, 30-177210, 30-177211, 30-177212, 30-177213, 30-177214, 30-177215, 30-177216, 30-177217, 30-177218, 30-177219, 30-177220,

## Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
						30-177221, 30-177222, 30-177223, 30-177224, 30-177225, 30-177226, 30-177227, 30-177228, 30-177229, 30-177230, 30-177231, 30-177232, 30-177233, 30-177234, 30-177235, 30-177236, 30-177237, 30-177238, 30-177239, 30-177240, 30-177241, 30-177242, 30-177243, 30-177244, 30-177245, 30-177246, 30-177247, 30-177248, 30-177249, 30-177250, 30-177251, 30-177252, 30-177253, 30-177254, 30-177255, 30-177256, 30-177257, 30-177258, 30-177259, 30-177260, 30-177261, 30-177262, 30-177263, 30-177264, 30-177265, 30-177266, 30-177267, 30-177268, 30-177269, 30-177270, 30-177271, 30-177272, 30-177273, 30-177274, 30-177275, 30-177276, 30-177277, 30-177278, 30-177279, 30-177280, 30-177281, 30-177282, 30-177283, 30-177284, 30-177285, 30-177286, 30-177287, 30-177288, 30-177289, 30-177290, 30-177291, 30-177292, 30-177293, 30-177294, 30-177295, 30-177296, 30-177297, 30-177298, 30-177299, 30-177300, 30-177301, 30-177302, 30-177303, 30-177304, 30-177305, 30-177306, 30-177307, 30-177308, 30-177309, 30-177310, 30-177311, 30-177312, 30-177313, 30-177314, 30-177315, 30-177316, 30-177317, 30-177318, 30-177319, 30-177320, 30-177321, 30-177322, 30-177323, 30-177324, 30-177325, 30-177326, 30-177327, 30-177328, 30-177329, 30-177330, 30-177331, 30-177332, 30-177333, 30-177334, 30-177335, 30-177336, 30-177337, 30-177338, 30-177339, 30-177340, 30-177341, 30-177342, 30-177343, 30-177344, 30-177345, 30-177346, 30-177347, 30-177348, 30-177349, 30-177350, 30-177351, 30-177352, 30-177353, 30-177354, 30-177355, 30-177356, 30-177357, 30-177358,

# Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
						30-177359, 30-177360, 30-177361, 30-177362, 30-177363, 30-177364, 30-177365, 30-177366, 30-177367, 30-177368, 30-177369, 30-177370, 30-177371, 30-177372, 30-177373, 30-177374, 30-177375, 30-177376, 30-177377, 30-177378, 30-177379, 30-177380, 30-177381, 30-177382, 30-177383, 30-177384, 30-177385, 30-177386, 30-177387, 30-177388, 30-177389, 30-177390, 30-177391, 30-177392, 30-177393, 30-177394, 30-177395, 30-177396, 30-177397, 30-177398, 30-177399, 30-177400, 30-177401, 30-177402, 30-177403, 30-177404, 30-177405, 30-177406, 30-177407, 30-177408, 30-177409, 30-177410, 30-177411, 30-177412, 30-177413, 30-177414, 30-177415, 30-177416, 30-177417, 30-177418, 30-177419, 30-177420, 30-177421, 30-177422, 30-177423, 30-177424, 30-177425
OR-04223		2011	Flynn, Chris	Notification of Finding of No Adverse Effect with Standard Conditions for the Bridge Deck Maintenance and Sealing at 30 Locations Throughout Orange County, California	Department of Transportation	
OR-04232		2012	Bonner, Wayne	Cultural Resources Records Search and Site Visit Results for TowerCo Candidate CA2454 (Orange County Airport), 350 McCormick, Avenue, Costa Mesa, Orange County, California	Michael Brandman Associates	

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**Appendix E:  
Seismic Report**

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# Seismic Report (Probable Maximum Loss)

3175 Airway Avenue

3175 Airway Avenue  
Costa Mesa, California

EBI Project No. 1319000059

February 25, 2019



Prepared for:

City of Costa Mesa  
77 Fair Drive  
Costa Mesa, CA 92628

Prepared by:



February 25, 2019

To Whom It May Concern  
City of Costa Mesa  
77 Fair Drive  
Costa Mesa, CA 92628

**Subject:** Seismic Report (Probable Maximum Loss)  
3175 Airway Avenue  
3175 Airway Avenue, Costa Mesa, California  
**EBI Project No.** 1319000059

To Whom It May Concern:

Attached please find our *Seismic (Probable Maximum Loss) Report* (the *Report*) for the above-mentioned asset (the Subject Property). During the property survey and research, our property surveyor met with agents representing the Subject Property, or agents of the owner, and reviewed the property and its history. The *Report* was completed in general conformance with ASTM Guide E2026-16a and ASTM Guide E2557-16a, and according to the terms and conditions authorized by you.

The exclusive purpose of this *Report* is to assist City of Costa Mesa in its Due Diligence effort in evaluating the Subject Property.

This *Report* is addressed to City of Costa Mesa and such other persons as may be designated by City of Costa Mesa and their respective successors and assigns.

EBI is an independent contractor, not an employee of either the issuer or the borrower, and its compensation was not based on the findings or recommendations made in the report or on the closing of any business transaction.

Thank you for the opportunity to be of service. Should you have questions or require additional information, please contact the undersigned.

Respectfully Submitted,  
**EBI CONSULTING**

Kiki Okaly, PE  
Author – Field Assessor / Structural Engineer

Manuel Chan, PE, SE      626.376.1706  
Reviewer / Senior Structural Engineer  
[manny.chan@ebiconsulting.com](mailto:manny.chan@ebiconsulting.com)



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DRAFT

## EXECUTIVE SUMMARY

The Subject Property, known as 3175 Airway Avenue, is located in Costa Mesa, California at 3175 Airway Avenue, was reportedly constructed in 1972 and consists of a single-tenant, office/warehouse building totaling 29,816±<sup>1</sup> net rentable square feet on a 1.34-acre lot.

Kiki Okaly of EBI surveyed the property on February 22, 2019, and was accompanied by and interviewed Mr. Kyle Millen, the property owner. During the survey, representative areas of the site, amenities, tenant spaces, offices, mechanical spaces, mechanical equipment and building components were observed. No structural drawings or site-specific geotechnical information were available for our review.

The purpose of our review and *Report* is to assess the Probable Maximum Loss (PML) defined as a Scenario Expected Loss (SEL) for the property based on a seismic event with a return period consistent with current building code requirements.

Based upon our survey, and utilizing the St-Risk statistical software program, **the PML for the Subject Property is estimated as 15% of the replacement cost of the building (475-year return period, 10% chance of exceedance in a 50 year exposure period).**

The Subject Property is not in an area subject to the Alquist-Priolo Earthquake Zoning Act or a seismic hazard zone as depicted on maps published by the California Department of Mines and Geology (CDMG).

No existing or prior significant structural or foundation damage from previous earthquakes was reported or observed.

Per ASTM Guide E2026-16a and ASTM Guide E2557-16a, potential building stability concerns were identified and are further discussed in Section 3.1.

---

<sup>1</sup> Square footage obtained from Rent Roll.

## I.0 INTRODUCTION & LIMITATIONS

The exclusive purpose of this Seismic Report (Probable Maximum Loss) (the *Report*) is to assist City of Costa Mesa in its due diligence evaluation of the Subject Property described in this *Report*. This *Report* has no other purpose and should not be relied upon by any other person or entity. Reliance upon this *Report* does not extend to property owners, or entities or individuals interested in purchasing the Subject Property. Amendments to EBI's limitations as stated herein that may occur after issuance of the *Report* are considered to be included in this *Report*. Payment for the *Report* is made by, and EBI's contract and *Report* extends to City of Costa Mesa only. By accepting draft and final Reports, City of Costa Mesa agrees to these terms and limitations.

This *Report* has been completed in general conformance with ASTM Guide E2026-16a Standard Guide for Seismic Risk Assessments of Buildings and ASTM Guide E2557-16a Standard Practice for Probable Maximum Loss (PML) Evaluations for Earthquake Due-Diligence Assessments. This *Report* is generally consistent with the definition of a "Level I investigation" as defined in ASTM Guide E2026.

The information reported was obtained through sources deemed reliable, a visual site survey of areas readily observable, easily accessible or made accessible by the property contact and interviews with owners, agents, occupants, or other appropriate persons involved with the Subject Property. Municipal information was obtained through file reviews of reasonably ascertainable standard government record sources, and interviews with the authorities having jurisdiction over the property. Findings, conclusions and recommendations included in the *Report* are based on our visual observations in the field, the municipal information reasonably obtained, information provided by the Client, and/or a review of readily available and supplied drawings and documents. No disassembly of systems or building components or physical or invasive testing was performed. EBI renders no opinion as to the property condition at un-surveyed and/or inaccessible portions of the Subject Property. EBI relies completely on the information, whether written, graphic or verbal, provided by the property contact, owner or agent, or municipal source, or as shown on any documents reviewed or received from the property contact, owner or agent, or municipal source, and assumes that information to be true and correct. The observations in this *Report* are valid on the date of the survey.

In accordance with ASTM Guides E2026 and E2557, the following limitations or exceptions to the Guides are identified below:

- The report certification is provided by supplying the professional license number and professional's signature. The seal has not been provided in this electronic copy.
- The Guide states that the User should arrange for or provide the Provider with timely access to all reports, plans, drawings, and specifications for the building(s), both for the original building and for any modifications, alterations or additions. No information of this type was provided to EBI.

The survey was conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession, and in accordance with generally accepted practices of other consultants currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended. The *Report* speaks only as of its date, in the absence of a specific written update of the *Report*, signed and delivered by EBI.

The contents of the *Report* are not intended to represent an in-depth analysis of the Subject Property. The extent of the physical survey for the production of this *Report* has been limited, by contract and agreed upon Scope of Work, to a brief "walk through" of the property. Assumptions regarding the overall condition of the property have been developed based upon a survey of "representative" areas of the building. As such, no representation of *all* aspects of *all* areas or components is made.

Any additional information that becomes available after our survey and draft submission concerning the Subject Property should be provided to EBI so that our conclusions may be revised and modified if necessary, at additional cost. This *Report* has been prepared in accordance with our Standard Conditions for Engagement, which is an integral part of this *Report*.

#### ABBREVIATIONS

EBI may use various abbreviations to describe various site, building or system components or legal descriptions. Not all abbreviations may be applicable to all Reports. The abbreviations most often utilized are defined below.

APA	American Plywood Association	OSB	Oriented Strand Board
CMU	Concrete Masonry Unit	PL	Probable Loss
EIFS	Exterior Insulating Finishing System	PML	Probable Maximum Loss
FRT	Fire retardant treated plywood	SEL	Scenario Expected Loss
GWB	Gypsum Wall Board	SUL	Scenario Upper Loss
MMI	Modified Mercalli Intensity	UBC	Uniform Building Code
		DBE	Design Basis Earthquake

DRAFT

## 2.0 EVALUATION PROCEDURES

This report is based upon a site observation made on February 22, 2019. The Probable Maximum Loss (PML) has been estimated utilizing the St-Risk statistical software program. The PML value is not intended to be a guarantee of how the property will perform in a seismic occurrence. It is a statistical review that is intended to suggest how the property may be affected by a probable seismic event. The PML value is based on the building location, construction type, date of construction, and building configuration.

The PML values are provided as a mean recurrence interval or a probability of exceedance. The mean recurrence interval is the average period of time, in years, between the occurrence of earthquakes that produce effects of the same, or greater, severity. The probability of exceedance (e.g., 10% in 50 years) is a statistical representation of the chance that earthquake effects exceeding a given severity will be experienced at the site within a specified number of years.

The PML does not take into account the value of equipment, inventory or monetary loss from business interruption. EBI represents that the estimate of seismic performance for the building is based on a limited review of the property condition, and on a large measure of engineering judgment that is incorporated into the St-Risk program. Engineering judgment is a necessary component of this review since analytical methods do not exist that will encompass all parameters required to determine an exact cost of any damage caused by the scenario earthquake.

This report represents our professional experience and judgment, and a good faith effort to obtain all available information. Documents and information provided by the client, designated representatives of the client or other interested parties, and consulted in the preparation of this report, have been used herein, with the understanding that EBI assumes no responsibility or liability for their accuracy or for the withholding by any of the involved parties of any reports or other information that could affect the transaction.

### 3.0 PROPERTY DESCRIPTION

#### 3.1 GENERAL INFORMATION

The Subject Property is improved with one concrete tilt-up construction, flat-roofed office/warehouse building. The building has office spaces at the south east and north west corners of the warehouse with mezzanine spaces. The table below lists the building and certain characteristics.

ADDRESS	YEAR BUILT	CONSTRUCTION TYPE	BUILDING FOOTPRINT SHAPE	NO. OF FLOORS	APPROX. DIMENSIONS	GROSS AREA (SF)
3175 Airway Avenue	1972	Concrete tilt-up bearing/shear wall	Relatively Rectangular	1 + mezzanines	130' x 225'	29,816

The superstructure consists of perimeter structural concrete tilt-up wall panels and interior wood columns supporting the roof. The roof is a wood framed roof with solid sawn wood sub-purlins and purlins, glue-laminated girders with plywood sheathing. The ground floor is a slab on grade. The foundation system could not be observed but likely consists of reinforced concrete continuous strip footings and pad footings supporting the walls and columns, respectively. The two mezzanines are wood framed with solid sawn wood joists and beams with plywood sheathing.

The lateral load resisting system for the building consists of the plywood sheathed roof acting as a deep beam, also referred to as a diaphragm, transmitting the wind and earthquake loads to the precast concrete tilt-up shear walls that transfer loads to the foundation.

The Subject Property appears to have been designed to the requirements of the 1970 Edition of the Uniform Building Code (UBC) or equivalent. Finishes within the roof structure prevented the verification of the wall/roof connection throughout the building.

Based on the above, the as-built framing system does appear to have some potential for a localized collapse. Consequently, the Subject Property improvements may be unable to maintain their vertical load-bearing capacity in whole or in part during considered earthquake ground motions due to the following observed conditions:

- EBI could not observe or verify any substantial positive wall tie anchorage connecting the wood framed roof to the exterior concrete walls; under these conditions, the heavy walls have the potential to separate from the roof and floors during a code level seismic event.

#### 3.2 BUILDING AND SITE CHARACTERISTICS

For purposes of this analysis, buildings can be grouped into various classes. Buildings within the same class can be expected to perform similarly at different levels of earthquake shaking. To account for the differences between buildings within the same class, additional information is utilized.

BUILDING CHARACTERISTICS	
Construction Class:	Per section 3.1 table
Number of Stories:	Per section 3.1 table
Year Constructed:	Per section 3.1 table
Occupancy Type:	Office/Warehouse

SECONDARY STRUCTURAL CHARACTERISTICS:	
Shape Configuration:	Per section 3.1 table
Setbacks:	No setbacks observed
Overhangs:	No major overhangs observed
Redundancy:	Minor non-redundancy at loading dock doors and storefront systems
Torsion:	Minor due to loading dock doors and storefronts
Structural Irregularities:	None observed
Building Exterior:	Painted concrete tilt-up wall panels
Ornamentation:	Little
Wall-Roof Connection:	Seismic connection concealed or not observed but assumed to comply with code of record
Structural Upgrade:	None observed or reported
Engineered Foundation:	Assumed present
Mechanical/ Electrical Equipment:	Bracing of some equipment observed; one hot water heater observed with no seismic straps
Construction Quality:	Good
Hazardous Exposure:	None reported

### SITE CHARACTERISTICS

The soil conditions at a site can influence the damageability of a structure in two general ways:

- Soft soils tend to amplify ground motion.
- Collateral hazards such as soil liquefaction, sliding or rupturing can potentially result in considerable damage to a structure.

No site-specific geotechnical information was provided.

Based on the location of the Subject Property, information regarding the site characteristics has been gathered from the soil data retrieved from the California Geologic Survey and the St-Risk database.

The following site characteristics were used in estimating the PML:

SITE SUMMARY	
Site Soil Type:	<i>Alluvium, S<sub>D</sub> –Seismic Zone 4 (assumed soil profile)</i>
COLLATERAL HAZARDS	
Liquefaction Potential:	<i>Assumed low (Per State of California Seismic Hazard Zones for Tustin Quadrangle Official Map dated January 17, 2001, and St-Risk)</i>
Landslide Potential:	<i>Low</i>
Fault Rupture Potential:	<i>Low</i>

The estimated peak ground acceleration (PGA) is 0.4185g for the 475-year return period earthquake based upon 2014 data from the United States Geological Survey (USGS).

## 4.0 SEISMIC REVIEW

### 4.1 SITE SEISMICITY

The Richter Magnitude Scale gives an indication of the absolute energy released in an earthquake. However, generally speaking, the further a building is from the epicenter, the less shaking it will experience. As such, just considering the magnitude of an earthquake does not give an adequate picture of the building's risk, since the distances from potential earthquake sources to the subject site must also be considered.

The Modified Mercalli Intensity Scale considers the reduction, or attenuation, of ground motion as the distance between source and site increase; the scale is calibrated from I to XII. For example, in a large earthquake, a site next to the fault may experience intensity IX shaking, while a site many miles away may experience only intensity VI shaking.

St-Risk estimates the building damage ratio by calculating the local ground motion according to the MMI Scale. The table below describes the effect of the MMI Scale intensity levels:

SCALE	POTENTIAL DAMAGE
VI-	Felt by all; many frightened and run outdoors. Some heavy furniture moved; a few instances of fallen plaster or damaged chimneys. Damage slight.
VII-	Damage is negligible in buildings of good design and construction; slight to moderate in well-built ordinary buildings; considerable in poorly built or badly designed buildings. Fall of plaster and stucco is considerable. Numerous windows are broken and weak chimneys are cracked.
VIII-	Damage is slight in structures built especially to withstand earthquakes; considerable in ordinary substantial buildings with possible partial collapse; panel walls in the frame structures are thrown out. Chimneys, walls and monuments fall.
IX-	Damage is considerable in masonry structures built to withstand earthquakes; some wood frame houses built to withstand earthquakes will be thrown out-of-plumb. Damage is great in substantial buildings, some collapse in large part. Frame buildings are shifted off foundations, and frames crack.
X-	Damage is severe to well-built wooden structures; most masonry and frame structures are destroyed. Dangerous cracks develop in brick walls of excellent construction.
XI-	Few structures remain standing. Fissures appear in the ground. Pipes are broken by landslides.
XII-	Damage is total. Undulating waves from seismic forces are seen on ground surface. Objects are thrown in the air. Large rock masses are displaced.

### CONCLUSION

The MMI for this site, located in seismic Zone 4, is VII-VIII for an event with a 475-year return period.



#### 4.2 PROBABLE MAXIMUM LOSS

The PML is the amount of damage the property might suffer as a result of a seismic event with a return period consistent with current building code requirements. This PML has been estimated and formulated as a mean or Scenario Expected Loss (SEL); it represents the average damage expected for a given class of buildings. The PML is expressed as a damage ratio, which is defined as the approximate repair cost resulting from the site seismicity divided by the replacement cost of the building.

Replacement costs do not include the value of the land, nor do they refer to the market value of the property.

For the PML values please refer to Section 5 and the Seismic Analysis Summary appended to the Report.

## 5.0 CONCLUSIONS

Based upon our survey, utilizing the St-Risk statistical software program, **the SEL-475 for the Subject Property constructed in 1972 is estimated to be 15%, of the replacement cost of the building (475-year return period, 10% chance of exceedance in a 50 year exposure period).**

The Subject Property is not in an area subject to the Alquist-Priolo Earthquake Zoning Act or a seismic hazard zone as depicted on maps published by the California Department of Mines and Geology (CDMG).

No existing or prior significant structural or foundation damage from previous earthquakes was reported or observed.

Our seismic evaluation of the building is based on our visual walk-through survey. No structural drawings or site-specific geotechnical information was provided for review.

We have performed a probable maximum loss (PML) evaluation for earthquake due diligence assessment in conformance with the scope and limitations of Guide E2026 and Practice E2557 for a Level I assessment of 3175 Airway Avenue, Costa Mesa, California, the property. Any exceptions to, or deletions from, this practice are described in Appendix D of this report. This probable maximum loss (PML) evaluation for earthquake due diligence assessment has determined the PML to be as stated above. The PML is defined as Scenario Expected Loss (SEL). The project does not meet the building stability requirements for the reasons discussed in Section 3.1 and meets the site stability requirements.

**APPENDIX A**  
**SEISMIC ANALYSIS SUMMARY**

DRAFT

# 3175 AIRWAY AVENUE - Seismic Risk Analysis

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**Company Name:** EBI Consulting  
**Building Name:** 3175 Airway Avenue  
**Street Address:** 3175 Airway Avenue  
Costa Mesa, CA, USA 92626

**Date:** February 25, 2019  
**Job Number:** 1319000059  
**Engineer:** Kiki Okaly, PE  
**PE Number/State:** C84457

---

## INFORMATION SOURCES

**Site Visit:** Kiki Okaly, PE  
**Interviewed:** Kyle Millen, Owner

**Date:** February 22, 2019  
**Docs Reviewed:** Only public permit search, no site specific documents provided for review

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## BUILDING DESCRIPTION

**Building Classification:** PC1(4C) - Precast/Tilt-up Concrete Shear Walls w/ Flexible Diaphragms  
**Occupancy:** Manufacturing  
**Latitude/Longitude:** 33.6802 -117.8707  
**Region:** USA: California  
**Region Version:** 3.10  
**Evaluation Lifetime (yrs):** 30  
**Uniform Building Code Design Edition:** 1970  
**Year Constructed:** 1972  
**Year Retrofitted:** 1970  
**Building Height (stories):** 1  
**Fundamental Period (s):**  
**Area (sf):** 29,816  
**Replacement Cost (\$):**  
**Plan Dimensions:** 130 x 225  
**Exterior North-South Walls:** Painted concrete panel  
**Exterior East-West Walls:** Painted concrete panel  
**Roof Deck/Framing:** Wood framed roof  
**Intermediate Floors/Framing:** Wood framed mezzanines  
**Ground Floors:** Concrete slab on grade  
**Columns:** Interior wood columns  
**Foundation:** Assumed shallow reinforced concrete foundations  
**Basement Levels:** NA  
**Parking Structure:** NA

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## LATERAL FORCE RESISTING SYSTEM

**Floors/Roof:** Plywood sheathing on wood purlins with glue laminated girders at the roof. Wood framed mezzanines at southeast and northwest corners.  
**Walls/Braces:** Concrete tilt-up wall panels around building perimeter

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## BUSINESS INTERRUPTION

**Max. Loss With No BI:**  
**Min. Loss At Abandonment:**  
**BI Months At Abandonment:**  
**BI Revenue Loss Rate(\$/Month):**

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# 3175 AIRWAY AVENUE - Seismic Risk Analysis

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**Company Name:** EBI Consulting  
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**Engineer:** Kiki Okaly, PE  
**PE Number/State:** C84457

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## GEOTECHNICAL DESCRIPTION

**Provider:**  
**Date:**  
**UBC Soil Class:** CD  
**Liquefaction Resilience:** Low  
**Liquefaction Susceptibility:** Low  
**Depth to Water Table (ft):** Unknown [Assuming - 30]  
**Landslide Susceptibility:** Low

**Topography:**  
**Soil Conditions:**

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## COMMENTS

**Comments:**

# 3175 AIRWAY AVENUE

**Company Name:** EBI Consulting  
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**Date:** February 25, 2019  
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**Engineer:** Kiki Okaly, PE  
**PE Number/State:** C84457

## MODIFIED FEMA-310 WORKSHEET

### PC1(4C)Precast/Tilt-up Concrete Shear Walls w/ Flexible Diaphragms

Category	Range	Typical	Modifier
<b>GENERAL BUILDING FEATURES</b>			
Complete load path	T, F	F	?
No adjacent buildings	T, F	T	T
Interior mezzanines adequately braced	N/A, T, F	T	T
No strength irregularity	T, F	T	T
No soft story	T, F	T	T
No geometrical irregularities	T, F	T	T
No vertical discontinuities	T, F	T	T
No mass irregularity	T, F	T	T
Adequate tie reinforcement of girder/pilaster anchor bol	T, F	F	?
Adequate girder to column/wall connection	T, F	F	?
Adequate wall anchorage	T, F	F	?
Adequate out-of-plane panel anchors	T, F	F	?
Wood ledgers not in cross grain bending	N/A, T, F	F	T
One story	T, F	T	T
<b>LATERAL FORCE RESISTING SYSTEM</b>			
Redundancy	T, F, 0-10	5	T
Shear stress check of precast panels	T, F, 0-20	15	15
Reinforcing steel	T, F, 0-5	2	2
Reinforcing at corner openings	N/A, T, F, 0-5	2	2
Coupling beams properly reinforced	N/A, T, F, 0-15	15	15
Limited wall openings	N/A, T, F, 0-5	2	2
Panel to panel connections not inserts	T, F, 0-10	5	5
Adequate wall thickness	T, F, 0-5	2	2
Collectors	T, F, 0-5	2	2
<b>CONNECTIONS</b>			
Precast wall panels doweled into foundation	T, F, 0-10	0	0
Lateral load path at pile caps	N/A, T, F, 0-10	0	N/A
<b>FLOOR DIAPHRAGMS</b>			
Crossties	T, F, 0-5	2	0
Reinforcing at re-entrant corner	N/A, T, F, 0-10	0	N/A
Adequate reinforcing at openings	N/A, T, F, 0-5	0	N/A
Adequate straight sheathing aspect ratios	N/A, T, F, 0-5	2	N/A
Large spans adequately sheathed	N/A, T, F, 0-5	2	N/A
Unblocked diaphragms meet requirements	N/A, T, F, 0-5	2	N/A
Other diaphragms meet requirements	N/A, T, F, 0-5	2	N/A

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**PE Number/State:** C84457

## MODIFIED FEMA-310 WORKSHEET

Category	Range	Typical	Modifier
<b>ROOF DIAPHRAGM (ONLY IF 5 STORIES OR LESS)</b>			
Crossties	T, F, 0-5	2	<u>2</u>
Reinforcing at re-entrant corner	N/A, T, F, 0-10	0	<u>N/A</u>
Adequate reinforcing at openings	N/A, T, F, 0-5	0	<u>0</u>
Adequate straight sheathing aspect ratios	N/A, T, F, 0-5	2	<u>N/A</u>
Large spans adequately sheathed	N/A, T, F, 0-5	2	<u>2</u>
Unblocked diaphragms meet requirements	N/A, T, F, 0-5	2	<u>2</u>
Other diaphragms meet requirements	N/A, T, F, 0-5	2	<u>2</u>
<b>UNUSUAL CONDITIONS</b>			
Little deterioration of wood	T, F, 0-5	2	<u>2</u>
Little deterioration of precast concrete walls	T, F, 0-5	2	<u>2</u>
Little foundation damage	T, F, 0-5	2	<u>2</u>
Little foundation deterioration	T, F, 0-5	2	<u>2</u>
Adequate overturning resistance	T, F, 0-5	2	<u>2</u>
Ties between foundation elements	N/A, T, F, 0-5	2	<u>2</u>
Lateral force on deep foundations	N/A, T, F, 0-5	2	<u>N/A</u>
Pole buildings	N/A, T, F, 0-5	0	<u>N/A</u>
Insignificant sloping at site	N/A, T, F, 0-5	0	<u>0</u>
<b>SITE DEPENDENT HAZARDS - ACTIVE FAULTS</b>			
Surface fault rupture	N/A, 0-50	0	<u>0</u>
<b>NONSTRUCTURAL EXTERIOR 'WALLS'</b>			
Cladding, glazing, veneer	N/A, T, F, 0-10	5	<u>1</u>
Chimneys	N/A, T, F, 0-5	5	<u>N/A</u>
<b>NONSTRUCTURAL INTERIOR 'WALLS'</b>			
Partitions (HC tile)	N/A, T, F, 0-10	0	<u>N/A</u>
Partitions (pre-cast panels, plaster, other)	N/A, T, F, 0-10	5	<u>N/A</u>
<b>EXTERIOR ORNAMENTATION</b>			
Parapets, cornices, and appendages	N/A, T, F, 0-10	0	<u>0</u>
<b>INTERIOR ORNAMENTATION</b>			
Building contents and furnishings	T, F, 0-10	5	<u>2</u>
Ceiling systems	T, F, 0-5	5	<u>0</u>
Light fixtures	T, F, 0-5	5	<u>1</u>

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**PE Number/State:** C84457

## MODIFIED FEMA-310 WORKSHEET

Category	Range	Typical	Modifier
<b>MECHANICAL AND ELECTRICAL SYSTEMS</b>			
Mechanical and electrical equipment	T, F, 0-10	5	<u>5</u>
Piping and sprinklers	T, F, 0-5	2	<u>2</u>
Ducts	T, F, 0-5	2	<u>2</u>
Elevators	N/A, T, F, 0-5	2	<u>N/A</u>
<b>HAZARDOUS EXPOSURES - MATERIALS</b>			
No hazardous materials	N/A, T, F, 0-10	0	<u>0</u>
<b>OCCUPANCY (TYPE: MANUFACTURING)</b>			
Interior Construction	-15-0	0	<u>-12</u>
<b>SITE DEPENDENT CHARACTERISTICS</b>			
UBC Soil Class	A - E	CD	<u>CD</u>
Liquefaction Resilience	Low - High	Low	<u>Low</u>
Liquefaction Susceptibility	V. Low-V. High	Very Low	<u>Low</u>
Depth to Water Table (ft)	0-1000+	30	<u>Unknown</u>
Landslide Susceptibility	V. Low-V. High	Very Low	<u>Low</u>



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## VULNERABILITY SUMMARY

### Component Modifier Summary

**Base Class 90% Fractile Loss at MMI=IX (% of Value):** 56

#### Modifiers to Base Class Loss

Item	Group Modifier (% of Loss)	Sigma (% of Loss)
1. Occupancy type:	-12	1.5
2. Connections:	0	1.1
3. Walls:		
A. Exterior	-2	2.6
B. Interior	0	0.0
4. Diaphragms:		
A. Floor(s)	-1	0.4
B. Roof	0	1.9
5. Ornamentation:		
A. Exterior	0	2.1
B. Interior	-4	1.8
6. Mechanical/electrical systems:	0	4.0
7. Unusual conditions:	0	3.7
8. Hazardous exposures:		
A. Tank and overhanging walls	0	2.1
B. Pounding and adjacent buildings	0	0.0
9. Site dependent hazards:		
A. Proximity of active fault	0	10.6
Total	-19	13.0

**Modified Base Class 90% Fractile Loss at MMI=IX (% of Value):** 45

#### Loss vs MMI

MMI	Loss to Facilities (% of Value)	
	90% Frac. Loss	Mean
V	0	0
VI	3	2
VII	17	10
VIII	31	18
IX	45	26
X	52	30
XI	59	34
XII	66	38

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## RISK SUMMARY

### Expected Loss Table

Probability of Exceedence	MMI	Loss to Facilities (% of Value)			BI (months)
		PL	SUL	SEL	
50.0% in 30 years 43 year return period	VI-VII	2	7	4	N/A
10.0% in 30 years 285 year return period	VII-VIII	12	22	13	N/A
2.0% in 30 years 1485 year return period	VIII	23	35	20	N/A
10.0% in 50 years 475 year return period	VII-VIII	15	26	15	N/A
2.0% in 50 years 2475 year return period	VIII-IX	29	39	23	N/A

### Event and Fault Table

Close and Significant Seismic Sources	Maximum Magnitude	Closest Distance (km)	Max. MMI	Max. SUL *	Max. SEL *	Maximum Business Interruption (months)	Percent Contribution **
San Joaquin Hills***	7.1	2.3	IX	45	26	N/A	16
California Gridded	7.0	5.0	VIII-IX	39	22	N/A	16
Imp Extensional Gridded, GR, Strike Slip	7.0	5.0	VIII-IX	37	21	N/A	<1
Imp Extensional Gridded, GR, Normal	7.0	5.0	VIII	34	19	N/A	<1
Imp Extensional Gridded, Char, Strike Slip	7.0	5.1	VIII-IX	36	21	N/A	<1
Imp Extensional Gridded, Char, Normal	7.0	5.1	VIII	33	19	N/A	<1
Newport-Inglewood, alt 2	7.2	9.1	VIII	30	17	N/A	3
Newport Inglewood Connected alt 2	7.5	9.1	VIII	32	19	N/A	2
Newport-Inglewood, alt 1	7.2	9.2	VIII	30	17	N/A	3
Newport Inglewood Connected alt 1	7.5	9.3	VIII	32	19	N/A	2
Newport Inglewood Connected al	7.5	9.3	VIII	32	18	N/A	3
Newport-Inglewood (Offshore)	7.0	10.7	VII-VIII	26	15	N/A	7
Puente Hills (Coyote Hills)	6.9	21.9	VII	18	11	N/A	1
Elsinore;W	7.0	25.7	VII	15	9	N/A	3
Palos Verdes	7.3	27.4	VII	18	10	N/A	4
Palos Verdes Connected	7.7	27.4	VII-VIII	22	13	N/A	4

\* Losses to individual events are from shaking only.

\*\* Percent contributions are for the probabilistic 475 year return period risk.

\*\*\* Event causing highest loss (from shaking only)

**Average Annual Loss (% of Repl. Cost): 0.228034**

**Business Interruption Average Annual Loss (\$): 0**

**Return Period of Major Liquefaction/Landslide: 8038 Years**

# 3175 AIRWAY AVENUE

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## DISCLAIMERS and OTHER INFORMATION

### RESULTS DISCLAIMER

This report, and the analyses, estimates and conclusions are based on scientific data, mathematical and empirical models, and experience of engineers, geologist and geotechnical specialist, using the input specified by the software licensee. Actual losses experienced during any earthquake may differ substantially from these estimates. Neither Risk Engineering, Inc., Degenkolb Engineers, nor any third party supplier of information to this software can be held liable for any inaccuracies in the results obtained by ST-RISK.

### SPRINKLER DAMAGE

Substantial building facilities loss has occurred in recent large earthquakes due to fire sprinkler damage. The figures presented herein may not adequately account for these potential losses. If the modifier for sprinklers in the Mechanical and Electrical Systems section of the Modified FEMA-310 Worksheet was 3 or higher, or '?', a more detailed evaluation of potential sprinkler damage should be made and additional loss anticipated.

### THIRD PARTY DATA

Much of the data in this report is derived from data provided by the California Geological Survey (CGS), the US Geological Survey (USGS), the Geological Survey of Canada (GSC), as well as other parties. Most of the original data received was modified to make compatible with ST-RISK. None of these parties can be held liable for any inaccuracies inherent in the data or inherent in the modifications.

# 3175 AIRWAY AVENUE

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---

## GLOSSARY

<b>MMI</b>	Modified Mercalli Intensity - A measure of ground motion intensity based on human perception of motion and observed structural damage.
<b>PML</b>	Probable Maximum Loss - The percentage monetary loss (damage/replacement cost x 100) that has a 10 percent chance of being exceeded for a 475-year ground motion.
<b>PL</b>	Probable Loss - For a given time interval, or return period, this is the amount of loss that a property is expected to meet or exceed on an average basis. This combines the probability distribution of hazard with the full damage distribution, representing the best overall assessment of risk.
<b>SUL</b>	Scenario Upper Loss - The percentage monetary loss (damage/replacement cost x 100) that has a 10 percent chance of being exceeded given any defined ground shaking intensity. Equal to PML for 475-year ground shaking.
<b>SEL</b>	Scenario Expected Loss - The expected, or mean, percentage monetary loss (damage/replacement cost x 100) that is predicted given any defined ground shaking intensity.
<b>Mean Loss</b>	The expected, or average, percentage monetary loss (damage/replacement cost x 100) that is predicted for a given ground shaking level.
<b>Sigma</b>	The range of building assessment variation covered by one standard deviation. This represents the uncertainty of characterizing the building properly. This does not include uncertainty in the expected ground motion intensities nor range of expected damage. It is implied that the distribution of uncertainty is truncated at 100% and 0% of building value.
<b>BI</b>	Business Interruption / Loss-of-Use - The number of months that the facility is out of operation.
<b>Base Class Loss</b>	The percentage monetary loss for 90% fractile (damage/replacement cost x 100) assigned to a building class that accounts for type of construction and important construction deficiencies.
<b>Modified Base Class Loss</b>	The percentage monetary loss for 90% fractile assigned to a building class that accounts for the Base Class Loss and location and minor construction deficiencies.
<b>Probability of Exceedence</b>	The probability that the ground shaking level or damage level will be exceeded.
<b>Event Causing Highest Loss</b>	The highest level of intensity due only to shaking that is experienced when considering all earthquakes given a median predicted shaking level.
<b>Maximum Considered Earthquake (MCE)</b>	Loss associated with a 2% in 50 year probability of exceedence.
<b>Uniform Building Code (UBC)</b>	Loss associated with a 10% in 50 year probability of exceedence as defined by new building design provisions found in the Uniform Building Code.
<b>% Contribution</b>	Percent contribution of fault or fault segment to the 475-year return period risk.

# Unified Hazard Tool



Please do not use this tool to obtain ground motion parameter values for the design code reference documents covered by the [U.S. Seismic Design Maps web tools](#) (e.g., the International Building Code and the ASCE 7 or 41 Standard). The values returned by the two applications are not identical.

## ^ Input

### Edition

### Spectral Period

### Latitude

Decimal degrees

### Time Horizon

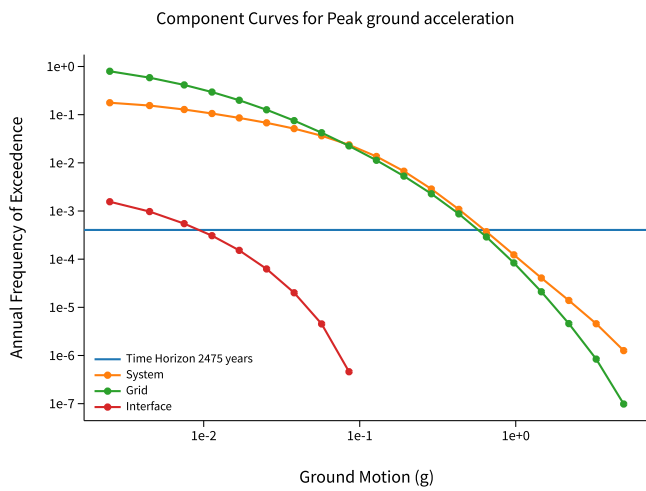
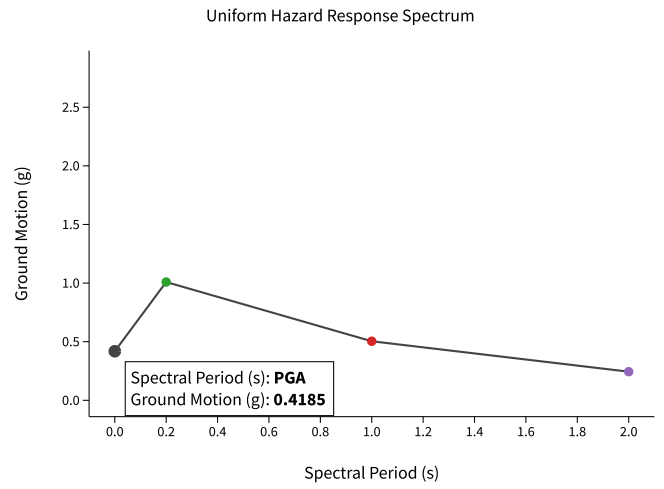
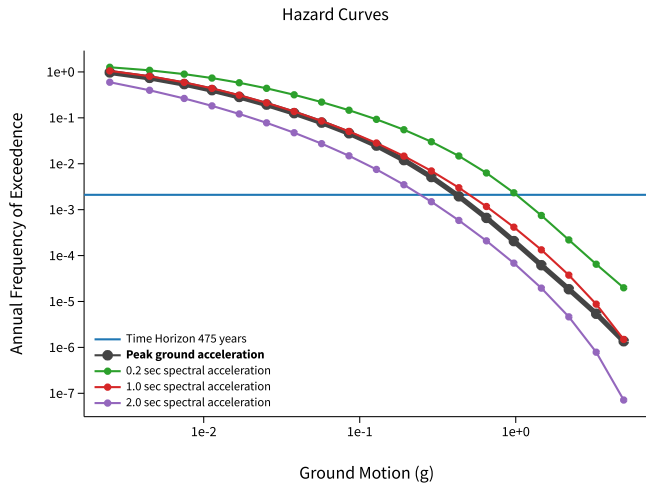
Return period in years

### Longitude

Decimal degrees, negative values for western longitudes

### Site Class

# ^ Hazard Curve



[View Raw Data](#)

**APPENDIX B  
PHOTOGRAPHS**

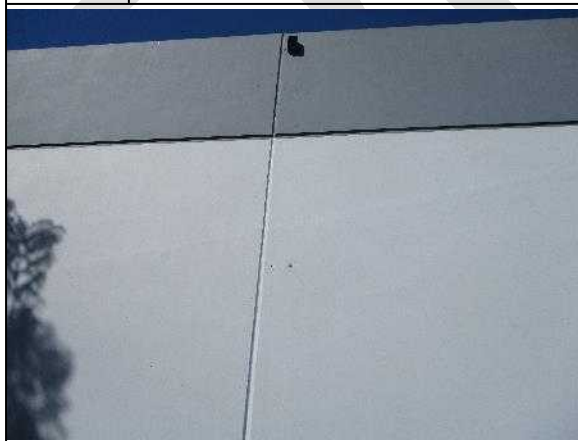
DRAFT



1. View of Subject Property from street. Note storefront system at south east corner.



2. Representative façade with some loading dock doors.



3. Exterior concrete tilt-up wall panels.



4. Interior of warehouse space.



5. Underside of roof framing. Note diagonal bracing of HVAC unit.

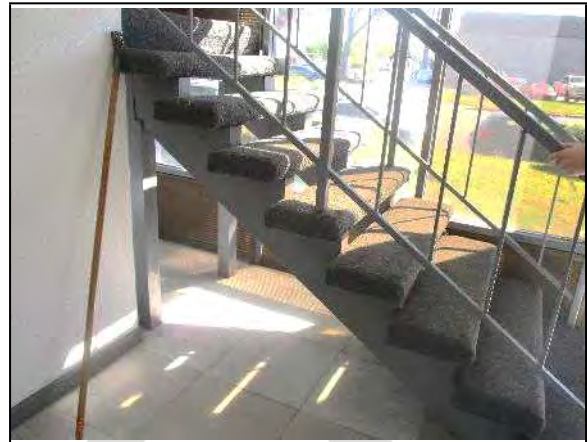


6. Wood purlins and glue-laminated girder.





7. Glue-laminated girder on concrete pilaster at exterior wall.



10. Wood framed stairs to office mezzanine.



8. Glue-laminated girder on concrete pilaster at exterior wall.



11. Hot water heater in south east office portion with seismic straps.



9. Base of interior wood column to concrete floor slab.



12. Hot water heater in north west office portion. Note no seismic straps.

**APPENDIX C  
PROFESSIONAL QUALIFICATIONS**

DRAFT

### **Summary of Experience**

Ms. Okaly has over 6 years of experience in the structural engineering field. Ms. Okaly has worked doing new building design, seismic retrofits, tenant improvement design, and property assessments. The assessments have included on-site inspections and written reports for general building condition evaluations, seismic damage assessments, and ASCE Tier I seismic performance evaluations for a large range of property types including commercial, residential, multi-family, and school buildings. Ms. Okaly is a licensed PE in the state of California and is a Cal OES Safety Assessment Program evaluator.

### **Relevant Project Experience**

#### **Seismic Performance Evaluations:**

University Portfolio – Worked with building owners to analyze current structural capacity of campus buildings. Performed site inspections of over 20 university buildings in Southern California; including education spaces, offices, and dormitories. Wrote ASCE Tier I seismic performance evaluations for all sites.

#### **Structural Design:**

Worked with building owners, architects, mechanical teams, and contractors on new and renovation design projects throughout Southern California. Projects included site visits before construction to assess the space, as well as during construction to ensure all is being building per plans and up to code. Was responsible for designing all building components for varied construction types including steel, concrete, masonry, and wood.

#### **Damage Assessments:**

Worked with insurance companies and building owners to analyze damage and property claims arising from natural perils. Wrote damage assessment reports for all buildings and developed basic repair and seismic retrofit plans when required. Majority of work was as result of the Canterbury earthquake sequence of 2011.

- University Portfolio – Performed site inspections of over 30 university buildings; including education spaces, offices, and dormitories.
- Church Portfolio – Performed site inspections of over 75 church owned buildings; including churches, offices, and daycare facilities.
- General Commercial & Residential sites – Performed site inspections of various industrial, commercial, and multi-residential properties.

### **Education**

Master of Engineering, Structural Engineering, Lehigh University 2011  
Bachelor of Science, Civil Engineering, Lehigh University, 2010

### **Professional Registrations**

Professional Engineer (PE), CA #84457 – April 2015

Cal OES SAP Evaluator #80393 – May 2016

### **Summary of Experience**

Mr. Chan is a registered professional engineer has over 15 years of experience in the structural engineering, seismic design and construction field. His expertise includes the design and analysis of commercial, residential and institutional projects. Mr. Chan also has 5 years of experience in the structural evaluation of existing properties, including the preparation of over 1000 seismic reports for real estate due diligence studies.

At EBI Consulting, Mr. Chan specializes in structural risk evaluation and structural condition assessments.

### **Relevant Project Experience**

**Seismic Evaluations for Over 1000 Commercial, Residential and Hospitality Buildings to Determine Probable Maximum Loss Estimates:** Collected data, evaluated, and completed over 1000 reports providing an estimate of financial losses due to earthquakes. The work has included HUD scope evaluations.

**Long Beach Catalina Landing Seismic Evaluation:** Lead engineer in the seismic evaluation of a three story concrete special moment frame building based on the guidelines of ASCE 31-03; seismic evaluation of existing buildings

**Fullerton community college:** Lead project engineer in the structural design of a steel special moment frame, two story building. Dynamic analysis and preparation of calculations, CAD drawings and details.

**Boulevard 6200 Hollywood, CA:** Lead project engineer in the structural design of a \$450 million mixed used project in Hollywood Blvd. One million square feet of residential comprised of wood framed towers over concrete podium retail and underground parking. Preparation of calculations, drawings and specifications by directing CAD and engineering staff.

### **Education**

B.S. Civil Engineering Universidad Santa Maria La Antigua, Panama City, Panama  
M.S. Structural Engineering University of Southern California

### **Professional Affiliations**

Structural Engineer's Association of Southern California  
American Society of Civil Engineers

### **Professional Registrations**

Professional Engineer – California CE 71512  
Structural Engineer – California SE 5682

**APPENDIX D  
ASTM SUMMARY FINDINGS FORM**

DRAFT

Property Name: 3175 Airway Avenue

Property Address: 3175 Airway Avenue, Costa Mesa, California

Report Title and Date: Seismic Report dated February 25, 2019

Site Visit Performed By / Date: Kiki Okaly, PE, EBI Consulting, License #C84457 / February 22, 2019

Evaluation Performed By: Kiki Okaly, PE, EBI Consulting, License #C84457

Specific Design Documents Reviewed: None available

Methods to Determine Site Ground Motions and Site Stability: St-Risk

PML Defined As: Scenario Expected Loss (SEL)

Analysis Methods/Procedures Used to Determine PML: St-Risk

Analysis Methods/Procedures Used to Determine Building Stability: St-Risk

ASTM E2026 and E2557 Level of Review: with scope as defined by BS[1], G[1], SS[1], BD[1]

The Report Includes the Following Exceptions to ASTM Requirements: EBI has provided license numbers for the individuals involved in the report preparation in lieu of providing a seal. The number of hours expended on the evaluation is not provided on the basis of confidentiality. The PML does not take into account the value of equipment, inventory or monetary loss from business interruption. EBI represents that the estimate of seismic performance for the building is based on a limited review of the property condition, and on a large measure of engineering judgment that is incorporated into the St-Risk program. Engineering judgment is a necessary component of this review since analytical methods do not exist that will encompass all parameters required to determine an exact cost of any damage caused by the scenario earthquake. Additionally, please refer to section I.0.

EBI Consulting has performed a probable maximum loss (PML) evaluation for earthquake due diligence assessment in conformance with the scope and limitations of ASTM Guide E2026 and Practice E2557 for a Level I assessment of 3175 Airway Avenue, Costa Mesa, California. Any exceptions to, or deletions from, ASTM requirements are listed above. This PML evaluation for earthquake due diligence assessment has determined the PML to be 15%, where PML is defined as Scenario Expected Loss (SEL). The project does not meet the building stability requirements as determined by St-Risk and meets the site stability requirements.

The undersigned hereby acknowledges that the above referenced report is considered an engineering work product, and as such, confirms that he/she is qualified by licensing and experience to conduct such review. Furthermore, the report was prepared by or under the direct supervision of the undersigned as specified by state laws or codes including, but not limited to, the site visit, determination of building stability, and estimation of probable maximum loss. The information and opinions in the report are subject to the limitations and qualifications contained therein.

Name: Manuel Chan

Company: EBI Consulting

License No. SE5682 State: CA

Registration Title: Registered Professional Engineer

**APPENDIX E**  
**IMPORTANT INFORMATION ABOUT**  
**YOUR SEISMIC RISK ASSESSMENT REPORT**

DRAFT



## **Seismic Reports are Performed for Specific Purposes, Clients, and Projects**

Seismic risk assessment reports are intended to meet the specific needs of their clients. A seismic report prepared for a particular client may not fulfill the needs of a different client such as a lender, an insurance company, or the owner. Because each seismic report is unique, no one should rely on your seismic report without first conferring with the engineer who prepared it. No one, not even the intended client, should apply the report for any purpose or project except the one for which it was originally prepared.

### **ASTM Standards**

Seismic risk assessment reports should be based on the following ASTM Standards:

- ASTM E2026 Standard Guide for Seismic Risk Assessments of Buildings
- ASTM E2557 Standard Practice for Probable Maximum Loss (PML) Evaluations for Earthquake Due-Diligence Assessments

Reference of the standards in a report does not constitute an adequate report. The report should follow the scope and requirements for qualifications of the preparer.

### **Basic Report Requirements**

As a minimum, each report should contain the following:

- Property information and description of buildings,
- Review of seismic hazards at the site,
- A list of documents reviewed, such as design drawings,
- Level of Review provided by the report,
- Estimation of building loss, the definition of the loss, and the analysis and methods used to determine loss,
- Determination of building stability (collapse potential) and methods used to reach opinion, and
- Qualifications of the reviewer and those conducting the site visit (if different).

### **Know the Level of Investigation**

The ASTM Standards provide for four levels of investigation, each with decreasing uncertainty:

- Level 0 is often referred to as a screening level or desktop review and is based on general information about the building type, characteristics and site information. It is considered to have a high uncertainty level. It is generally provided by in-house PCA or Environmental firms, insurance brokers, or through data entry in seismic risk programs.
- Level 1 is generally considered an engineering cursory review, including a review of construction documents and site visit by a practicing structural engineer. It is considered to have a moderate uncertainty level.
- Level 2 is considered a detailed evaluation with a moderately low uncertainty level. It is generally conducted by a practicing professional engineer with specific knowledge of the particular building systems.
- Level 3 is considered an exhaustive engineering review with minimum uncertainty. It is performed by engineering firms with demonstrated, substantial understanding and experience in the specific technical issues for the specific type of structure.

### **Qualifications of the Reviewer Can Vary**

Each Level of ASTM review allows for different qualifications of the reviewer and those conducting site visits. Simply having professional license does not qualify an individual, as those individuals may be experienced or licensed in an unrelated field such as mechanical, electrical or environmental engineering. For Levels 1 and higher, both the person preparing the report (Senior Assessor) AND the person performing the site visit (Field Assessor) should be a registered Professional Engineer (PE) with primary experience in the design and analysis of building structural systems, and preferably a registered Structural Engineer (SE) in a State with that designation.

### **Read the Entire Report**

Serious problems have occurred because those relying on a seismic report did not read the entire report. Do not rely on an executive summary. Do not read selected elements only. In many cases, clients look for an acceptable "PML" value without reading the definition of the loss, or understanding that there may be building or site stability issues which may result in high risk to life-safety.

### **Conditions Can Change**

A seismic report is based on the conditions of the property and knowledge of seismic hazards at the time the report was prepared. Do not rely on a seismic report whose adequacy may have been affected by: the passage of time wherein damage such as settlement or the deterioration of the structural systems may have occurred; natural disasters such as earthquakes, wind or floods; or man-made changes such as the modification to the building or lateral force resisting systems. Always contact the engineer before relying on the report.

### **Most Findings are Professional Opinions**

Professional Engineers review drawings, conduct site observations, perform analyses of buildings, then apply their professional judgment to render an opinion regarding the potential seismic loss and building stability. Hiring a qualified professional with a complete scope of services will result in seismic risk assessment reports that are comprehensive, reliable, and have lower uncertainty.

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**Appendix F:  
Hazards Supporting Reports**

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**F.1 - 18004139—Airway Industrial Building—ESA—REV 10-18-18**

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**Due Diligence, Inc.**

*Architectural/Environmental/Seismic Consultants*

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Phone: (972) 754-0673  
Fax: (972) 937-3096

September 26, 2018

Mr. Steve Millen  
c/o Mr. Dale Camera  
Senior Vice President  
Lee & Associates/Irvine  
9838 Research Drive  
Irvine, CA 92618

Re: Phase I Environmental Site Assessment  
Airway Industrial Building  
3175 Airway Avenue  
Costa Mesa, CA 92626  
Project No. 18004139

Dear Mr. Camera:

In accordance with our accepted proposal, AES performed a walk-through survey of the above-referenced property on September 25, 2018. An electronic copy of the report is provided for your use. AES Due Diligence, Inc. is not affiliated with the client or any other parties to this transaction.

We appreciate the opportunity to provide consulting services to you. If you have any questions, please contact Richard E. Darwicki at our Orange County Regional office at (714) 996-7395 or our Corporate Office at (858) 569-0211.

Very truly yours,

AES DUE DILIGENCE, INC.

Robert Presta, MBA, President  
Registered Environmental Assessor in the former EPA Program

RP:RED/lo

Enclosures

# **PHASE I ENVIRONMENTAL SITE ASSESSMENT**

*Prepared for*  
**Mr. Steve Millen**  
*and*  
**Lee & Associates/Irvine**



## **Phase I Environmental Site Assessment**

3175 Airway Avenue  
Costa Mesa, CA 92626  
September 26, 2018

*Prepared by*  
***AES Due Diligence, Inc.***  
Architectural/Environmental/Seismic Due Diligence Consultants  
9089 Clairemont Mesa Boulevard, Suite 104  
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<b><i>Northwest Region</i></b> (503) 296-0711	<b><i>Texas Region</i></b> (972) 754-0673	<b><i>Northern California</i></b> (707) 996-5529



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### ATTACHMENTS

Site Plan  
Vicinity Map  
Site Photographs  
Building Permit  
EDR Database Report (Please see copy on CD)  
City Directory Abstract (Please see copy on CD)  
Vapor Encroachment Screen (Please see copy on CD)  
Historic USGS Topographic Maps  
Aerial Photographs  
GeoTracker Map  
Certificate of Insurance  
Professional Profiles

# EXECUTIVE SUMMARY

Airway Industrial Building  
 3175 Airway Avenue  
 Costa Mesa, CA 92626  
 Project No. 18004139

ISSUE	ENVIRONMENTAL CONDITION IDENTIFIED						ASSESSMENT				
	NONE	REC	BER	CREC	HREC	<i>de mini mis</i>	ACCEPTABLE	O&M	PHASE 2	PHASE 3	COST
Historic Use	X						X				
UST/AST	X						X				
Chemical Use, Storage or Disposal	X						X				
Waste Storage or Disposal	X						X				
PCBs	X						X				
Environmental Records Review	X						X				
REC on Adjoining Property	X						X				
Stains or Odors	X						X				
Solid Waste or Fill	X						X				
Septic Fields, Wells or Drywells	X						X				
Pits, Ponds, Lagoons	X						X				
Vapor Encroachment	X						X				
<b>NON-SCOPE CONSIDERATIONS</b>											
Asbestos			X					X			\$400
Lead Based Paint	X					X	X				
Lead in Water	X						X				
Mold	X						X				
Wetlands	X						X				
Radon	X						X				

## I IDENTIFICATION

<b>Subject Site:</b>	Airway Industrial Building
<b>Location:</b>	3175 Airway Avenue and 365 McCormick Avenue Costa Mesa, CA 92626
<b>Observation Date:</b>	September 25, 2018
<b>Site Contact:</b>	Mr. Ray Garcia (714) 426-0590
<b>Client:</b>	Mr. Steve Millen
<b>Reliance:</b>	This Report is for the exclusive use of Mr. Steve Millen and Lee & Associates/Irvine. No other party shall have the right to rely on any service provided by AES Due Diligence, Inc. without prior written consent.

### **Environmental Professional Statement**

We declare that, to the best of our professional knowledge and belief, we meet the definition of Environmental Professional as defined in § 312.10 of 40 CFR 312. We have the specific qualifications based on education, training, and experience to assess a site of the nature, history, and setting of the subject site. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

Prepared by:

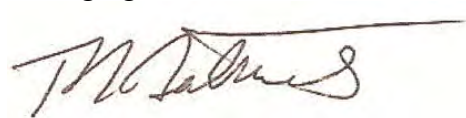
Richard E. Darwicki  
Registered Environmental Assessor in the former EPA Program



---

Reviewed by:

Timothy K. Dahlstrand  
Managing Director of Environmental Services



---

Reviewed by:

Stephen J. Baker  
California Registered Geologist – California License # 4354



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## II OBJECTIVE AND SCOPE

### Objective

---

The purpose of this Phase I Environmental Site Assessment is to identify recognized environmental conditions that may have an impact on the subject site, using readily available sources of information, interviews and field observations. It is our understanding the Client intends to acquire the site.

### Procedures

---

This Assessment is a Phase I Environmental Site Assessment (ESA) for the improvements located at 3175 Airway Avenue in Costa Mesa, CA 92626, performed in general accordance with ASTM Designation E 1527-13, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process* and following the Scope of Work outlined in AES Due Diligence, Inc.'s proposal. AES Due Diligence, Inc. (AES) conducted on-site observations on September 25, 2018, interviewed site operations personnel and observed adjacent properties. Environmental Data Resources, Inc. (EDR) conducted database searches following ASTM guidelines. Such searches are generally limited to a radius of one mile from the subject site. Additionally, ASTM Non-Scope items are addressed in this Assessment, including Asbestos, Lead-Based Paint, Radon Gas, Mold, Wetlands and Lead in Drinking Water. No testing was conducted for ASTM Non-Scope items.

### Limitations

---

The purpose of the Phase I ESA of the site is to address the range of contaminants within the scope of the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) and petroleum products. If requested by the Client, certain non-scope business environmental risks are addressed in the Assessment. The Phase I ESA is intended to allow the Client to satisfy one of the requirements to qualify for the innocent landowner defense, contiguous property Owner or bonafide prospective purchaser limitations on CERCLA liability: i.e. the practice that constitutes "all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice" as defined in 42 USC § 9601(35)(B). The Phase I ESA does not address whether requirements in addition to appropriate inquiry were met in order to qualify for CERCLA's innocent landowner defense.

The objectives of the Phase I ESA are as follows:

1. Evaluate if recognized environmental conditions (REC), controlled recognized environmental conditions (CREC), historic recognized environmental conditions (HREC) or *de minimis* environmental conditions are present on the site.
2. Provide sufficient documentation of sources, records and resources utilized in conducting the Phase I ESA.

3. Prepare a professional opinion regarding the presence of RECs at the site.

### Special Terms and Conditions

The Phase I ESA is intended to reduce, but not eliminate, uncertainty regarding the potential for recognized environmental conditions in connection with the site.

A Phase I ESA attempts to identify the environmental conditions of the site and vicinity. Environmental conditions and regulations are subject to change and re-interpretation. Current conditions or regulatory requirements should not be assumed to continue to represent conditions at some future time. This Assessment represents AES's professional judgments and opinions based on information presented in this Assessment and no warranty, either expressed or implied, are contained herein.

### Limitations and Exceptions of Assessment

The surface conditions of the site were noted by visual observations or information obtained during interviews. No physical testing, soil/groundwater sampling or laboratory analysis was included unless otherwise noted in the Assessment.

The executive summary was prepared for the convenience of the users of this Assessment. This summary does not contain all the information presented in this Assessment and, therefore, the entire Assessment should be read to assure all pertinent information is transmitted.

AES performed the Phase I ESA of the site in substantial conformance with the scope and limitations of ASTM E 1527-13, Standard Practice for Environmental Site Assessments: *Phase I Environmental Site Assessment Process* unless otherwise noted in the Assessment. Certain environmental conditions may exist on a site that are beyond the scope of the Standard but may warrant consideration. Per the Standard, this environmental site assessment is presumed to be valid for a specific time limit as defined in ASTM Designation E-1527-13.

AES utilized the following methods to complete the reconnaissance of the site. AES observed the site and adjoining properties for indicators of existing or potential recognized environmental conditions. The site walkover consisted of walking the site boundary and several transects across the site. For a site with buildings, the accessible areas of the buildings were entered and observed. Please note that AES did not look under floors, above ceilings or inside walls. The adjoining properties were observed from the periphery of the site, if possible. The observations were documented with representative photographs.

The following limiting condition was encountered during the course of the Phase I ESA:

- The questionnaire was not returned.

However, this did not preclude AES from developing an opinion regarding the environmental condition of the site.

### Documents

Our Assessment represents our professional experience and judgment, and a good faith effort to obtain all available information. Documents and data provided by the Client, its designated representatives, or other interested parties, and consulted in the preparation of this Assessment, have been reviewed and may be referenced herein, with the understanding that AES assumes no responsibility or liability for their accuracy or for the withholding by any of the involved parties of any assessments or other information that could affect the transaction.

### Intended Use

AES Due Diligence, Inc. is not affiliated with the borrower or any other parties to this transaction. This Assessment is intended to be used in its entirety. No portion of it may be deleted or used out of context without the written consent of AES. The opinions and information contained in this Assessment are time sensitive and represent our evaluation of the environmental site conditions at the time the services were provided. This Assessment was prepared for a limited use involving a single transaction, as set forth herein, and may not be used for any other purpose without the written consent of AES.

### Proprietary Information

Field data, field notes, and other data and documents assembled by AES to produce this Assessment represent the work product of AES's training, experience and professional skill. This information belongs to and remains the property of AES Due Diligence, Inc.

### Definitions

ASTM defines a Recognized Environmental Condition (REC) as “the presence or likely presence of a hazardous substance or petroleum products in, on, or at a property: 1) due to release to the environment; 2) under conditions indicative of a release to the environment; or 3) under conditions that pose a material threat of a future release to the environment.”

A Controlled Recognized Environmental Condition (CREC) is defined as “a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, of meeting risk-based criteria established by regulatory authority), with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).”

A Historic Recognized Environmental Condition (HREC) is defined as "a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls)."

A *de minimis* environmental condition "generally does not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate government agencies." Conditions determined to be *de minimis* are not a REC.

Business Environmental Risk (BER) is a risk, which can have a material environmental or environmentally-driven impact on the business associated with the current or planned use of the parcel of commercial real estate, not necessarily limited to those environmental issues investigated in this Phase I ESA. Business environmental risk issues may involve addressing one or more non-scope considerations.



## III PROPERTY DESCRIPTION

### Site Visit and Interviews

---

On September 25, 2018, AES visited the subject site and reviewed the fixed facility. Mr. Ray Garcia, Customer Service with SS Street Scene, accompanied Richard E. Darwicki of AES during a portion of the site visit.

AES observed the interiors and contents of representative occupied tenant spaces, common areas and maintenance areas and noted operations and activities at the subject site. AES looked for suspect asbestos-containing building materials, stored chemicals, underground and aboveground storage tanks, unusual surface appearance, wetlands and other issues that may indicate environmental conditions on the subject site. AES noted the location of on-site electrical power transformers and storm drainage structures where these were encountered. AES observed sites adjoining the subject site and areas within the immediate vicinity of the subject site.

AES photographed selected features at or near the subject site to support this written Assessment. The photographs are identified, described and appended to this Assessment.

### Subject Site

---

The project is situated on a tract of land estimated to be approximately 1.34 acres. The original improvements were completed in 1973.

According to the EDR Database Report the topography of the site is nearly level and slopes to the north. The site has a maximum surface elevation difference of approximately two feet. Additional slopes are provided around the improvements for storm water drainage. On-site storm water drainage is by sheet flow to catch basins and curb inlets connected to the Costa Mesa storm sewer system.

The parking and driveway areas are asphaltic concrete paved. Entry driveway aprons, rubbish dumpster pads, and public and private sidewalks are concrete paved.

A utility company owned transformer is located in an underground vault at the site. The Southern California Edison Company is the electrical supplier and is responsible for transformer-related incidents. Natural gas service is provided by the Southern California Gas Company. The site is provided with municipal water and sanitary sewer services from buried utilities along the adjacent thoroughfares.

## Building

The property has one single-story building with mezzanine offices. The structure is of concrete tilt-up construction. The Owner indicates that there is a total of 29,667 square feet (sf) of net rentable floor area. The site has two warehouse user addresses, 3175 Airway Avenue at the south end and 365 McCormick Avenue at the north end. is occupied by multiple tenants. The original improvements were completed in 1973. The Architect of Record is McLean and Schultz. Construction plans were not provided for review.

The project is an industrial warehouse site built from concrete tilt-up construction supported on a shallow foundation. The exterior walls are composed of precast concrete tilt-up wall panels with painted or textured surfaces. No basements are provided at the project. The roofing consists of a gradient sloped, built-up bituminous roofing system with an elastomeric coating. The building is provided with roof-mounted HVAC units. Heating and cooling are provided by packaged gas-heat/electric cooling HVAC units. The floor treatments within the building vary but typically consist of vinyl tile, sheet vinyl, ceramic tile and/or carpeting. The walls are finished with painted gypsum board with various tenant wall treatments added. The ceilings consist of suspended acoustical tiles or painted/textured gypsum board. Lighting is provided by fluorescent fixtures at the interior. High-intensity discharge (HID) lighting was observed at the exterior of the building and parking area.

## Adjoining Properties

Properties immediately adjoining the subject site are listed in the following table. The adjoining properties are located in Costa Mesa, CA 92626.

<b>Adjoining Properties</b>			
<b>Name</b>	<b>Operation</b>	<b>Direction from Site</b>	<b>Concerns</b>
Calliber Collision 350 McCormick Avenue	Auto Repair	Northeast	RCRA Generator
Steve Miller Sports Parts 3176 Airway Avenue	Industrial Uses	Southeast	RCRA Generator
Hajoca Inc. 3170 Airway Avenue	Warehouse Uses	Southeast	RCRA Generator
Viva Life Science 350 Paularino Avenue	Industrial Uses	Southwest	None
SG Homecare 345 McCormick Avenue	Warehouse Uses	Northwest	None

Because of the controlled surface drainage and the predominantly non-hazardous uses on the adjoining properties, they do not, in our opinion, pose a significant environmental risk to the subject site. The above referenced sites with environmental concerns are discussed in the Environmental Records Review section of this Report.

## **Vicinity**

---

AES observed other properties located near the subject site for current uses or conditions that might be environmentally significant. The local area properties observed by AES did not appear to be engaged in environmentally significant activities.

## **Topography and Hydrogeology**

---

AES reviewed the United States Geological Survey (USGS) Topographic Map, which indicates that the subject site is approximately 47 feet above mean sea level. AES observed that the general drainage flows in a northerly direction across the surface of the site. No substantial grade changes appear to have been made to the subject site when compared to the topography of surrounding sites. A copy of the USGS topographic map that covers the subject site is appended.

AES did not observe site grading activities at the site.

## **Geology and Surficial Soils**

---

According to the EDR Database Report, the subject site is located above Cenozoic era stratified sequence bedrock. The depth to bedrock is unknown.

According to the information obtained through the EDR Database Report, the subject site is located in an area of sandy loam soils. These soil types have low permeability and would be expected to have low susceptibility as a result of surface spreading of wastes, depending upon local soil conditions.

## **Surface and Ground Water Flow**

---

The regional surface water flows in a northerly direction according to the EDR Database Report. The ground water flow in the area is assumed to be to the north. The depth to ground water is unknown.

## **IV SITE HISTORY**

No prior Environmental Reports were provided to AES for review. AES conducted a limited historical review regarding the subject site. The following summarizes AES's review of readily available historical records and maps gathered from government agencies and commercial enterprises regarding the subject site history and use. This should not be considered a listing of all available information.

### **Interviews**

---

Mr. Garcia was not aware of the use of the site prior to the construction of the current improvements in 1973.

### **Building Department Records Review**

---

The building permit was issued on January 3, 1973 and the building was completed approximately three months later. No demolition permit or previous building permits were found. No records of any UST installation or removal were found.

### **Regulatory Agency File Review**

---

AES filed Freedom of Information Act requests with the City of Costa Mesa.

### **Aerial Photograph and Historical Map Review**

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Aerial photographs are reviewed to identify past site use and areas of environmental concern on the subject site. AES has reviewed aerial photographs of the subject site. The photographs were obtained from E Data Resources. Copies of the aerial photographs that were obtained and reviewed by AES are appended. Please see chart below for the specific dates and description summary.

Beginning in the 1860s, the Sanborn Fire Insurance Company, and others, prepared maps that depict site improvements and commercial activities in many metropolitan areas in the United States. AES attempted to obtain fire insurance maps, specific to the site, to review as part of this Phase I Environmental Site Assessment. According to EDR, no Sanborn Maps were produced for this site.

Historical maps provide information concerning historical site boundaries and improvements. Historic Topographic Maps were reviewed for the site; please see the chart below for enumeration of years and findings.

The historical maps reviewed were obtained from EDR and are appended.

<b>Site History Summary</b>		
<b>Date</b>	<b>Record Type</b>	<b>Land Use</b>
1896	Historical Topographic Map	Undeveloped land
1901	Historical Topographic Map	Undeveloped land
1902	Historical Topographic Map	Undeveloped land
1935	Historical Topographic Map	Undeveloped land
1938	Aerial Photograph	Agricultural uses
194	Historical Topographic Map	Undeveloped land
1942	Historical Topographic Map	Undeveloped land
1946	Aerial Photograph	Agricultural uses
195	Historical Topographic Map	Undeveloped land
1952	Aerial Photograph	Agricultural uses
1963	Aerial Photograph	Agricultural uses
1965	Historical Topographic Map	Undeveloped land
1972	Aerial Photograph	Graded land
1972	Historical Topographic Map	Vacant land, adjacent buildings developed
1975	City Directories	Flare Imports and All Coast Trading
1977	Aerial Photograph	Current structures
1981	Historical Topographic Map	Current structures
1985	Aerial Photograph	Current structures
1989	Aerial Photograph	Current structures
1990	Aerial Photograph	Current structures
1994	Aerial Photograph	Current structures
2005	Aerial Photograph	Current structures
2009	Aerial Photograph	Current structures
2012	Aerial Photograph	Current structures
2012	Historical Topographic Map	EDR Topo
2016	Aerial Photograph	Current structures

Based on AES's interpretation of the available documentation noted above the first developed and historic site use was primarily undeveloped or agricultural land. No evidence of long-term fill activity, surface scarring, staining or other issues of environmental concern were visible in the aerial photographs during the review process.

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## **Directories**

City directories provide information concerning historical site ownership and use. City Directories were reviewed for the years 1920 through 2014 and no significant listings were noted. The first listings at the subject address are in 1975 for warehouse uses. A copy of the City Directory Abstract is appended.

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## **Title Records Review**

A title records review, or chain-of-title, can be used to identify prior ownership of a property and to evaluate previous activities or operations in terms of environmental significance. Significant easements, covenants, restrictions and environmental liens may be indicated in title records. A chain-of-title regarding the subject site was not provided to AES for review as part of this Phase I Environmental Site Assessment.

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## **Document Review**

No documents were provided for review.

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## **Data Gaps**

The history and land use of the subject site has been determined by review of available historical aerial photographs, city directories, old topographic maps, personal interviews, public agency records, and other available resources. This history has been extended back as far as "it can be shown that the property contained structures or from the time the property was first used for residential, agricultural, commercial, industrial or governmental purposes." Necessary and available historical resources (aerial photographs, fire insurance maps, USGS topographic maps, historical city directories, building department records, zoning/land use records, interviews, etc.) were reviewed to establish a thorough land use history in order to identify historical environmental conditions. The following is a list of data gaps (insufficient data) and associated potential environmental significance:

No Data Gaps (insufficient data) other than the Environmental Questionnaire not being returned to AES were identified.

## V ENVIRONMENTAL SITE ASSESSMENT

### Fixed Facilities Review

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The improvements observed by AES on September 25, 2018, were reported to have been completed in 1973. Minor repair activities to meet maintenance requirements and tenant needs are ongoing. No recent improvements have been made, according to Mr. Garcia.

Mr. Garcia stated that landscape maintenance services are performed by outside contractors. No landscape equipment is stored on the subject site. Neither automotive nor landscape equipment is maintained at the subject site.

### Site Tenant Activities

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AES reviewed the current tenant for operations that may use regulated materials or generate waste products. AES observed the accessible interior and exterior common areas and maintenance areas. The site is occupied by multiple tenants and is fully leased. The office area at the south end did not appear to be in use.

AES confirmed the nature of tenant activities in the building, which primarily consist of dry storage warehouse uses. AES entered and observed the activities at sample areas of the building, including: warehouse areas, offices and restrooms. Also visited were common areas, mechanical rooms and the roof.

Upon review of the activities at the above locations, AES found no specific environmental concerns regarding these operations.

### On-Site Chemical and Petroleum Product Storage

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AES looked for chemicals, hazardous substances, petroleum-based fuels and lubricants, and janitorial and cleaning supplies stored on the subject site. No other chemicals or hazardous substances were observed on the subject site other than shelf quantities of commonly available janitorial and cleaning supplies.

### Waste Disposal Practices

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AES identified the current wastes generated at the subject site. According to Mr. Garcia and AES's observations, general and recycled wastes are disposed of from the subject site. Areas of waste storage appeared to be well kept and free of debris.

General wastes are collected, placed in a dumpster, removed from the subject site on an as-needed basis, and disposed of by Waste Disposal.

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## **Underground and Aboveground Storage Tanks**

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Owners and operators of certain USTs are required to register those USTs with the state agency responsible for administering the federally mandated UST program. A search of the list of registered USTs in California, prepared by EDR, showed that there are no registered USTs located on the subject site.

AES interviewed Mr. Garcia regarding the presence of USTs and ASTs on the subject site. Mr. Garcia stated that there are no registered USTs and no registered ASTs located on the subject site. There are no records of USTs and no records of ASTs on the subject site.

AES interviewed Mr. Garcia regarding the past use of heating fuels on the subject site to ascertain whether USTs or ASTs may have been utilized on site for the storage of heating fuels or oils. Mr. Garcia stated that to his knowledge the improvements have always been heated by natural gas. AES's observations confirmed the nature of the current heating systems at the subject site.

AES visually observed the subject site for surficial evidence of USTs and ASTs. AES did not observe evidence of USTs or ASTs at the subject site.

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## **Polychlorinated Biphenyls (PCBs)**

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Federal regulations put into effect following the Toxic Substances Control Act (TSCA) require that electrical transformers be labeled to identify their PCB content. Manufacture and distribution of PCBs was banned in 1979. Transformer owners are responsible for compliance with all applicable regulations governing those transformers, including maintenance of the transformer and any remediation work resulting from a transformer-related incident.

A utility company owned transformer is located in an underground vault at the south end of the site. The observed electrical transformers appeared to be in good condition with no visible leaks. AES did not observe any labels on the electrical transformers identifying the PCB content.

Based on utility ownership and no observed leaks, AES recommends no further action with regard to PCBs in transformers.

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## **Exterior Surface Condition**

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AES observed the exterior surface of the subject site. It is estimated that 96% of the subject site surface was covered by improvements and pavement. AES's observation of the site soil surfaces was therefore limited to the landscaped areas.

None of the historical documentation reviewed, indicated that the subject site was previously utilized as a quarry and/or solid waste disposal facility.



No pits, ponds or lagoons were observed at the subject site during the site visit. No areas of distressed or dead vegetation, surface depressions or surface stains attributed to chronic leaks or spills were observed during the site visit.

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### **Interior Surface Condition**

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AES observed portions of the interior surfaces of the building for evidence of unusual conditions. We found no evidence of unusual conditions in the areas we observed.

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### **Vapor Encroachment Condition (VEC)**

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A Vapor Encroachment Screening was performed for the subject site following the guidelines of ASTM E2600-15, Tier 1 Vapor Encroachment Screening. The screening consists of an initial search of all standard government record databases and EDR's proprietary historical records related to former dry cleaners, gas stations and manufactured gas plants within the 1/3-mile radius (default Area of Concern-AOC). Based on local ground water flow direction knowledge, AES reduced the AOC by the Buonicore Method. Individual facilities within the remaining AOC were evaluated.

Based on this evaluation, a VEC can be ruled out because a VEC does not exist or is not likely to exist.

## **VI DATABASE RECORDS REVIEW**

### **Environmental Records Review**

An environmental records database search report dated September 18, 2018, was provided by Environmental Data Resources (EDR). A copy of EDR's report is appended. The following discussion excerpts specific items from the report that deserve additional description.

In addition to the mapped sites in the EDR report, there may also be a list of unmapped sites. These are reported database sites that, due to incomplete addressing information, could not be accurately plotted by EDR. In an attempt to locate all unmappable sites, AES compared each address provided on the unmappable site list to known addresses of the site and vicinity and attempted to locate unmappable sites during reconnaissance of the vicinity. AES concludes that no unmappable sites were identified that meet the search radius criteria of the scope of work and are considered to be environmentally significant to the subject site.

### **Superfund Enterprise Management System (SEMS) – Formerly Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS)**

Since 1982, the U.S. EPA has maintained lists of contaminated sites under the federal Superfund Program in accord with the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA). The U.S. EPA discovers these sites from citizen reports, routine inspection of hazardous waste generators, treatment, storage and disposal facilities, and reporting requirements.

Superfund Enterprise Management System (SEMS) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Review of the SEMS list provided by EDR identifies only one SEMS site listed within the ASTM standard minimum search distance of one-half mile from the subject site. There are no SEMS facilities on the subject site or adjoining properties.

SEMS Sites					
Facility ID No.	Facility Name and Address	Location			Regulatory History and Current Status
		Distance	Direction	Gradient	
904275	Western Digital Corp. 3128 Redhill Ave.	0.31 mi.	WSW	Cross	NFRAP-Site does not qualify for the NPL

The above referenced SEMS facility was evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

### Federal CERCLIS-NFRAP List (SEMS Archive)

CERCLA sites designated No Further Remedial Action Planned (NFRAP) have been removed from CERCLIS. CERC-NFRAP sites may be where, following an initial investigation, no contamination was found, contamination was removed quickly without the need for the site to be placed on the National Priorities List (NPL), or the contamination was not serious enough to require Federal Superfund action or NPL consideration. CERCLIS-NFRAP sites, however, may continue to represent a concern to local or state regulators. CERCLIS-NFRAP was renamed to SEMS Archive by the EPA in 2015.

Review of the SEMS Archive list provided by EDR identifies only one SEMS Archive site listed within the ASTM standard minimum search distance of one-half mile from the subject site. There are no SEMS Archive facilities on the subject site.

SEMS Archive Sites					
Facility ID No.	Facility Name and Address	Location			Regulatory History and Current Status
		Distance	Direction	Gradient	
900312	MSI Data Corp.	0.252 mi.	SW	Cross	NFRAP-Site does not qualify for the NPL

The above referenced SEMS Archive facility was evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

### National Priorities List

The U.S. EPA maintains this list as a subset of CERCLIS, identifying over 1,200 CERCLA sites for priority cleanup under the Superfund Program. Once sites have been designated on the CERCLIS list, the U.S. EPA uses its Hazard Ranking System to determine the potential risks of those sites to human health and the environment. Only the sites that present the greatest risk are added to the NPL, which qualifies the sites to receive CERCLA remedial funding.

Review of the NPL list provided by EDR identifies no NPL sites within the approximate minimum search distance of one mile from the subject site.

## **RCRA – Generators**

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The U.S. EPA's RCRA (Resource Conservation and Recovery Act, 42 U.S.C. '6991 *et seq.*) Program identifies and tracks hazardous waste from the point of generation to the point of disposal. Generators are also listed in the FINDS database.

Review of the RCRA LQ-Generator list provided by EDR identifies a total of two RCRA-LQG sites at a lower elevation. There are no RCRA-LQG facilities on the subject site and there are no RCRA-LQG facilities on adjoining properties.

The above referenced RCRA LQ-Generator facilities were evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

Review of the RCRA SQ-Generator list provided by EDR identifies a total of 11 RCRA-SQG sites listed. There are no RCRA-SQG facilities on the subject site and there are three RCRA-SQG facilities on adjoining properties. There were no violations found on the sites.

The above referenced RCRA SQ-Generator facilities were evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

## **RCRA - Treatment, Storage, Disposal Facilities (TSD)**

---

The Resource Conservation and Recovery Act Information System (RCRIS) is a compilation of selective information on facilities that generate, store, transport, treat or dispose of hazardous waste. Inclusion of a facility on the RCRIS database is not necessarily an indication of an environmental problem.

Review of the RCRIS-TSD list provided by EDR identifies no RCRIS-TSD sites within the approximate minimum search distance of one mile from the subject site.

## **Emergency Response Notification System (ERNS)**

---

The ERNS is a compilation of reported releases of hazardous substances into the environment. The database contains information from Spill reports made to federal authorities, including the U.S. EPA, the U.S. Coast Guard, the National Response Center, and the U.S. Department of Transportation.

Review of the ERNS list provided by EDR identifies no ERNS listings at the subject site.

### **Underground Storage Tanks (USTs)**

---

Certain USTs are regulated under the RCRA Act and must be registered with the state agency responsible for administering the UST program. USTs are also listed in the CA FID database. Inclusion of a facility on the UST database is not necessarily an indication of an environmental problem.

Review of the list provided by EDR identifies a total of five sites within a search radius of one-quarter mile. There are no facilities on the subject site and there are no facilities on adjoining properties

The above referenced facilities were evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

Leaking tanks are discussed in the following section.

### **Leaking Underground Storage Tanks (LUSTs)**

---

LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state. LUSTs are also listed in the CORTESE database.

Review of the list provided by EDR identifies a total of eight facilities within the ASTM standard minimum search distance of one-half mile from the subject site. There are no facilities on the subject site and there are no facilities on adjoining properties. There is one closed case and the remaining facilities are more than one-quarter mile distant or at a lower elevation.

The above referenced facilities were evaluated based on the following criteria: violator status, area geology, gradient relationship, and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

### **Solid Waste Facilities/Landfills (SWF/LS)**

---

Solid waste records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Section 2004 criteria for solid waste landfills or disposal sites.

Review of the list provided by EDR identifies no sites within the approximate minimum search distance of one-half mile from the subject site.

## **EnviroStor**

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The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

Review of the list provided by EDR identifies a total of 11 sites. There are 11 sites within the ASTM standard minimum search distance of one mile from the subject site. There are no facilities on the subject site and there are no facilities on adjoining properties.

The above referenced facilities were evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

## **DEED (Institutional Controls)**

---

Site Mitigation and Brownfield's Reuse Program Facility Sites with Deed Restrictions & Hazardous Waste Management Program Facility Sites with Deed / Land Use Restriction. The DTSC Site Mitigation and Brownfield's Reuse Program (SMBRP) list includes sites cleaned up under the program's oversight and generally does not include current or former hazardous waste facilities that required a hazardous waste facility permit. The list represents deed restrictions that are active. Some sites have multiple deed restrictions. The DTSC Hazardous Waste Management Program (HWMP) has developed a list of current or former hazardous waste facilities that have a recorded land use restriction at the local county recorder's office. The land use restrictions on this list were required by the DTSC HWMP as a result of the presence of hazardous substances that remain on site after the facility (or part of the facility) has been closed or cleaned up. The types of land use restriction include deed notice, deed restriction, or a land use restriction that binds current and future owners.

Review of the list provided by EDR identifies no sites within the approximate minimum search distance of one mile from the subject site.

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### **California Hazardous Material Incident Reporting System (CHMIRS)**

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The California Office of Emergency Services database contains reported information on incidents involving accidental releases or spills of hazardous materials.

Review of the list provided by EDR identifies no listings adjacent to or at the subject site.

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### **Hazardous Waste and Substances Sites List (CORTESE)**

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The Cal-EPA publishes a listing of potential and confirmed hazardous waste sites throughout the State of California. Under California Government Code Section 65962.5, these sites are submitted to the Cal-EPA by the State Department of Health Services, State Water Resources Control Board, the Integrated Waste Management Board and the Department of Toxic Substances Control.

The database identifies public drinking water wells with detectable levels of contamination, hazardous substance sites selected for remedial action, sites with known toxic material identified through the abandoned site assessment program, sites with USTs having a reportable release, and all solid waste disposal facilities from which there is a known migration.

Review of the list provided by EDR identifies only one site within the ASTM standard minimum search distance of one-half mile from the subject site. There are no facilities on the subject site and there are no facilities on adjoining properties.

The above referenced facility was evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

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### **VCP (Voluntary Cleanup Program)**

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Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have requested that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

Review of the list provided by EDR identifies no listings adjacent to or at the subject site.

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## **Hazardous Waste Information System (HAZNET)**

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The California Department of Health Services, Toxic Substances Control Division, has developed and maintained lists of hazardous waste generators and hazardous waste treatment, storage and disposal facilities in the State of California, in accordance with the Hazardous Waste Control Law (California Health and Safety Code Section 25100 *et seq.*) And the Hazardous Waste Management Act of 1976 (California Health and Safety Code Section 25179.1 *et seq.*). Inclusion of a facility in the HAZNET list is not necessarily an indication of an environmental problem.

Additionally, the California Health and Safety Code requires all counties to prepare and submit hazardous waste management plans. To assist the counties, the Toxic Substances Control Division maintains lists containing hazardous waste generation and disposal data within each county. The Toxic Substances Control Division has assembled this information from manifest reports required from hazardous waste generators. This database currently lists over 20,000 facilities in the State of California.

Review of the list provided by EDR identifies no listings adjacent to or at the subject site.

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## **Historic USTs**

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The Hazardous Substance Storage Container Database is a historical listing of former UST sites that are closed and typically not listed with the current UST sites.

Review of the list provided by EDR identifies a total of two sites at a lower elevation. There are no facilities on the subject site and there are no facilities on adjoining properties.

The above referenced facilities were evaluated based on the following criteria: violator status, area geology, gradient relationship and separation distance. Based on this evaluation, and due to their regulated nature, it is believed that this does not represent an environmental concern to the subject site.

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## **EDR Historical Auto Service Stations**

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EDR Historical Auto Stations: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc.

Review of the list provided by EDR identifies no listings adjacent to or at the subject site.



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## **Dry Cleaners and EDR Historical Dry Cleaners**

---

This database provides a list of drycleaner facilities that have EPA ID numbers. These facilities have certain SIC codes including: power laundries, family and commercial; garment pressing and cleaner's agents; linen supply; coin-operated laundries and cleaning; dry cleaning plants, except rugs; carpet and upholstery cleaning; industrial launderers and laundry and garment services.

Review of the list provided by EDR identifies no listings adjacent to or at the subject site.

EDR Historical Cleaners: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, Laundromat, cleaning/laundry, wash & dry etc.

Review of the list provided by EDR identifies no Historical Dry Cleaner listings adjacent to or at the subject site.

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## **Waste Management Unit Database System (WMUDS/SWAT)**

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The California Integrated Waste Management Board maintains an inventory list of both open as well as closed and inactive solid waste disposal facilities and transfer stations in accordance with the Solid Waste Management and Resource Recovery Act of 1972, California Government Code Section 2.66790(b). Generally, the California Integrated Waste Management Board learns of locations of disposal facilities through permit applications and from local enforcement agencies. The Waste Management Unit Database System is used by the California Water Resources Control Board and the Regional Water Quality Control Boards for program tracking and inventory of waste management units.

Review of the latest WMUDS/SWAT listing identifies no WMUDS/SWAT facilities within the approximate minimum search distance of one-half mile from the subject site.

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## **Manufactured Gas Plants (MGP)**

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Manufactured Gas Plants produced combustible gas for urban use prior to the widespread use and pipeline distribution of natural gas in the 1950s. The main fuels used in production of this gas were coke, coal and oil; the by-products of this manufacturing process include a variety of tars, sludge and other chemicals. MGP sites tend to have subsurface contamination due to the common practice of disposing of the waste products on site.

Review of the MGP list provided by EDR identifies no MGP sites within the approximate minimum search distance of one mile from the subject site.

## **US Brownfields**

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Included in the listing are brownfields properties addresses by Cooperative Agreement Recipients and brownfields properties addressed by Targeted Brownfields Assessments. Targeted Brownfields Assessments-EPA's Targeted Brownfields Assessments (TBA) program is designed to help states, tribes, and municipalities minimize the uncertainties of contamination often associated with brownfields. Under the TBA program, EPA provides funding and/or technical assistance for environmental assessments at brownfields sites throughout the country. Targeted Brownfields Assessments supplement and work with other efforts under EPA's Brownfields Initiative to promote cleanup and redevelopment of brownfields.

Review of the list provided by EDR identifies no sites within the approximate minimum search distance of one-half mile from the subject site.

## **CERCLA Lien Searches**

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A Federal CERCLA ("Superfund") lien can only exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLA provides information as to the identity of these sites and properties.

Review of the list provided by EDR identifies no listings at the subject site.

In, addition, there are no Federal, State or non-priority liens on the subject property listed in the EDR Database Report or Activity and Use Limitations (AULs) associated with the subject site.

## VII ASTM NON-SCOPE ITEMS

### Asbestos

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In 1977, the U.S. EPA acted to eliminate friable asbestos from building materials. Friable materials are defined as those that can be crushed or reduced to powder by hand pressure. Materials do not have to be damaged to be identified as friable. Additionally, the United States Occupational Safety and Health Administration (OSHA) now requires certain untested materials to be presumed to contain asbestos for buildings constructed prior to 1981.

During the site visit, AES observed reasonably accessible interior areas of the building for the existence and condition of suspect ACM. Construction plans were not provided for review. Asbestos can be identified only by specialized equipment and not by the unaided human eye. The site visit was not intended to be a comprehensive search for all ACM at the subject site.

Based on the construction date of 1973 and our observations, the building is suspect for materials containing asbestos. The suspect materials include: vinyl floor tiles, ceiling materials, drywall materials, and floor or roof mastics. The suspect materials are non-friable and in good condition and can be maintained under an Asbestos Operations and Maintenance (O&M) Plan to maintain the suspect materials in place. Some of the suspect material may be hidden from view under newer finishes during remodeling. AES recommends the implementation of an Asbestos Operations and Maintenance (O&M) Plan.

Prior to any renovation, remodeling or demolition of areas considered to be suspect-ACM, per the EPA's definition, AES recommends that limited testing be performed to determine if asbestos is present on the subject site. Any disturbance of areas considered to be ACM is governed by certain local, state, and/or federal regulations and should not be attempted without contacting the appropriate agency. Additionally, if ACM is to be removed, a qualified, licensed asbestos abatement contractor should be consulted.

### Lead Based Paint

---

In 1978, the Consumer Product Safety Commission banned the use of lead as an additive in paint. During the site visit, accessible areas were observed for evidence of damaged and/or peeling paint. In general, the painted surfaces appeared to be in good condition. Based on the construction date of 1973, and our on-site observations the present building is suspect for containing lead-based paint. As the improvements are used for non-residential purposes, the presence of lead-based paint is considered to be a *de minimis* environmental condition.

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## Potable Water Supply

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The subject site is serviced by a municipally operated, public water system, which is regulated by the Safe Drinking Water Act of 1974. This Act requires that public water supplies be tested for the presence of lead in water. AES contacted the local water utility company, the Mesa Water District, regarding the results of water tests. The utility company reports that the lead content of the water is below the U.S. EPA action level of 0.015 milligrams per liter.

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## Radon Gas

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Radon gas is a naturally occurring, colorless, odorless gas that is the by-product of the decay of radioactive materials found within bedrock and soil. Radon gas enters buildings through cracks, structural joints, and plumbing openings in floor levels that are in direct contact with the soil. Radon gas, when inhaled, has been found to be carcinogenic in some humans. The U.S. EPA recommended action level for radon gas is 4.0 pCi/L (picoCuries per liter).

The State of California, in conjunction with the U.S. EPA, has conducted residential screening tests in Orange County. The results of that screening indicate that Orange County is predicted to have an average indoor radon screening level of 0.763 pCi/L, with 100% of tests less than 4.0 pCi/L.

AES reviewed the U.S. EPA's Map of Radon Zones for California, which identifies Orange County as being within radon zone 3. Counties within radon zone 3 have a predicted average indoor radon gas screening level of less than 2 pCi/L.

Based on the literature reviewed, it is our opinion that the risk of radon gas accumulation is not a significant environmental concern at the subject site.

No sampling or analytical testing of ASTM Non-Scope items was conducted.

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## Wetlands

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AES did not observe ponded water, flowing water, saturated soils or hydrophytic vegetation at the subject site.

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## Mold

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AES observed portions of the exposed exterior and interior material surfaces of the improvements for signs of mold and/or mildew and none was observed. Based on the condition of these surfaces, the general quality of the exterior details to keep moisture out of the building and the general interior air quality observed in the improvements without the assistance of specialized testing equipment, mold and/or mildew were not an environmental concern to the subject property at the time of our site visit.

Please note that AES did not perform any probes behind surface materials, use moisture meters to test materials or use specialized equipment to test air quality for signs of existing mold and/or mildew. If further confirmation is required for determining if mold and/or mildew is present in the subject improvements AES recommends that a qualified Industrial Hygienist be retained to perform the necessary industry standard tests and provide a report of their findings.

## VIII CONCLUSIONS

### **Findings and Opinion**

AES completed a Phase I ESA for the site in substantial conformance with the scope and limitations of the Standard. Any exceptions to, or deletions from, the Standard are described in the Assessment.

#### *Historical Recognized Environmental Conditions (HRECs)*

Based on site observations, interviews and review of available documents and the database records search, AES concludes that no HRECs were identified at the subject site. AES recommends no additional investigation at this time.

#### *Current Recognized Environmental Conditions (RECs)*

Based on site observations, interviews and review of available documents and the database records search, AES concludes that no RECs were identified at the subject site. AES recommends no additional investigation at this time.

#### *Business Environmental Risk (BER)*

Based on site observations, interviews and review of available documents and the database records search, AES concludes that one *BER* was identified at the subject site. Based on the construction date of 1973 and our observations, the building is suspect for materials containing asbestos. The suspect materials are non-friable and in good condition and can be maintained under an Asbestos Operations and Maintenance (O&M) Plan to maintain the suspect materials in place. AES recommends the implementation of an Asbestos Operations and Maintenance (O&M) Plan. AES recommends no additional investigation at this time.

#### *Controlled Recognized Environmental Conditions (CREC)*

Based on site observations, interviews and review of available documents and the database records search, AES concludes that no CRECs were identified at the subject site. AES recommends no additional investigation at this time.

#### *de minimis Environmental Conditions*

Based on site observations, interviews and review of available documents and the database records search, AES concludes that one *de minimis* condition was identified at the subject site. The building is suspect for lead based paint. AES recommends no additional investigation at this time since the site is not used for residential purposes.

## **Conclusions**

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We have performed a *Phase I Environmental Site Assessment* in conformance with the scope and limitations ASTM Practice E 1527-13 of 3175 Airway Avenue Costa Mesa, California 92626, the *property*. Any exceptions to or deletions from, this practice are described in Section II of this *report*. This assessment has revealed no evidence of *recognized environmental conditions, historical recognized environmental conditions or controlled recognized environmental conditions* with the *property*.

Based on site observations, interviews and review of available documents and the database records search, AES concludes that one *BER* was identified at the subject site. Based on the construction date of 1973 and our observations, the building is suspect for materials containing asbestos. The suspect materials are non-friable and in good condition and can be maintained under an Asbestos Operations and Maintenance (O&M) Plan to maintain the suspect materials in place. AES recommends the implementation of an Asbestos Operations and Maintenance (O&M) Plan. AES recommends no additional investigation at this time.

## **IX INTERVIEWS**

<u>Name</u>	<u>Title/Affiliation</u>	<u>Phone</u>
Mr. Ray Garcia	Customer Service SS Street Scene	(714) 426-0590
Mr. Jeff Tol	Costa Mesa Building Department	(714) 754-5676
Staff	Costa Mesa Fire Department	(714) 754-5106
Website	State Water Resources Control Board <a href="http://geotracker.waterboards.ca.gov/">http://geotracker.waterboards.ca.gov/</a>	

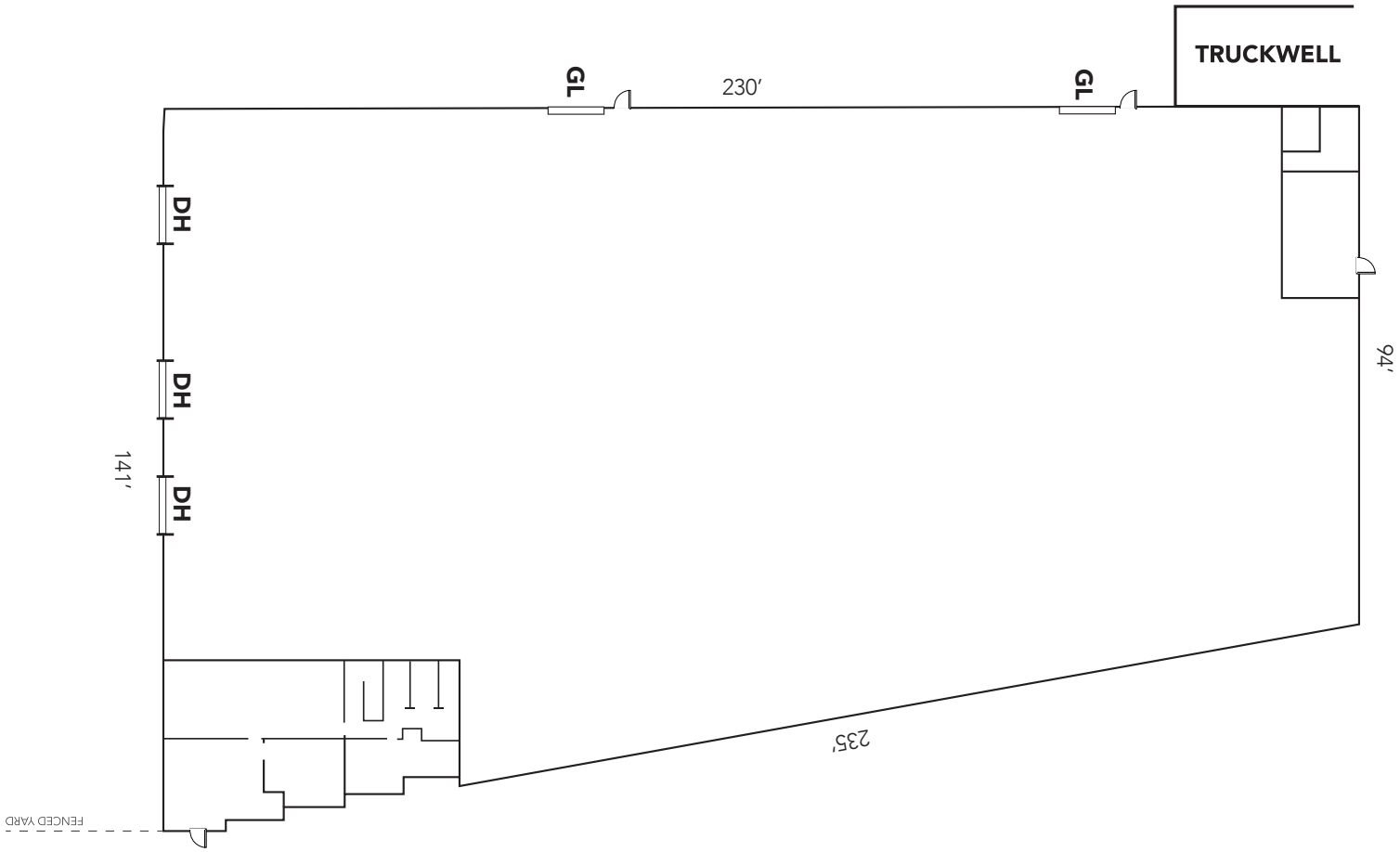


## **X QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONALS**

Richard E. Darwicki - Mr. Darwicki has over ten years of experience related to environmental assessments and over 30 years experience related to engineering matters. He has completed numerous Phase I Environmental Site Assessments throughout the United States. He is a Licensed Engineer in the State of California and attended Santa Ana College and Fullerton College.

***Timothy K. Dahlstrand*** - Mr. Dahlstrand has over twenty-five years of experience related to environmental and engineering matters. He has completed and supervised hundreds of Phase I Environmental Site Assessments throughout the United States and internationally. He holds a B.A. in Geology and an M.S. in Civil Engineering from Northwestern University.

***Stephen J. Baker*** – Mr. Baker is a California and Washington Registered Geologist and Certified Hydrogeologist. He has conducted cursory environmental surveys, Phase I Evaluations, site characterization of sediment and groundwater, remedial design and implementation, post monitoring and achievement of “No Further Action” status by the lead regulating agencies. Mr. Baker holds a degree in geology from Ohio State University and a California Registered Geologist License number 4354.



3175 Airway Avenue  
Costa Mesa, CA 92626

3175 Airway Avenue



Google



1) View of the adjacent property to the northeast.



2) View of the adjacent property to the northwest.



3) View of the adjacent property to the west.



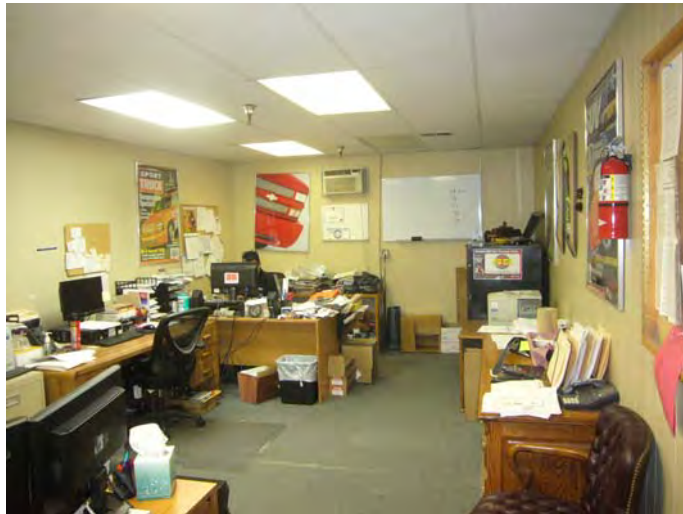
4) View of the adjacent property to the southeast.



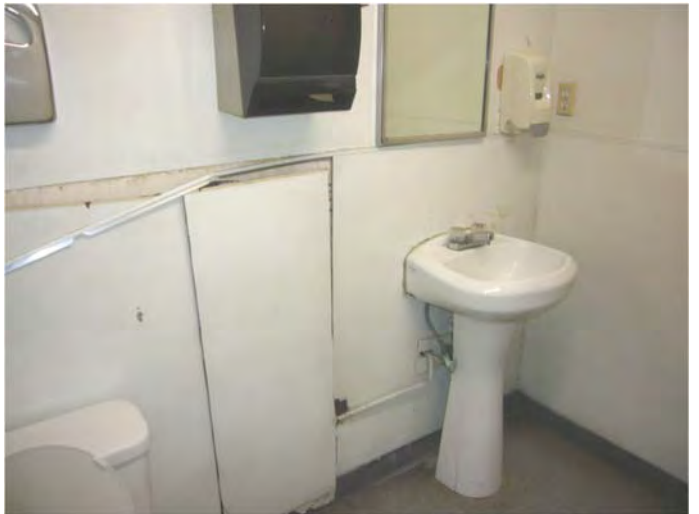
5) View of the stored materials along the southwest wall.



6) View of the electrical transformer vault.



7) View of the office finishes at the north end of the building.



8) View of the typical restroom finishes.



9) View of the parts storage warehouse.



10) View of the roofing and a typical HVAC unit.



11) View of a typical truck well catch basin.



12) View of the finishes at the vacant south office area.

35207

AUG 18-72 PAID 001383\* \*\*\*231.18  
CHSACOSTA MESA BUILDING-SAFETY DEPARTMENT  
P.O. BOX 1200 COSTA MESA, CALIFORNIA 92626

## APPLICATION FOR BUILDING PERMIT

BUILDING ADDRESS: ~~365 McCORMICK AVE~~  
~~AIRWAY & McCORMICK~~OWNER ALAN FAINBARG

MAIL ADDRESS (ARCHITECTS ADDRESS)

CITY TEL. NO.

CONSTRUCTION LENDER

BRANCH

ADDRESS Dave HutchisonARCHITECT OR ENGINEER MCLEAN & SCHULTZ TEL. NO. 871 7310ADDRESS 2000 E. CHAPMAN - FULL.

CONTRACTOR

ADDRESS

CITY TEL. NO.

STATE LIC. NO. CITY LIC. NO.

SIZE OF LOT 60,000 SQ FT NO. OF BLDGS. NOW ON LOT 1

USE OF EXISTING BLDG.

SIZE OF NEW BLDG. 29,170 NO. OF ROOMS 26 STORIES 2EXTERIOR WALL COVERING CONC ROOF COVERING GRAVEL - BUILT UP

USE OF BUILDING AND WORK TO BE PERFORMED

WAREHOUSE &OFFICE

I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all laws regulating building construction, and I shall not employ any person in violation of the workman's compensation laws of the State of California.

I hereby certify that I am properly licensed as a contractor under the State of California Business and Professions Code, Division 3, Chapter 9, and that such licenses are in full force and effect, or I am exempt from the provisions of the State of California Business and Professions Code, Division 3, Chapter 9.

Signature of Permittee MCLEAN & SCHULTZAuthorized Agent [Signature]RECEIVED BY CR DATE RECEIVED 8/17/72 DATE ISSUED 1-3-73A.P. NO. 427-091-12 PERMIT NO. 35207BUILDING ADDRESS 365 McCORMICK AVETRACT 7076 LOT 4 BLOCKNEW  ADD  ALTER  REPAIR  MOVING  DEMOLISH OWNER Alan FainbargUSE Warehouse Office VALUE 206,080FIRE ZONE TYPE III-N GROUP F-2APPROVED BY Wok DATE 1-2-73ZONE M1 NO. OF PLANS 2 USE OF NEW BUILDING INDUSTRIAL WAREHOUSE

YARDS APPROVED MAIN BUILDING YARDS APPROVED ACCESSORY BUILDING

(FROM C/L STREET)

FRONT 60 FT. FT.R. SIDE 30 FT. FT.L. SIDE 20 FT. FT.REAR 70 FT. FT.

DISTANCE BET. MAIN BLDGS. BET. MAIN &amp; ACCESS. BLDGS.

VAR. # 2E-72-98 DATE APPROVED 12-18-72APPROVED BY WLD DATE 1-2-73HOLD FOR SPECIAL REQUIREMENTS  
see plans for details  
1743  
TAX29,170 SQ. FT.

THE AMOUNT SHOWN UNDER VALUATION IS FOR THE PURPOSE OF ESTABLISHING A PERMIT FEE ONLY:

VALUATION \$ 206,080 PERMIT FEE \$ 216.75  
PLAN CHECK \$ 216.75  
TOTAL FEE \$

USE INDELIBLE PENCIL, BALL POINT PEN OR OTHER NON-ERASABLE SUBSTANCE.

INSTRUCTIONS TO APPLICANT

**3175 Airway Avenue**  
3175 Airway Avenue  
Costa Mesa, CA 92626

Inquiry Number: 5427551.2s  
September 18, 2018

## The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)



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***Thank you for your business.***  
 Please contact EDR at 1-800-352-0050  
 with any questions or comments.

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## EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

### TARGET PROPERTY INFORMATION

#### ADDRESS

3175 AIRWAY AVENUE  
COSTA MESA, CA 92626

#### COORDINATES

Latitude (North): 33.6798490 - 33° 40' 47.45"  
Longitude (West): 117.8712830 - 117° 52' 16.61"  
Universal Transverse Mercator: Zone 11  
UTM X (Meters): 419235.3  
UTM Y (Meters): 3726806.2  
Elevation: 47 ft. above sea level

### USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5640942 TUSTIN, CA  
Version Date: 2012  
  
West Map: 5640950 NEWPORT BEACH, CA  
Version Date: 2012

### AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140514  
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:  
3175 AIRWAY AVENUE  
COSTA MESA, CA 92626

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">A1</a>	STILLEN	3176 AIRWAY	RCRA-SQG, FINDS, ECHO	Higher	63, 0.012, East
<a href="#">A2</a>	BRUCE STRUSS AUTO CA	350 MCCORMICK AVE	RCRA-SQG, FINDS, ECHO	Lower	97, 0.018, NNE
<a href="#">B3</a>	SEMICOA	333 MCCORMICK	RCRA-SQG, ENVIROSTOR, FINDS, ECHO, WDS	Lower	239, 0.045, NNW
<a href="#">B4</a>	SEMICOA	333 MCCORMICK AVENUE	ENVIROSTOR, HAZNET	Lower	239, 0.045, NNW
<a href="#">5</a>	DANA CREATH DESIGNS	3170 AIRWAY	RCRA-SQG, FINDS, ECHO, EMI, HAZNET	Higher	243, 0.046, SE
<a href="#">C6</a>	SPECIALTY BODY WORKS	330 PAULARINO AVE	RCRA-SQG, FINDS, ECHO, EMI	Higher	283, 0.054, West
<a href="#">D7</a>	JOHN WAYNE AIRPORT	3160 AIRWAY AVE	UST	Higher	298, 0.056, South
<a href="#">D8</a>		3160 AIRWAY AVE	AST	Higher	298, 0.056, South
<a href="#">D9</a>	DOUGLAS OIL COMPANY	3160 AIRWAY AVE	EDR Hist Auto	Higher	298, 0.056, South
<a href="#">10</a>	POPE CORP	3184 AIRWAY AVE UNIT	RCRA-SQG, FINDS, ECHO, HAZNET	Lower	392, 0.074, ENE
<a href="#">D11</a>	JOHN WAYNE AIRPORT/F	366 PAULARINO RD	LUST	Higher	431, 0.082, South
<a href="#">D12</a>	JOHN WAYNE AIRPORT F	366 PAULARINO RD	SWEEPS UST, CA FID UST	Higher	431, 0.082, South
<a href="#">D13</a>	JOHN WAYNE AIRPORT F	366 PAULARINO AVE	UST	Higher	431, 0.082, South
<a href="#">C14</a>	PACIFIC BELL	3160 REDHILL AVE	RCRA NonGen / NLR, FINDS, ECHO	Higher	494, 0.094, West
<a href="#">E15</a>	RESPIRATORY SUPPORT	3183-D AIRWAY AVE	RCRA-SQG	Lower	634, 0.120, NNE
<a href="#">F16</a>	PRIME TECHNOLOGY	3183 REDHILL AVENUE	RCRA-LQG, WDS	Lower	670, 0.127, NNW
<a href="#">F17</a>	PRIME TECHNOLOGIES,	3183 REDHILL AVENUE	ENVIROSTOR	Lower	670, 0.127, NNW
<a href="#">F18</a>	O'NEIL MOVING SYSTEM	275 MCCORMICK AVE	UST	Lower	761, 0.144, NW
<a href="#">19</a>	BEACON BAY ENTERPRIS	3152 RED HILL AVE ST	EDR Hist Auto	Higher	819, 0.155, WSW
<a href="#">E20</a>	CLASSIC TYPE AND PRE	3185 AIRWAY AVE UNIT	RCRA-SQG, FINDS, ECHO	Lower	877, 0.166, NNE
<a href="#">G21</a>	CERADYNE, INC.	3169 REDHILL AVENUE	ENVIROSTOR, WDS	Higher	894, 0.169, West
<a href="#">G22</a>	CERADYNE INC	3169 REDHILL AVENUE	RCRA-SQG, FINDS, ECHO, EMI	Higher	894, 0.169, West
<a href="#">23</a>	TRICO	235 PAULARINO AVE	UST	Higher	979, 0.185, West
<a href="#">24</a>	GERMAN AUTO WORKS	3186 G AIRWAY	RCRA-SQG, FINDS, ECHO	Lower	997, 0.189, ENE
<a href="#">H25</a>	JOHN WAYNE AIRPORT W	3151 AIRWAY AVE	CPS-SLIC, SWEEPS UST, CA FID UST, Orange Co....	Higher	1063, 0.201, SW
<a href="#">I26</a>	AUTOHAUS BERLIN CO I	3188 L AIRWAY AVE	RCRA-SQG, FINDS, ECHO, HAZNET	Lower	1237, 0.234, NE
<a href="#">I27</a>	HOWENSTINE JOHN INC	3188-J AIRWAY AVE	RCRA NonGen / NLR	Lower	1237, 0.234, NE
<a href="#">I28</a>	GUNTHERS PRINTING	3188 BLDG F AIRWAY A	RCRA NonGen / NLR, FINDS, ECHO, HAZNET	Lower	1237, 0.234, NE
<a href="#">H29</a>	ORANGE COUNTY FIRE S	18992	HIST CORTESE	Higher	1247, 0.236, SW
<a href="#">J30</a>	ITT BUSINESS MACHINE	3191 RED HILL AVENUE	CPS-SLIC	Lower	1302, 0.247, North
<a href="#">J31</a>	ITT BUSINESS MACHINE	3191 REDHILL AVENUE	CPS-SLIC	Lower	1302, 0.247, North
<a href="#">J32</a>	TONER PLANT	3191 RED HILL AVE	HIST UST	Lower	1319, 0.250, North
<a href="#">J33</a>	CANON BUSINESS MACHI	3191 RED HILL AVENUE	LUST, UST, HIST UST, Orange Co. Industrial Site,...	Lower	1319, 0.250, North
<a href="#">J34</a>	CANON BUSINESS MACHI	3191 RED HILL AVENUE	RCRA-LQG	Lower	1319, 0.250, North
<a href="#">H35</a>	MSI DATA CORP	335 BAKER AVE	SEMS-ARCHIVE, RCRA-SQG	Higher	1329, 0.252, SW
<a href="#">K36</a>	SANTA ANA TOWER FAA/	18990 IKE JONES RD	CPS-SLIC, UST, SWEEPS UST, HIST UST	Higher	1526, 0.289, SSW
<a href="#">K37</a>	SANTA ANA TOWER FAA/	18990 IKE JONES RD	LUST, CA FID UST, HIST CORTESE	Higher	1526, 0.289, SSW
<a href="#">K38</a>	ORANGE COUNTY FIRE S	18992 IKE JONES RD	LUST	Higher	1530, 0.290, SSW
<a href="#">K39</a>	ORANGE COUNTY FIRE S	18992 IKE JONES RD	CPS-SLIC	Higher	1530, 0.290, SSW

MAPPED SITES SUMMARY

Target Property Address:  
 3175 AIRWAY AVENUE  
 COSTA MESA, CA 92626

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">L40</a>	WESTERN DIGITAL CORP	3128 REDHILL AVE	SEMS, RCRA-SQG, HIST UST, FINDS, ECHO	Higher	1588, 0.301, WSW
<a href="#">L41</a>	WESTERN DIGITAL CORP	3128 RED HILL AV	LUST, EMI, HAZNET, HIST CORTESE	Higher	1588, 0.301, WSW
<a href="#">L42</a>	WESTERN DIGITAL CORP	3128 RED HILL AVE	LUST	Higher	1588, 0.301, WSW
<a href="#">43</a>	THE ABBEY SCHERER CO	3130 AIRWAY	LUST, HIST CORTESE	Higher	1592, 0.302, SSW
<a href="#">M44</a>	VALENTEC WELLS	3190 PULLMAN ST	CPS-SLIC, EMI, CIWQS	Lower	1965, 0.372, North
<a href="#">45</a>	FRYE & SMITH, INC.	150 E. BAKER STREET	ENVIROSTOR	Lower	1965, 0.372, West
<a href="#">M46</a>	VALENTEC-WELLS, INC.	3190 PULLMAN STREET	ENVIROSTOR, CPS-SLIC, Orange Co. Industrial Site	Lower	1976, 0.374, North
<a href="#">47</a>	OLEN PROPERTIES - AI	3100 AIRWAY AVE	CPS-SLIC	Higher	2057, 0.390, SSW
<a href="#">48</a>	MILLION AIR CTR REFU	19300 IKE JONES RD	LUST, Orange Co. Industrial Site, HIST CORTESE	Higher	2066, 0.391, SSW
<a href="#">N49</a>	INTESYS TECHNOLOGIES	265 BRIGGS AVE	RCRA-SQG, CPS-SLIC	Lower	2218, 0.420, WSW
<a href="#">N50</a>	INTESYS TECHNOLOGIES	265 BRIGGS AVENUE	CPS-SLIC, WDS	Lower	2218, 0.420, WSW
<a href="#">51</a>	ORANGE COUNTY AIRPOR		ENVIROSTOR	Higher	2787, 0.528, South
<a href="#">52</a>	MARTIN AVIATION INC.	19801 AIRPORT WAY SO	EMI, Notify 65	Higher	3234, 0.613, SSE
<a href="#">O53</a>	SIGMA CIRCUITS, INC.	2970 AIRWAY AVENUE	ENVIROSTOR	Higher	3736, 0.708, SSW
<a href="#">O54</a>	SIGMA CIRCUITS INC S	2970 AIRWAY AVENUE	SEMS-ARCHIVE, RCRA-SQG, ENVIROSTOR, CPS-SLIC,...	Higher	3736, 0.708, SSW
<a href="#">O55</a>	KNIGHT EQUIPMENT COR	2955 AIRWAY AVE	ENVIROSTOR, HIST UST, EMI	Higher	3996, 0.757, SSW
<a href="#">56</a>	SHELL OIL	3045 BRISTOL	LUST, Notify 65	Lower	4383, 0.830, West
<a href="#">57</a>	EXOTIC MATERIAL INC	2930 BRISTOL ST	ENVIROSTOR	Lower	4756, 0.901, WSW

# EXECUTIVE SUMMARY

## TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

## DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal NPL site list***

NPL..... National Priority List  
Proposed NPL..... Proposed National Priority List Sites  
NPL LIENS..... Federal Superfund Liens

### ***Federal Delisted NPL site list***

Delisted NPL..... National Priority List Deletions

### ***Federal CERCLIS list***

FEDERAL FACILITY..... Federal Facility Site Information listing

### ***Federal RCRA CORRACTS facilities list***

CORRACTS..... Corrective Action Report

### ***Federal RCRA non-CORRACTS TSD facilities list***

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

### ***Federal RCRA generators list***

RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

### ***Federal institutional controls / engineering controls registries***

LUCIS..... Land Use Control Information System  
US ENG CONTROLS..... Engineering Controls Sites List  
US INST CONTROL..... Sites with Institutional Controls

### ***Federal ERNS list***

ERNS..... Emergency Response Notification System

### ***State- and tribal - equivalent NPL***

RESPONSE..... State Response Sites

## EXECUTIVE SUMMARY

### **State and tribal landfill and/or solid waste disposal site lists**

SWF/LF..... Solid Waste Information System

### **State and tribal leaking storage tank lists**

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

### **State and tribal registered storage tank lists**

FEMA UST..... Underground Storage Tank Listing

INDIAN UST..... Underground Storage Tanks on Indian Land

### **State and tribal voluntary cleanup sites**

INDIAN VCP..... Voluntary Cleanup Priority Listing

VCP..... Voluntary Cleanup Program Properties

### **State and tribal Brownfields sites**

BROWNFIELDS..... Considered Brownfields Sites Listing

### **ADDITIONAL ENVIRONMENTAL RECORDS**

#### **Local Brownfield lists**

US BROWNFIELDS..... A Listing of Brownfields Sites

#### **Local Lists of Landfill / Solid Waste Disposal Sites**

WMUDS/SWAT..... Waste Management Unit Database

SWRCY..... Recycler Database

HAULERS..... Registered Waste Tire Haulers Listing

INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations

ODI..... Open Dump Inventory

IHS OPEN DUMPS..... Open Dumps on Indian Land

#### **Local Lists of Hazardous waste / Contaminated Sites**

US HIST CDL..... Delisted National Clandestine Laboratory Register

HIST Cal-Sites..... Historical Calsites Database

SCH..... School Property Evaluation Program

CDL..... Clandestine Drug Labs

Toxic Pits..... Toxic Pits Cleanup Act Sites

US CDL..... National Clandestine Laboratory Register

CERS HAZ WASTE..... CERS HAZ WASTE

#### **Local Lists of Registered Storage Tanks**

CERS TANKS..... California Environmental Reporting System (CERS) Tanks

#### **Local Land Records**

LIENS..... Environmental Liens Listing

## EXECUTIVE SUMMARY

LIENS 2 ..... CERCLA Lien Information  
DEED ..... Deed Restriction Listing

### **Records of Emergency Release Reports**

HMIRS ..... Hazardous Materials Information Reporting System  
CHMIRS ..... California Hazardous Material Incident Report System  
LDS ..... Land Disposal Sites Listing  
MCS ..... Military Cleanup Sites Listing  
Orange Co. Industrial Site ..... List of Industrial Site Cleanups  
SPILLS 90 ..... SPILLS 90 data from FirstSearch

### **Other Ascertainable Records**

FUDS ..... Formerly Used Defense Sites  
DOD ..... Department of Defense Sites  
SCRD DRYCLEANERS ..... State Coalition for Remediation of Drycleaners Listing  
US FIN ASSUR ..... Financial Assurance Information  
EPA WATCH LIST ..... EPA WATCH LIST  
2020 COR ACTION ..... 2020 Corrective Action Program List  
TSCA ..... Toxic Substances Control Act  
TRIS ..... Toxic Chemical Release Inventory System  
SSTS ..... Section 7 Tracking Systems  
ROD ..... Records Of Decision  
RMP ..... Risk Management Plans  
RAATS ..... RCRA Administrative Action Tracking System  
PRP ..... Potentially Responsible Parties  
PADS ..... PCB Activity Database System  
ICIS ..... Integrated Compliance Information System  
FTTS ..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)  
MLTS ..... Material Licensing Tracking System  
COAL ASH DOE ..... Steam-Electric Plant Operation Data  
COAL ASH EPA ..... Coal Combustion Residues Surface Impoundments List  
PCB TRANSFORMER ..... PCB Transformer Registration Database  
RADINFO ..... Radiation Information Database  
HIST FTTS ..... FIFRA/TSCA Tracking System Administrative Case Listing  
DOT OPS ..... Incident and Accident Data  
CONSENT ..... Superfund (CERCLA) Consent Decrees  
INDIAN RESERV ..... Indian Reservations  
FUSRAP ..... Formerly Utilized Sites Remedial Action Program  
UMTRA ..... Uranium Mill Tailings Sites  
LEAD SMELTERS ..... Lead Smelter Sites  
US AIRS ..... Aerometric Information Retrieval System Facility Subsystem  
US MINES ..... Mines Master Index File  
ABANDONED MINES ..... Abandoned Mines  
FINDS ..... Facility Index System/Facility Registry System  
UXO ..... Unexploded Ordnance Sites  
DOCKET HWC ..... Hazardous Waste Compliance Docket Listing  
ECHO ..... Enforcement & Compliance History Information  
FUELS PROGRAM ..... EPA Fuels Program Registered Listing  
CA BOND EXP. PLAN ..... Bond Expenditure Plan  
CUPA Listings ..... CUPA Resources List  
DRYCLEANERS ..... Cleaner Facilities  
EMI ..... Emissions Inventory Data

## EXECUTIVE SUMMARY

ENF.....	Enforcement Action Listing
Financial Assurance.....	Financial Assurance Information Listing
HAZNET.....	Facility and Manifest Data
ICE.....	ICE
HWP.....	EnviroStor Permitted Facilities Listing
HWT.....	Registered Hazardous Waste Transporter Database
MINES.....	Mines Site Location Listing
MWMP.....	Medical Waste Management Program Listing
NPDES.....	NPDES Permits Listing
PEST LIC.....	Pesticide Regulation Licenses Listing
PROC.....	Certified Processors Database
UIC.....	UIC Listing
WASTEWATER PITS.....	Oil Wastewater Pits Listing
WDS.....	Waste Discharge System
WIP.....	Well Investigation Program Case List
WELL STIM PROJ.....	Well Stimulation Project (GEOTRACKER)
MILITARY PRIV SITES.....	MILITARY PRIV SITES (GEOTRACKER)
NON-CASE INFO.....	NON-CASE INFO (GEOTRACKER)
OTHER OIL GAS.....	OTHER OIL & GAS (GEOTRACKER)
PROD WATER PONDS.....	PROD WATER PONDS (GEOTRACKER)
CERS.....	CERS
SAMPLING POINT.....	SAMPLING POINT (GEOTRACKER)
UIC GEO.....	UIC GEO (GEOTRACKER)
CIWQS.....	California Integrated Water Quality System
WDR.....	Waste Discharge Requirements Listing
PROJECT.....	PROJECT (GEOTRACKER)

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR MGP.....	EDR Proprietary Manufactured Gas Plants
EDR Hist Cleaner.....	EDR Exclusive Historical Cleaners

### SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

### STANDARD ENVIRONMENTAL RECORDS

#### ***Federal CERCLIS list***



## EXECUTIVE SUMMARY

SEMS: SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly know as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

A review of the SEMS list, as provided by EDR, and dated 07/17/2018 has revealed that there is 1 SEMS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>WESTERN DIGITAL CORP</b> Site ID: 0904275 EPA Id: CAD051983567	<b>3128 REDHILL AVE</b>	<b>WSW 1/4 - 1/2 (0.301 mi.)</b>	<b>L40</b>	<b>103</b>

### ***Federal CERCLIS NFRAP site list***

SEMS-ARCHIVE: SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

A review of the SEMS-ARCHIVE list, as provided by EDR, and dated 07/17/2018 has revealed that there is 1 SEMS-ARCHIVE site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>MSI DATA CORP</b> Site ID: 0900312 EPA Id: CAD053853644	<b>335 BAKER AVE</b>	<b>SW 1/4 - 1/2 (0.252 mi.)</b>	<b>H35</b>	<b>94</b>

### ***Federal RCRA generators list***

RCRA-LQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

A review of the RCRA-LQG list, as provided by EDR, and dated 03/01/2018 has revealed that there are 2

## EXECUTIVE SUMMARY

RCRA-LQG sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>PRIME TECHNOLOGY</b> EPA ID:: CAD981573108	<b>3183 REDHILL AVENUE</b>	<b>NNW 1/8 - 1/4 (0.127 mi.)</b>	<b>F16</b>	<b>42</b>
<b>CANON BUSINESS MACHI</b> EPA ID:: CAD078140068	<b>3191 RED HILL AVENUE</b>	<b>N 1/8 - 1/4 (0.250 mi.)</b>	<b>J34</b>	<b>91</b>

RCRA-SQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

A review of the RCRA-SQG list, as provided by EDR, and dated 03/01/2018 has revealed that there are 11 RCRA-SQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>STILLEN</b> EPA ID:: CAR000081984	<b>3176 AIRWAY</b>	<b>E 0 - 1/8 (0.012 mi.)</b>	<b>A1</b>	<b>8</b>
<b>DANA CREATH DESIGNS</b> EPA ID:: CAD982400616	<b>3170 AIRWAY</b>	<b>SE 0 - 1/8 (0.046 mi.)</b>	<b>5</b>	<b>20</b>
<b>SPECIALTY BODY WORKS</b> EPA ID:: CAD983582974	<b>330 PAULARINO AVE</b>	<b>W 0 - 1/8 (0.054 mi.)</b>	<b>C6</b>	<b>26</b>
<b>CERADYNE INC</b> EPA ID:: CAD981424229	<b>3169 REDHILL AVENUE</b>	<b>W 1/8 - 1/4 (0.169 mi.)</b>	<b>G22</b>	<b>52</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BRUCE STRUSS AUTO CA</b> EPA ID:: CA0000921577	<b>350 MCCORMICK AVE</b>	<b>NNE 0 - 1/8 (0.018 mi.)</b>	<b>A2</b>	<b>9</b>
<b>SEMICOA</b> EPA ID:: CAD047429824	<b>333 MCCORMICK</b>	<b>NNW 0 - 1/8 (0.045 mi.)</b>	<b>B3</b>	<b>11</b>
<b>POPE CORP</b> EPA ID:: CAR000009738	<b>3184 AIRWAY AVE UNIT</b>	<b>ENE 0 - 1/8 (0.074 mi.)</b>	<b>10</b>	<b>31</b>
<b>RESPIRATORY SUPPORT</b> EPA ID:: CAD084157270	<b>3183-D AIRWAY AVE</b>	<b>NNE 0 - 1/8 (0.120 mi.)</b>	<b>E15</b>	<b>41</b>
<b>CLASSIC TYPE AND PRE</b> EPA ID:: CAD028446904	<b>3185 AIRWAY AVE UNIT</b>	<b>NNE 1/8 - 1/4 (0.166 mi.)</b>	<b>E20</b>	<b>48</b>
<b>GERMAN AUTO WORKS</b> EPA ID:: CAD983597022	<b>3186 G AIRWAY</b>	<b>ENE 1/8 - 1/4 (0.189 mi.)</b>	<b>24</b>	<b>66</b>
<b>AUTOHAUS BERLIN CO I</b> EPA ID:: CAD983588245	<b>3188 L AIRWAY AVE</b>	<b>NE 1/8 - 1/4 (0.234 mi.)</b>	<b>I26</b>	<b>75</b>

## EXECUTIVE SUMMARY

### **State- and tribal - equivalent CERCLIS**

ENVIROSTOR: The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

A review of the ENVIROSTOR list, as provided by EDR, and dated 07/30/2018 has revealed that there are 11 ENVIROSTOR sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>CERADYNE, INC.</b> Facility Id: 71002835 Status: Inactive - Needs Evaluation	<b>3169 REDHILL AVENUE</b>	<b>W 1/8 - 1/4 (0.169 mi.)</b>	<b>G21</b>	<b>50</b>
ORANGE COUNTY AIRPOR Facility Id: 80000829 Status: Inactive - Needs Evaluation		S 1/2 - 1 (0.528 mi.)	51	127
SIGMA CIRCUITS, INC. Facility Id: 71002902 Status: No Action Required	2970 AIRWAY AVENUE	SSW 1/2 - 1 (0.708 mi.)	O53	128
<b>SIGMA CIRCUITS INC S</b> Facility Id: 30280370 Status: Refer: Other Agency	<b>2970 AIRWAY AVENUE</b>	<b>SSW 1/2 - 1 (0.708 mi.)</b>	<b>O54</b>	<b>129</b>
<b>KNIGHT EQUIPMENT COR</b> Facility Id: 71002508 Status: Refer: Other Agency	<b>2955 AIRWAY AVE</b>	<b>SSW 1/2 - 1 (0.757 mi.)</b>	<b>O55</b>	<b>138</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SEMICOA</b> Facility Id: 71002417 Status: Inactive - Needs Evaluation	<b>333 MCCORMICK</b>	<b>NNW 0 - 1/8 (0.045 mi.)</b>	<b>B3</b>	<b>11</b>
<b>SEMICOA</b> Facility Id: 60002151 Status: Active	<b>333 MCCORMICK AVENUE</b>	<b>NNW 0 - 1/8 (0.045 mi.)</b>	<b>B4</b>	<b>17</b>
PRIME TECHNOLOGIES, Facility Id: 71002874 Status: Inactive - Needs Evaluation	3183 REDHILL AVENUE	NNW 1/8 - 1/4 (0.127 mi.)	F17	47
FRYE & SMITH, INC. Facility Id: 71002615 Status: No Further Action	150 E. BAKER STREET	W 1/4 - 1/2 (0.372 mi.)	45	118
<b>VALENTEC-WELLS, INC.</b> Facility Id: 71002538 Status: Inactive - Needs Evaluation	<b>3190 PULLMAN STREET</b>	<b>N 1/4 - 1/2 (0.374 mi.)</b>	<b>M46</b>	<b>119</b>
EXOTIC MATERIAL INC	2930 BRISTOL ST	WSW 1/2 - 1 (0.901 mi.)	57	143

## EXECUTIVE SUMMARY

Facility Id: 30280530  
 Status: Refer: Other Agency

### **State and tribal leaking storage tank lists**

LUST: Leaking Underground Storage Tank (LUST) Sites included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

A review of the LUST list, as provided by EDR, has revealed that there are 8 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JOHN WAYNE AIRPORT/F Database: ORANGE CO. LUST, Date of Government Version: 07/13/2018 Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: LUST, Date of Government Version: 06/11/2018 Status: Completed - Case Closed Facility Id: 93UT093 Facility Status: Pollution Characterization Global Id: T0605901723 Global ID: T0605901723	366 PAULARINO RD	S 0 - 1/8 (0.082 mi.)	D11	34
<b>SANTA ANA TOWER FAA/</b> Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Pollution Characterization Global ID: T0605900442	<b>18990 IKE JONES RD</b>	<b>SSW 1/4 - 1/2 (0.289 mi.)</b>	<b>K37</b>	<b>100</b>
ORANGE COUNTY FIRE S Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Preliminary site assessment underway Global ID: T0605900437	18992 IKE JONES RD	SSW 1/4 - 1/2 (0.290 mi.)	K38	101
<b>WESTERN DIGITAL CORP</b> Database: ORANGE CO. LUST, Date of Government Version: 07/13/2018 Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: LUST, Date of Government Version: 06/11/2018 Status: Completed - Case Closed Facility Id: 86UT041 Facility Id: 92UT023 Facility Status: Case Closed Global Id: T0605900354 Global ID: T0605900354	<b>3128 RED HILL AV</b>	<b>WSW 1/4 - 1/2 (0.301 mi.)</b>	<b>L41</b>	<b>107</b>
WESTERN DIGITAL CORP Database: ORANGE CO. LUST, Date of Government Version: 07/13/2018 Facility Id: 92UT023	3128 RED HILL AVE	WSW 1/4 - 1/2 (0.301 mi.)	L42	112
<b>THE ABBEY SCHERER CO</b> Database: ORANGE CO. LUST, Date of Government Version: 07/13/2018 Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: LUST, Date of Government Version: 06/11/2018 Status: Completed - Case Closed Facility Id: 90UT174 Facility Status: Case Closed	<b>3130 AIRWAY</b>	<b>SSW 1/4 - 1/2 (0.302 mi.)</b>	<b>43</b>	<b>112</b>

## EXECUTIVE SUMMARY

Global Id: T0605901220  
Global ID: T0605901220

<b>MILLION AIR CTR REFU</b>	<b>19300 IKE JONES RD</b>	<b>SSW 1/4 - 1/2 (0.391 mi.)</b>	<b>48</b>	<b>121</b>
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: LUST, Date of Government Version: 06/11/2018				
Status: Completed - Case Closed				
Facility Status: Case Closed				
Global Id: T0605900431				
Global ID: T0605900431				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>CANON BUSINESS MACHI</b>	<b>3191 RED HILL AVENUE</b>	<b>N 1/8 - 1/4 (0.250 mi.)</b>	<b>J33</b>	<b>83</b>
Database: ORANGE CO. LUST, Date of Government Version: 07/13/2018				
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: LUST, Date of Government Version: 06/11/2018				
Status: Completed - Case Closed				
Facility Id: 87UT038				
Facility Id: 89UT190				
Facility Status: Case Closed				
Global Id: T0605901019				
Global Id: T0605955203				
Global ID: T0605901019				
Global ID: T0605955203				

CPS-SLIC: Cleanup Program Sites (CPS; also known as Site Cleanups [SC] and formerly known as Spills, Leaks, Investigations, and Cleanups [SLIC] sites) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

A review of the CPS-SLIC list, as provided by EDR, has revealed that there are 10 CPS-SLIC sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JOHN WAYNE AIRPORT W</b>	<b>3151 AIRWAY AVE</b>	<b>SW 1/8 - 1/4 (0.201 mi.)</b>	<b>H25</b>	<b>68</b>
Database: CPS-SLIC, Date of Government Version: 06/11/2018				
Facility Status: Open - Site Assessment				
Global Id: SL208013856				
<b>SANTA ANA TOWER FAA/</b>	<b>18990 IKE JONES RD</b>	<b>SSW 1/4 - 1/2 (0.289 mi.)</b>	<b>K36</b>	<b>98</b>
Database: CPS-SLIC, Date of Government Version: 06/11/2018				
Facility Status: Open - Site Assessment				
Global Id: T0605900442				
<b>ORANGE COUNTY FIRE S</b>	<b>18992 IKE JONES RD</b>	<b>SSW 1/4 - 1/2 (0.290 mi.)</b>	<b>K39</b>	<b>102</b>
Database: CPS-SLIC, Date of Government Version: 06/11/2018				
Facility Status: Open - Site Assessment				
Global Id: T0605900437				
<b>OLEN PROPERTIES - AI</b>	<b>3100 AIRWAY AVE</b>	<b>SSW 1/4 - 1/2 (0.390 mi.)</b>	<b>47</b>	<b>121</b>
Database: CPS-SLIC, Date of Government Version: 06/11/2018				
Facility Status: Open - Site Assessment				
Global Id: T10000010077				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>ITT BUSINESS MACHINE</b>	<b>3191 RED HILL AVENUE</b>	<b>N 1/8 - 1/4 (0.247 mi.)</b>	<b>J30</b>	<b>81</b>
Database: SLIC REG 8, Date of Government Version: 04/03/2008				

## EXECUTIVE SUMMARY

Facility Status: Closed				
ITT BUSINESS MACHINE	3191 REDHILL AVENUE	N 1/8 - 1/4 (0.247 mi.)	J31	81
Database: CPS-SLIC, Date of Government Version: 06/11/2018				
Facility Status: Completed - Case Closed				
Global Id: SLT8R2143992				
<b>VALENTEC WELLS</b>	<b>3190 PULLMAN ST</b>	<b>N 1/4 - 1/2 (0.372 mi.)</b>	<b>M44</b>	<b>115</b>
Database: SLIC REG 8, Date of Government Version: 04/03/2008				
Facility Status: Closed				
<b>VALENTEC-WELLS, INC.</b>	<b>3190 PULLMAN STREET</b>	<b>N 1/4 - 1/2 (0.374 mi.)</b>	<b>M46</b>	<b>119</b>
Database: CPS-SLIC, Date of Government Version: 06/11/2018				
Facility Status: Completed - Case Closed				
Global Id: SL208263881				
<b>INTESYS TECHNOLOGIES</b>	<b>265 BRIGGS AVE</b>	<b>WSW 1/4 - 1/2 (0.420 mi.)</b>	<b>N49</b>	<b>124</b>
Database: CPS-SLIC, Date of Government Version: 06/11/2018				
Facility Status: Completed - Case Closed				
Global Id: SLT8R0603944				
<b>INTESYS TECHNOLOGIES</b>	<b>265 BRIGGS AVENUE</b>	<b>WSW 1/4 - 1/2 (0.420 mi.)</b>	<b>N50</b>	<b>126</b>
Database: SLIC REG 8, Date of Government Version: 04/03/2008				
Facility Status: Closed				

### **State and tribal registered storage tank lists**

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the State Water Resources Control Board's Hazardous Substance Storage Container Database.

A review of the UST list, as provided by EDR, has revealed that there are 5 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JOHN WAYNE AIRPORT	3160 AIRWAY AVE	S 0 - 1/8 (0.056 mi.)	D7	30
Database: UST, Date of Government Version: 06/11/2018				
Facility Id: 19159				
JOHN WAYNE AIRPORT F	366 PAULARINO AVE	S 0 - 1/8 (0.082 mi.)	D13	39
Database: UST, Date of Government Version: 06/11/2018				
Facility Id: 6881				
TRICO	235 PAULARINO AVE	W 1/8 - 1/4 (0.185 mi.)	23	66
Database: UST, Date of Government Version: 06/11/2018				
Facility Id: 10457				
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
O'NEIL MOVING SYSTEM	275 MCCORMICK AVE	NW 1/8 - 1/4 (0.144 mi.)	F18	48
Database: UST, Date of Government Version: 06/11/2018				
Facility Id: 14955				
<b>CANON BUSINESS MACHI</b>	<b>3191 RED HILL AVENUE</b>	<b>N 1/8 - 1/4 (0.250 mi.)</b>	<b>J33</b>	<b>83</b>
Database: UST, Date of Government Version: 06/11/2018				
Facility Id: 947				

## EXECUTIVE SUMMARY

AST: A listing of aboveground storage tank petroleum storage tank locations.

A review of the AST list, as provided by EDR, has revealed that there is 1 AST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported Database: AST, Date of Government Version: 07/06/2016	3160 AIRWAY AVE	S 0 - 1/8 (0.056 mi.)	D8	30

### ADDITIONAL ENVIRONMENTAL RECORDS

#### **Local Lists of Registered Storage Tanks**

SWEEPS UST: Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

A review of the SWEEPS UST list, as provided by EDR, and dated 06/01/1994 has revealed that there are 2 SWEEPS UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JOHN WAYNE AIRPORT F</b> Status: A Tank Status: A Comp Number: 6881	<b>366 PAULARINO RD</b>	<b>S 0 - 1/8 (0.082 mi.)</b>	<b>D12</b>	<b>38</b>
<b>JOHN WAYNE AIRPORT W</b> Status: A Tank Status: A Comp Number: 9158	<b>3151 AIRWAY AVE</b>	<b>SW 1/8 - 1/4 (0.201 mi.)</b>	<b>H25</b>	<b>68</b>

HIST UST: Historical UST Registered Database.

A review of the HIST UST list, as provided by EDR, and dated 10/15/1990 has revealed that there are 2 HIST UST sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TONER PLANT Facility Id: 00000016665	3191 RED HILL AVE	N 1/8 - 1/4 (0.250 mi.)	J32	82
<b>CANON BUSINESS MACHI</b>	<b>3191 RED HILL AVENUE</b>	<b>N 1/8 - 1/4 (0.250 mi.)</b>	<b>J33</b>	<b>83</b>

CA FID UST: The Facility Inventory Database contains active and inactive underground storage tank locations. The source is the State Water Resource Control Board.

A review of the CA FID UST list, as provided by EDR, and dated 10/31/1994 has revealed that there are 2 CA FID UST sites within approximately 0.25 miles of the target property.

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JOHN WAYNE AIRPORT F</b> Facility Id: 30017562 Status: A	<b>366 PAULARINO RD</b>	<b>S 0 - 1/8 (0.082 mi.)</b>	<b>D12</b>	<b>38</b>
<b>JOHN WAYNE AIRPORT W</b> Facility Id: 30017621 Status: A	<b>3151 AIRWAY AVE</b>	<b>SW 1/8 - 1/4 (0.201 mi.)</b>	<b>H25</b>	<b>68</b>

### **Other Ascertainable Records**

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 03/01/2018 has revealed that there are 3 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>PACIFIC BELL</b> EPA ID:: CAD980882468	<b>3160 REDHILL AVE</b>	<b>W 0 - 1/8 (0.094 mi.)</b>	<b>C14</b>	<b>40</b>

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HOWENSTINE JOHN INC EPA ID:: CAD078149812	3188-J AIRWAY AVE	NE 1/8 - 1/4 (0.234 mi.)	I27	77
<b>GUNTHERS PRINTING</b> EPA ID:: CAD982522930	<b>3188 BLDG F AIRWAY A</b>	<b>NE 1/8 - 1/4 (0.234 mi.)</b>	<b>I28</b>	<b>79</b>

Cortese: The sites for the list are designated by the State Water Resource Control Board (LUST), the Integrated Waste Board (SWF/LS), and the Department of Toxic Substances Control (Cal-Sites).

A review of the Cortese list, as provided by EDR, and dated 06/25/2018 has revealed that there is 1 Cortese site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JOHN WAYNE AIRPORT W</b>	<b>3151 AIRWAY AVE</b>	<b>SW 1/8 - 1/4 (0.201 mi.)</b>	<b>H25</b>	<b>68</b>

HIST CORTESE: The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSTITES]. This listing is no longer updated by the state agency.

A review of the HIST CORTESE list, as provided by EDR, and dated 04/01/2001 has revealed that there are 6 HIST CORTESE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ORANGE COUNTY FIRE S	18992	SW 1/8 - 1/4 (0.236 mi.)	H29	81



## EXECUTIVE SUMMARY

Reg Id: 083000548T				
<b>SANTA ANA TOWER FAA/</b>	<b>18990 IKE JONES RD</b>	<b>SSW 1/4 - 1/2 (0.289 mi.)</b>	<b>K37</b>	<b>100</b>
Reg Id: 083000556T				
<b>WESTERN DIGITAL CORP</b>	<b>3128 RED HILL AV</b>	<b>WSW 1/4 - 1/2 (0.301 mi.)</b>	<b>L41</b>	<b>107</b>
Reg Id: 083000442T				
<b>THE ABBEY SCHERER CO</b>	<b>3130 AIRWAY</b>	<b>SSW 1/4 - 1/2 (0.302 mi.)</b>	<b>43</b>	<b>112</b>
Reg Id: 083001610T				
<b>MILLION AIR CTR REFU</b>	<b>19300 IKE JONES RD</b>	<b>SSW 1/4 - 1/2 (0.391 mi.)</b>	<b>48</b>	<b>121</b>
Reg Id: 083000539T				
<b>Lower Elevation</b>	<b>Address</b>	<b>Direction / Distance</b>	<b>Map ID</b>	<b>Page</b>
<b>CANON BUSINESS MACHI</b>	<b>3191 RED HILL AVENUE</b>	<b>N 1/8 - 1/4 (0.250 mi.)</b>	<b>J33</b>	<b>83</b>
Reg Id: 083001341T				

Notify 65: Listings of all Proposition 65 incidents reported to counties by the State Water Resources Control Board and the Regional Water Quality Control Board. This database is no longer updated by the reporting agency.

A review of the Notify 65 list, as provided by EDR, and dated 06/18/2018 has revealed that there are 2 Notify 65 sites within approximately 1 mile of the target property.

<b>Equal/Higher Elevation</b>	<b>Address</b>	<b>Direction / Distance</b>	<b>Map ID</b>	<b>Page</b>
<b>MARTIN AVIATION INC.</b>	<b>19801 AIRPORT WAY SO</b>	<b>SSE 1/2 - 1 (0.613 mi.)</b>	<b>52</b>	<b>128</b>
<b>Lower Elevation</b>	<b>Address</b>	<b>Direction / Distance</b>	<b>Map ID</b>	<b>Page</b>
<b>SHELL OIL</b>	<b>3045 BRISTOL</b>	<b>W 1/2 - 1 (0.830 mi.)</b>	<b>56</b>	<b>140</b>

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR Hist Auto: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Auto list, as provided by EDR, has revealed that there are 2 EDR Hist Auto sites within approximately 0.25 miles of the target property.

<b>Equal/Higher Elevation</b>	<b>Address</b>	<b>Direction / Distance</b>	<b>Map ID</b>	<b>Page</b>
DOUGLAS OIL COMPANY	3160 AIRWAY AVE	S 0 - 1/8 (0.056 mi.)	D9	31
BEACON BAY ENTERPRIS	3152 RED HILL AVE ST	WSW 1/8 - 1/4 (0.155 mi.)	19	48

## EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 1 records.

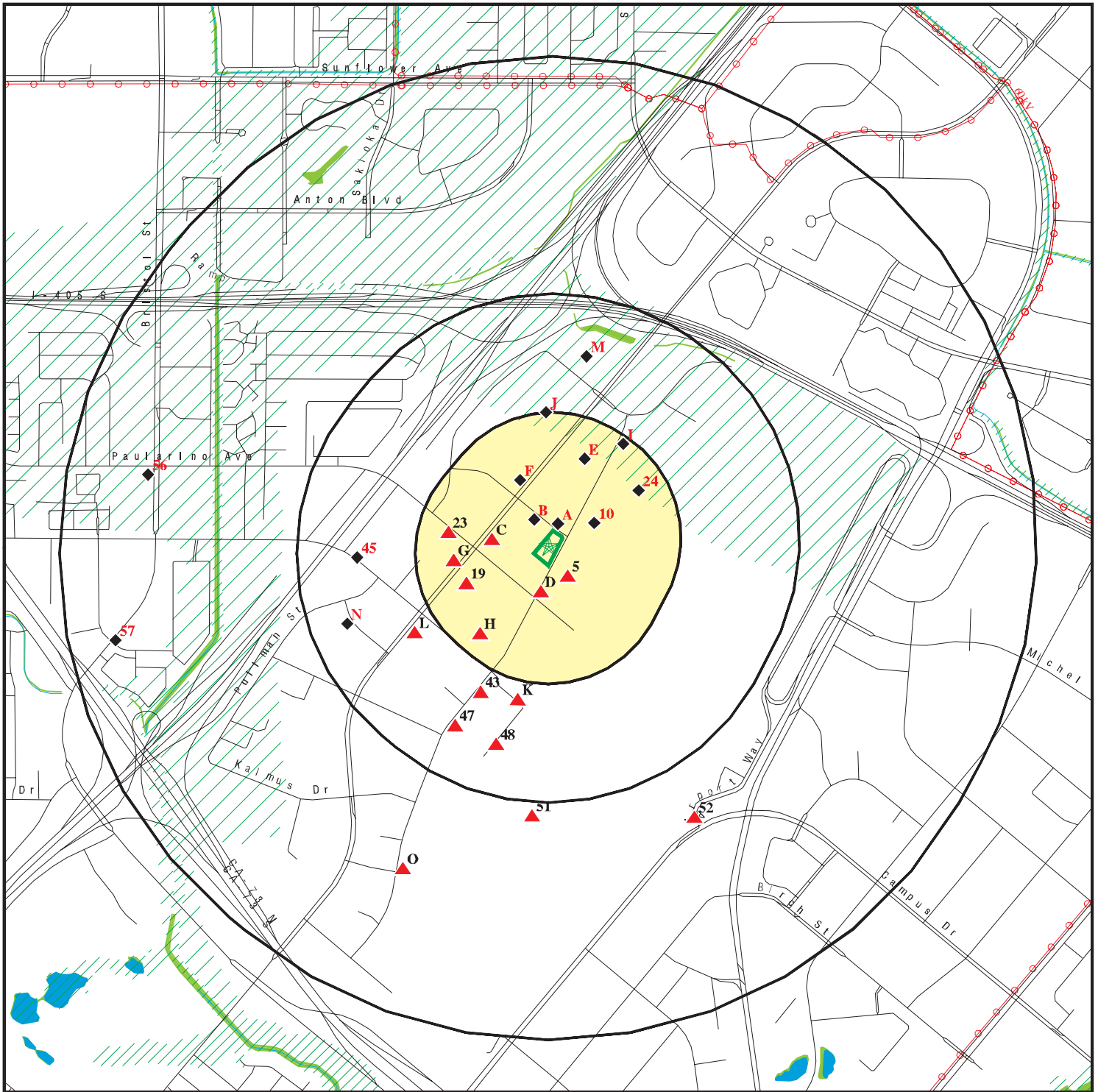
Site Name

CARSON - 91 LLC

Database(s)

ENVIROSTOR

# OVERVIEW MAP - 5427551.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

100-year flood zone

500-year flood zone

National Wetland Inventory

State Wetlands

Upgradient Area

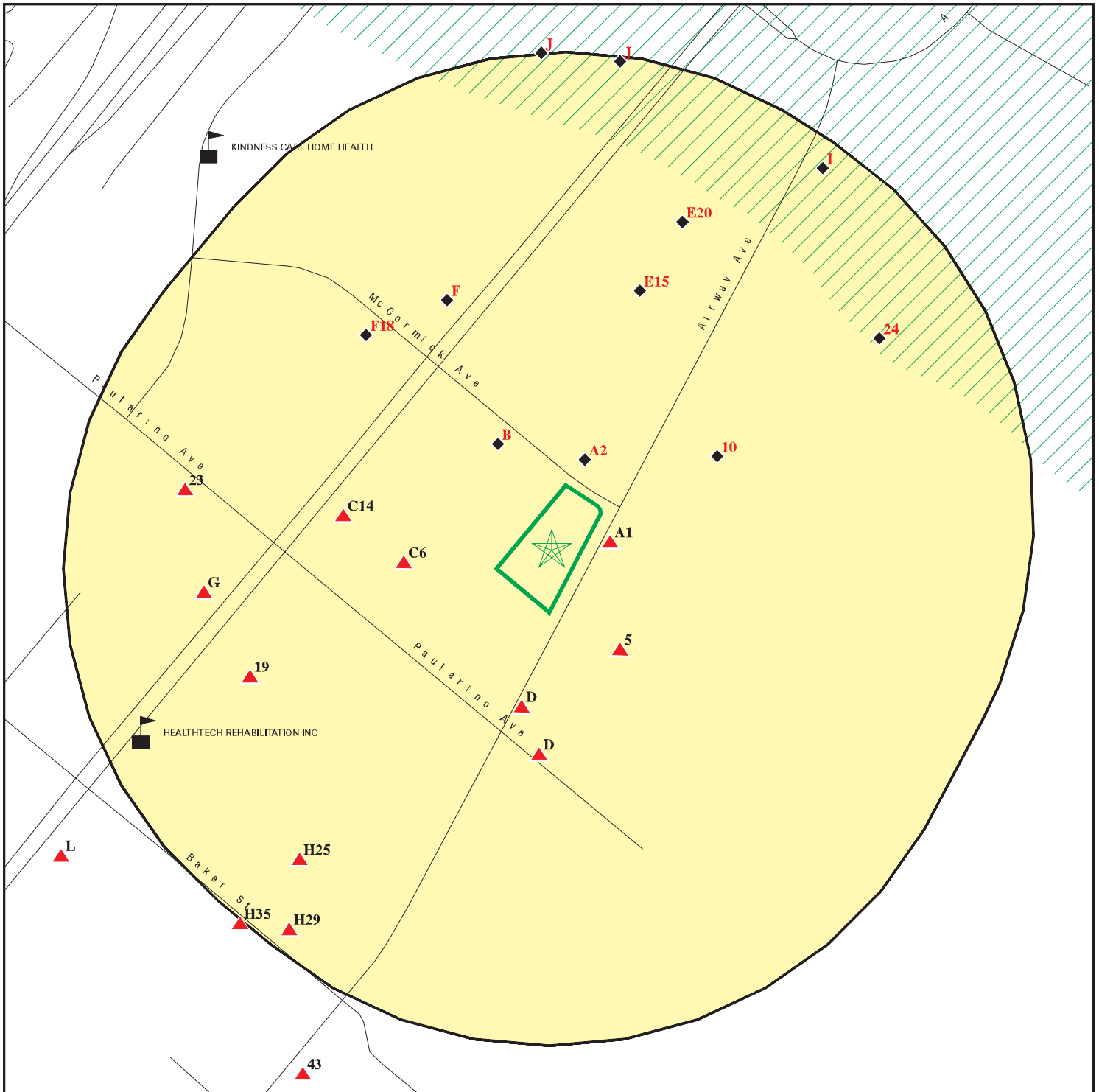
Areas of Concern








This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.





SITE NAME: 3175 Airway Avenue  
 ADDRESS: 3175 Airway Avenue  
 Costa Mesa CA 92626  
 LAT/LONG: 33.679849 / 117.871283

CLIENT: AES Due Diligence, Inc  
 CONTACT: Rick Darwicki  
 INQUIRY #: 5427551.2s  
 DATE: September 18, 2018 1:12 pm

# DETAIL MAP - 5427551.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  100-year flood zone
-  500-year flood zone
-  Areas of Concern

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 3175 Airway Avenue ADDRESS: 3175 Airway Avenue Costa Mesa CA 92626 LAT/LONG: 33.679849 / 117.871283	CLIENT: AES Due Diligence, Inc CONTACT: Rick Darwicki INQUIRY #: 5427551.2s DATE: September 18, 2018 1:14 pm
---	---

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b>STANDARD ENVIRONMENTAL RECORDS</b>								
<b><i>Federal NPL site list</i></b>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<b><i>Federal Delisted NPL site list</i></b>								
Delisted NPL	1.000		0	0	0	0	NR	0
<b><i>Federal CERCLIS list</i></b>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	1	NR	NR	1
<b><i>Federal CERCLIS NFRAP site list</i></b>								
SEMS-ARCHIVE	0.500		0	0	1	NR	NR	1
<b><i>Federal RCRA CORRACTS facilities list</i></b>								
CORRACTS	1.000		0	0	0	0	NR	0
<b><i>Federal RCRA non-CORRACTS TSD facilities list</i></b>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA generators list</i></b>								
RCRA-LQG	0.250		0	2	NR	NR	NR	2
RCRA-SQG	0.250		7	4	NR	NR	NR	11
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<b><i>Federal institutional controls / engineering controls registries</i></b>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<b><i>Federal ERNS list</i></b>								
ERNS	TP		NR	NR	NR	NR	NR	0
<b><i>State- and tribal - equivalent NPL RESPONSE</i></b>								
RESPONSE	1.000		0	0	0	0	NR	0
<b><i>State- and tribal - equivalent CERCLIS ENVIROSTOR</i></b>								
ENVIROSTOR	1.000		2	2	2	5	NR	11
<b><i>State and tribal landfill and/or solid waste disposal site lists</i></b>								
SWF/LF	0.500		0	0	0	NR	NR	0
<b><i>State and tribal leaking storage tank lists</i></b>								
LUST	0.500		1	1	6	NR	NR	8

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
INDIAN LUST	0.500		0	0	0	NR	NR	0
CPS-SLIC	0.500		0	3	7	NR	NR	10
<b>State and tribal registered storage tank lists</b>								
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250		2	3	NR	NR	NR	5
AST	0.250		1	0	NR	NR	NR	1
INDIAN UST	0.250		0	0	NR	NR	NR	0
<b>State and tribal voluntary cleanup sites</b>								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VCP	0.500		0	0	0	NR	NR	0
<b>State and tribal Brownfields sites</b>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b>ADDITIONAL ENVIRONMENTAL RECORDS</b>								
<b>Local Brownfield lists</b>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b>Local Lists of Landfill / Solid Waste Disposal Sites</b>								
WMUDS/SWAT	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
HAULERS	TP		NR	NR	NR	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
<b>Local Lists of Hazardous waste / Contaminated Sites</b>								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
HIST Cal-Sites	1.000		0	0	0	0	NR	0
SCH	0.250		0	0	NR	NR	NR	0
CDL	TP		NR	NR	NR	NR	NR	0
Toxic Pits	1.000		0	0	0	0	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
CERS HAZ WASTE	0.250		0	0	NR	NR	NR	0
<b>Local Lists of Registered Storage Tanks</b>								
SWEEPS UST	0.250		1	1	NR	NR	NR	2
HIST UST	0.250		0	2	NR	NR	NR	2
CA FID UST	0.250		1	1	NR	NR	NR	2
CERS TANKS	0.250		0	0	NR	NR	NR	0
<b>Local Land Records</b>								
LIENS	TP		NR	NR	NR	NR	NR	0
LIENS 2	TP		NR	NR	NR	NR	NR	0

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
DEED	0.500		0	0	0	NR	NR	0
<b>Records of Emergency Release Reports</b>								
HMIRS	TP		NR	NR	NR	NR	NR	0
CHMIRS	TP		NR	NR	NR	NR	NR	0
LDS	TP		NR	NR	NR	NR	NR	0
MCS	TP		NR	NR	NR	NR	NR	0
Orange Co. Industrial Site	TP		NR	NR	NR	NR	NR	0
SPILLS 90	TP		NR	NR	NR	NR	NR	0
<b>Other Ascertainable Records</b>								
RCRA NonGen / NLR	0.250		1	2	NR	NR	NR	3
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	TP		NR	NR	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
CA BOND EXP. PLAN	1.000		0	0	0	0	NR	0
Cortese	0.500		0	1	0	NR	NR	1
CUPA Listings	0.250		0	0	NR	NR	NR	0

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
EMI	TP		NR	NR	NR	NR	NR	0
ENF	TP		NR	NR	NR	NR	NR	0
Financial Assurance	TP		NR	NR	NR	NR	NR	0
HAZNET	TP		NR	NR	NR	NR	NR	0
ICE	TP		NR	NR	NR	NR	NR	0
HIST CORTESE	0.500		0	2	4	NR	NR	6
HWP	1.000		0	0	0	0	NR	0
HWT	0.250		0	0	NR	NR	NR	0
MINES	TP		NR	NR	NR	NR	NR	0
MWMP	0.250		0	0	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
PEST LIC	TP		NR	NR	NR	NR	NR	0
PROC	0.500		0	0	0	NR	NR	0
Notify 65	1.000		0	0	0	2	NR	2
UIC	TP		NR	NR	NR	NR	NR	0
WASTEWATER PITS	0.500		0	0	0	NR	NR	0
WDS	TP		NR	NR	NR	NR	NR	0
WIP	0.250		0	0	NR	NR	NR	0
WELL STIM PROJ	TP		NR	NR	NR	NR	NR	0
MILITARY PRIV SITES	TP		NR	NR	NR	NR	NR	0
NON-CASE INFO	TP		NR	NR	NR	NR	NR	0
OTHER OIL GAS	TP		NR	NR	NR	NR	NR	0
PROD WATER PONDS	TP		NR	NR	NR	NR	NR	0
CERS	TP		NR	NR	NR	NR	NR	0
SAMPLING POINT	TP		NR	NR	NR	NR	NR	0
UIC GEO	TP		NR	NR	NR	NR	NR	0
CIWQS	TP		NR	NR	NR	NR	NR	0
WDR	TP		NR	NR	NR	NR	NR	0
PROJECT	TP		NR	NR	NR	NR	NR	0

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR MGP	1.000		0	0	0	0	NR	0
EDR Hist Auto	0.250		1	1	NR	NR	NR	2
EDR Hist Cleaner	0.250		0	0	NR	NR	NR	0
- Totals --		0	17	25	21	7	0	70

#### NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

A1  
East  
< 1/8  
0.012 mi.  
63 ft.

**STILLEN**  
**3176 AIRWAY**  
**COSTA MESA, CA 92626**

**Site 1 of 2 in cluster A**

**RCRA-SQG 1004676186**  
**FINDS CAR000081984**  
**ECHO**

**Relative:**  
**Higher**

RCRA-SQG:

**Actual:**  
**47 ft.**

Date form received by agency: 09/01/2000  
Facility name: STILLEN  
Facility address: 3176 AIRWAY  
COSTA MESA, CA 92626  
EPA ID: CAR000081984  
Contact: SEAN GALLAGHER  
Contact address: 3176 AIRWAY  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-540-5566  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: STEVE MILLEN SPORTPARTS  
Owner/operator address: 3176 AIRWAY  
COSTA MESA, CA 92626  
Owner/operator country: Not reported  
Owner/operator telephone: 714-540-5566  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: D018

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**STILLEN (Continued)**

**1004676186**

. Waste name: BENZENE  
. Waste code: D039  
. Waste name: TETRACHLOROETHYLENE

Violation Status: No violations found

**FINDS:**

Registry ID: 110012184661

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

ICIS (Integrated Compliance Information System) is the Integrated Compliance Information System and provides a database that, when complete, will contain integrated Enforcement and Compliance information across most of EPA's programs. The vision for ICIS is to replace EPA's independent databases that contain Enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions. This information is maintained in ICIS by EPA in the Regional offices and it Headquarters. A future release of ICIS will replace the Permit Compliance System (PCS) which supports the NPDES and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities occurring in the Region that support Compliance and Enforcement programs. These include; Incident Tracking, Compliance Assistance, and Compliance Monitoring.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1004676186  
Registry ID: 110012184661  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110012184661>

**A2**  
**NNE**  
**< 1/8**  
**0.018 mi.**  
**97 ft.**

**BRUCE STRUSS AUTO CARE INC**  
**350 MCCORMICK AVE**  
**COSTA MESA, CA 92626**

**Site 2 of 2 in cluster A**

**RCRA-SQG 1000978131**  
**FINDS CA0000921577**  
**ECHO**

**Relative:**  
**Lower**

RCRA-SQG:  
Date form received by agency: 11/07/1994  
Facility name: BRUCE STRUSS AUTO CARE INC  
Facility address: 350 MCCORMICK AVE  
COSTA MESA, CA 92626  
EPA ID: CA0000921577  
Mailing address: MCCORMICK AVE  
COSTA MESA, CA 92626  
Contact: COURTNEY TASSI

**Actual:**  
**46 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BRUCE STRUSS AUTO CARE INC (Continued)**

**1000978131**

Contact address: 350 MCCORMICK AVE  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-549-9006  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: BRUCE STRAUSS INC  
Owner/operator address: 350 MCCORMICK AVE  
COSTA MESA, CA 92626  
Owner/operator country: Not reported  
Owner/operator telephone: 714-549-9006  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002621173

Environmental Interest/Information System

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BRUCE STRUSS AUTO CARE INC (Continued)**

**1000978131**

Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000978131  
Registry ID: 110002621173  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002621173>

**B3  
NNW  
< 1/8  
0.045 mi.  
239 ft.**

**SEMICOA  
333 MCCORMICK  
COSTA MESA, CA 92626**

**Site 1 of 2 in cluster B**

**RCRA-SQG 1000247282  
ENVIROSTOR CAD047429824  
FINDS  
ECHO  
WDS**

**Relative:  
Lower**

RCRA-SQG:

Date form received by agency: 08/01/2012  
Facility name: SEMICOA CORPORATION  
Facility address: 333 MCCORMICK AVE  
COSTA MESA, CA 92626  
EPA ID: CAD047429824  
Contact: SCOTT BEATTIE  
Contact address: 333 MCCORMICK AVE  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-852-6330  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Actual:  
46 ft.**

Owner/Operator Summary:

Owner/operator name: VANCE STREET CAPITAL  
Owner/operator address: 11150 SANTA MONICA BLVD STE 750  
LOS ANGELES, CA 90025  
Owner/operator country: US  
Owner/operator telephone: 310-231-7100  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: 08/01/2009  
Owner/Op end date: Not reported  
Owner/operator name: SEMICOA CORP  
Owner/operator address: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

SEMICOA (Continued)

1000247282

Owner/operator country: Not reported  
Owner/operator telephone: US  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: 09/01/2009  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: 181  
. Waste name: Other inorganic solid waste  
  
. Waste code: 214  
. Waste name: Unspecified solvent mixture  
  
. Waste code: 221  
. Waste name: Waste oil and mixed oil  
  
. Waste code: 331  
. Waste name: Off-specification, aged, or surplus organics  
  
. Waste code: 352  
. Waste name: Other organic solids  
  
. Waste code: 551  
. Waste name: Laboratory waste chemicals  
  
. Waste code: 791  
. Waste name: Liquids with pH < 2

. Waste code: D001  
. Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEMICOA (Continued)**

**1000247282**

. Waste code: D002  
. Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

. Waste code: F003  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Historical Generators:

Date form received by agency: 09/30/2009

Site name: SEMICOA CORPORATION

Classification: Small Quantity Generator

. Waste code: D001  
. Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

. Waste code: D002  
. Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

. Waste code: D011  
. Waste name: SILVER

. Waste code: D035  
. Waste name: METHYL ETHYL KETONE

. Waste code: F003  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEMICOA (Continued)**

**1000247282**

SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 02/24/2009

Site name: SEMICOA ACQUISITION CORP  
Classification: Small Quantity Generator

- . Waste code: D001
- . Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

- . Waste code: D002
- . Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEMICOA (Continued)**

**1000247282**

Date form received by agency: 09/04/1986  
Site name: SEMICOA  
Classification: Small Quantity Generator

Violation Status: No violations found

**ENVIROSTOR:**

Facility ID: 71002417  
Status: Inactive - Needs Evaluation  
Status Date: Not reported  
Site Code: Not reported  
Site Type: Tiered Permit  
Site Type Detailed: Tiered Permit  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: Not reported  
Division Branch: Cleanup Cypress  
Assembly: 74  
Senate: 37  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 33.68043  
Longitude: -117.8720  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD047429824  
Alias Type: EPA Identification Number  
Alias Name: 110002646904  
Alias Type: EPA (FRS #)  
Alias Name: 71002417  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEMICOA (Continued)**

**1000247282**

**FINDS:**

Registry ID: 110002646904

**Environmental Interest/Information System**

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**HAZARDOUS AIR POLLUTANT MAJOR**

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000247282  
Registry ID: 110002646904  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002646904>

**WDS:**

Facility ID: Santa Ana River 30I017777  
Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.  
Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.  
NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board  
Subregion: 8  
Facility Telephone: 7149791900  
Facility Contact: GERRI GIBB  
Agency Name: SEMICOA  
Agency Address: 333 MCCORMICK  
Agency City, St, Zip: COSTA MESA 92626  
Agency Contact: GERRI GIBB  
Agency Telephone: 7149791900  
Agency Type: Private  
SIC Code: 0  
SIC Code 2: Not reported  
Primary Waste Type: Not reported  
Primary Waste: Not reported  
Waste Type2: Not reported  
Waste2: Not reported  
Primary Waste Type: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SEMICOA (Continued)**

**1000247282**

Secondary Waste: Not reported  
 Secondary Waste Type: Not reported  
 Design Flow: 0  
 Baseline Flow: 0  
 Reclamation: Not reported  
 POTW: Not reported  
 Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.  
 Complexity: Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

**B4  
 NNW  
 < 1/8  
 0.045 mi.  
 239 ft.**

**SEMICOA  
 333 MCCORMICK AVENUE  
 COSTA MESA, CA 92626**

**ENVIROSTOR S113000729  
 HAZNET N/A**

**Site 2 of 2 in cluster B**

**Relative:  
 Lower  
 Actual:  
 46 ft.**

ENVIROSTOR:  
 Facility ID: 60002151  
 Status: Active  
 Status Date: 03/03/2015  
 Site Code: Not reported  
 Site Type: Tiered Permit  
 Site Type Detailed: Tiered Permit  
 Acres: 0.5  
 NPL: NO  
 Regulatory Agencies: HWMP  
 Lead Agency: HWMP  
 Program Manager: Not reported  
 Supervisor: Robert Senga  
 Division Branch: Cleanup Cypress  
 Assembly: 74  
 Senate: 37  
 Special Program: Not reported  
 Restricted Use: NO  
 Site Mgmt Req: NONE SPECIFIED  
 Funding: Not Applicable  
 Latitude: 33.68044  
 Longitude: -117.8720  
 APN: NONE SPECIFIED  
 Past Use: NONE SPECIFIED  
 Potential COC: NONE SPECIFIED  
 Confirmed COC: NONE SPECIFIED  
 Potential Description: NONE SPECIFIED  
 Alias Name: 60002151  
 Alias Type: Envirostor ID Number

Completed Info:  
 Completed Area Name: PROJECT WIDE  
 Completed Sub Area Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEMICOA (Continued)**

**S113000729**

Completed Document Type: Phase 1  
Completed Date: 03/02/2015  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase I Verification  
Completed Date: 06/27/2016  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**HAZNET:**

envid: S113000729  
Year: 2016  
GEPID: CAD047429824  
Contact: JOE RYBURN  
Telephone: 7148526318  
Mailing Name: Not reported  
Mailing Address: 333 MCCORMICK AVE  
Mailing City,St,Zip: COSTA MESA, CA 926263422  
Gen County: Orange  
TSD EPA ID: CAD008252405  
TSD County: Los Angeles  
Waste Category: Off-specification, aged or surplus organics  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.0495  
Cat Decode: Off-specification, aged or surplus organics  
Method Decode: Fuel Blending Prior To Energy Recovery At Another Site  
Facility County: Orange

envid: S113000729  
Year: 2016  
GEPID: CAD047429824  
Contact: JOE RYBURN  
Telephone: 7148526318  
Mailing Name: Not reported  
Mailing Address: 333 MCCORMICK AVE  
Mailing City,St,Zip: COSTA MESA, CA 926263422  
Gen County: Orange  
TSD EPA ID: ARD069748192  
TSD County: 99  
Waste Category: Off-specification, aged or surplus inorganics  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.22935  
Cat Decode: Off-specification, aged or surplus inorganics  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEMICOA (Continued)**

**S113000729**

Facility County: Orange

envid: S113000729  
Year: 2016  
GEPaid: CAD047429824  
Contact: JOE RYBURN  
Telephone: 7148526318  
Mailing Name: Not reported  
Mailing Address: 333 MCCORMICK AVE  
Mailing City,St,Zip: COSTA MESA, CA 926263422  
Gen County: Orange  
TSD EPA ID: AZR000501510  
TSD County: 99  
Waste Category: Not reported  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.06255  
Cat Decode: Not reported  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Facility County: Orange

envid: S113000729  
Year: 2016  
GEPaid: CAD047429824  
Contact: JOE RYBURN  
Telephone: 7148526318  
Mailing Name: Not reported  
Mailing Address: 333 MCCORMICK AVE  
Mailing City,St,Zip: COSTA MESA, CA 926263422  
Gen County: Orange  
TSD EPA ID: AZR000501510  
TSD County: 99  
Waste Category: Other organic solids  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.0834  
Cat Decode: Other organic solids  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Facility County: Orange

envid: S113000729  
Year: 2016  
GEPaid: CAD047429824  
Contact: JOE RYBURN  
Telephone: 7148526318  
Mailing Name: Not reported  
Mailing Address: 333 MCCORMICK AVE  
Mailing City,St,Zip: COSTA MESA, CA 926263422  
Gen County: Orange  
TSD EPA ID: CAD044429835  
TSD County: Los Angeles  
Waste Category: Laboratory waste chemicals  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.015

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEMICOA (Continued)**

**S113000729**

Cat Decode: Laboratory waste chemicals  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Facility County: Orange

[Click this hyperlink](#) while viewing on your computer to access  
620 additional CA\_HAZNET: record(s) in the EDR Site Report.

**5**  
**SE**  
**< 1/8**  
**0.046 mi.**  
**243 ft.**

**DANA CREATH DESIGNS INC**  
**3170 AIRWAY**  
**COSTA MESA, CA 92626**

**RCRA-SQG 1000142222**  
**FINDS CAD982400616**  
**ECHO**  
**EMI**  
**HAZNET**

**Relative:**  
**Higher**  
**Actual:**  
**48 ft.**

RCRA-SQG:  
Date form received by agency: 12/01/1989  
Facility name: DANA CREATH DESIGNS  
Facility address: 3170 AIRWAY  
COSTA MESA, CA 92626  
EPA ID: CAD982400616  
Contact: ENVIRONMENTAL MANAGER  
Contact address: 3170 AIRWAY  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-662-0111  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:  
Owner/operator name: DANA & JAMES CREATH  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DANA CREATH DESIGNS INC (Continued)**

**1000142222**

Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002803930

Environmental Interest/Information System

AIR EMISSIONS CLASSIFICATION UNKNOWN

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000142222  
Registry ID: 110002803930  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002803930>

EMI:

Year: 1990  
County Code: 30  
Air Basin: SC  
Facility ID: 60727

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DANA CREATH DESIGNS INC (Continued)**

1000142222

Air District Name: SC  
SIC Code: 2  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 1  
Reactive Organic Gases Tons/Yr: 1  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1993  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 2  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1995  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 2  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1996  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 3499  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DANA CREATH DESIGNS INC (Continued)**

1000142222

Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1997  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 3499  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1998  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 3499  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1999  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 3499  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DANA CREATH DESIGNS INC (Continued)**

**1000142222**

Year: 2000  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 3499  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2001  
County Code: 30  
Air Basin: SC  
Facility ID: 60727  
Air District Name: SC  
SIC Code: 3499  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 1  
Reactive Organic Gases Tons/Yr: 1  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

**HAZNET:**

envid: 1000142222  
Year: 2008  
GEPaid: CAD982400616  
Contact: DANA E CREATH-PRESIDENT  
Telephone: 7146620111  
Mailing Name: Not reported  
Mailing Address: 3170 AIRWAY AVE  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD097030993  
TSD County: Not reported  
Waste Category: Liquids with pH <= 2  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.1251  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1000142222  
Year: 2008  
GEPaid: CAD982400616

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DANA CREATH DESIGNS INC (Continued)**

**1000142222**

Contact: DANA E CREATH-PRESIDENT  
Telephone: 7146620111  
Mailing Name: Not reported  
Mailing Address: 3170 AIRWAY AVE  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.10425  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1000142222  
Year: 2006  
GEPaid: CAD982400616  
Contact: DANA E CREATH-PRESIDENT  
Telephone: 7146620111  
Mailing Name: Not reported  
Mailing Address: 3170 AIRWAY AVE  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD097030993  
TSD County: Not reported  
Waste Category: Liquids with pH <= 2  
Disposal Method: Recycler  
Tons: 0.04  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1000142222  
Year: 2006  
GEPaid: CAD982400616  
Contact: DANA E CREATH-PRESIDENT  
Telephone: 7146620111  
Mailing Name: Not reported  
Mailing Address: 3170 AIRWAY AVE  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Other organic solids  
Disposal Method: Transfer Station  
Tons: 0.2  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1000142222  
Year: 2006  
GEPaid: CAD982400616  
Contact: DANA E CREATH-PRESIDENT  
Telephone: 7146620111  
Mailing Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DANA CREATH DESIGNS INC (Continued)**

1000142222

Mailing Address: 3170 AIRWAY AVE  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L  
Disposal Method: Recycler  
Tons: 0.07  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

[Click this hyperlink](#) while viewing on your computer to access  
23 additional CA\_HAZNET: record(s) in the EDR Site Report.

C6  
West  
< 1/8  
0.054 mi.  
283 ft.

**SPECIALTY BODY WORKS**  
**330 PAULARINO AVE**  
**COSTA MESA, CA 92626**  
  
**Site 1 of 2 in cluster C**

**RCRA-SQG 1000594467**  
**FINDS CAD983582974**  
**ECHO**  
**EMI**

**Relative:**  
**Higher**

RCRA-SQG:

**Actual:**  
**48 ft.**

Date form received by agency: 05/07/1999  
Facility name: SPECIALTY BODY WORKS INC  
Facility address: 330 PAULARINO AVE  
COSTA MESA, CA 92626  
  
EPA ID: CAD983582974  
Contact: ED VAN KLAVEREN  
Contact address: 330 PAULARINO AVE  
COSTA MESA, CA 92626  
  
Contact country: US  
Contact telephone: 714-557-0780  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: ED VAN KLAVEREN  
Owner/operator address: 330 PAULARINO AVE  
COSTA MESA, CA 92626  
  
Owner/operator country: Not reported  
Owner/operator telephone: 714-557-0780  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPECIALTY BODY WORKS (Continued)**

**1000594467**

NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: D001  
. Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

. Waste code: F005  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Violation Status: No violations found

**FINDS:**

Registry ID: 110002844815

Environmental Interest/Information System  
AIR EMISSIONS CLASSIFICATION UNKNOWN

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPECIALTY BODY WORKS (Continued)**

**1000594467**

events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000594467  
Registry ID: 110002844815  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002844815>

**EMI:**

Year: 1997  
County Code: 30  
Air Basin: SC  
Facility ID: 105610  
Air District Name: SC  
SIC Code: 7532  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1998  
County Code: 30  
Air Basin: SC  
Facility ID: 105610  
Air District Name: SC  
SIC Code: 7532  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1999  
County Code: 30  
Air Basin: SC  
Facility ID: 105610  
Air District Name: SC  
SIC Code: 7532  
Air District Name: SOUTH COAST AQMD

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPECIALTY BODY WORKS (Continued)**

1000594467

Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2000  
County Code: 30  
Air Basin: SC  
Facility ID: 105610  
Air District Name: SC  
SIC Code: 7532  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2001  
County Code: 30  
Air Basin: SC  
Facility ID: 105610  
Air District Name: SC  
SIC Code: 7532  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 3  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2011  
County Code: 30  
Air Basin: SC  
Facility ID: 105610  
Air District Name: SC  
SIC Code: 7532  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0.12554578929  
Reactive Organic Gases Tons/Yr: 0.12237  
Carbon Monoxide Emissions Tons/Yr: 0.00689  
NOX - Oxides of Nitrogen Tons/Yr: 0.02559

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SPECIALTY BODY WORKS (Continued)**

**1000594467**

SOX - Oxides of Sulphur Tons/Yr: 0.00016  
 Particulate Matter Tons/Yr: 0.00147  
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0.00147

**D7**  
**South**  
**< 1/8**  
**0.056 mi.**  
**298 ft.**

**JOHN WAYNE AIRPORT**  
**3160 AIRWAY AVE**  
**COSTA MESA, CA 92626**  
**Site 1 of 6 in cluster D**

**UST U003779599**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**50 ft.**

UST:  
 Facility ID: 19159  
 Permitting Agency: ORANGE COUNTY  
 Latitude: 33.6797635  
 Longitude: -117.8696067

**D8**  
**South**  
**< 1/8**  
**0.056 mi.**  
**298 ft.**

**3160 AIRWAY AVE**  
**COSTA MESA, CA**  
**Site 2 of 6 in cluster D**

**AST A100340575**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**50 ft.**

AST:  
 Certified Unified Program Agencies: Orange  
 Owner: JOHN WAYNE AIRPORT  
 Total Gallons: 1,320  
 CERSID: Not reported  
 Facility ID: Not reported  
 Business Name: Not reported  
 Phone: Not reported  
 Fax: Not reported  
 Mailing Address: Not reported  
 Mailing Address City: Not reported  
 Mailing Address State: Not reported  
 Mailing Address Zip Code: Not reported  
 Operator Name: Not reported  
 Operator Phone: Not reported  
 Owner Phone: Not reported  
 Owner Mail Address: Not reported  
 Owner State: Not reported  
 Owner Zip Code: Not reported  
 Owner Country: Not reported  
 Property Owner Name: Not reported  
 Property Owner Phone: Not reported  
 Property Owner Mailing Address: Not reported  
 Property Owner City: Not reported  
 Property Owner Stat : Not reported  
 Property Owner Zip Code: Not reported  
 Property Owner Country: Not reported  
 EPAID: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

D9  
South  
< 1/8  
0.056 mi.  
298 ft.

**DOUGLAS OIL COMPANY OF CAL\***  
3160 AIRWAY AVE  
COSTA MESA, CA 92626

EDR Hist Auto 1020536238  
N/A

Relative:  
Higher

EDR Hist Auto

Actual:  
50 ft.

Year:	Name:	Type:
1975	DOUGLAS OIL COMPANY OF CAL*	Petroleum Refining
1976	DOUGLAS OIL COMPANY OF CAL*	Petroleum Refining
1977	DOUGLAS OIL COMPANY OF CAL*	Petroleum Refining
1978	DOUGLAS OIL COMPANY OF CAL*	Petroleum Refining
1979	DOUGLAS OIL COMPANY OF CAL*	Petroleum Refining
1980	DOUGLAS OIL COMPANY OF CAL*	Petroleum Refining
1982	DOUGLAS OIL COMPANY OF CAL*	Petroleum Refining

10  
ENE  
< 1/8  
0.074 mi.  
392 ft.

**POPE CORP**  
3184 AIRWAY AVE UNIT L  
COSTA MESA, CA 92626

RCRA-SQG 1001085650  
FINDS CAR000009738  
ECHO  
HAZNET

Relative:  
Lower

RCRA-SQG:

Actual:  
44 ft.

Date form received by agency: 02/27/1996  
Facility name: POPE CORP  
Facility address: 3184 AIRWAY AVE UNIT L  
COSTA MESA, CA 92626  
EPA ID: CAR000009738  
Mailing address: AIRWAY AVE UNIT L  
COSTA MESA, CA 92626  
Contact: KATHLEEN LOOMAN  
Contact address: 3184 AIRWAY AVE UNIT L  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-241-7673  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: POPE CORP  
Owner/operator address: 261 RIVER ST  
HAVERHILL, MA 01832  
Owner/operator country: Not reported  
Owner/operator telephone: 508-373-5678  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**POPE CORP (Continued)**

**1001085650**

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002910459

Environmental Interest/Information System

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1001085650  
Registry ID: 110002910459  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002910459>

HAZNET:

envid: 1001085650  
Year: 2002  
GEPaid: CAR000009738  
Contact: SUE WILLIAMS- SRC CTR MGR  
Telephone: 7142417673  
Mailing Name: Not reported  
Mailing Address: 3184 AIRWAY AVE STE L  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD093459485

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**POPE CORP (Continued)**

**1001085650**

TSD County: Not reported  
Waste Category: Aqueous solution with total organic residues less than 10 percent  
Disposal Method: Treatment, Tank  
Tons: 0.22  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1001085650  
Year: 2000  
GEPaid: CAR000009738  
Contact: SUE WILLIAMS- SRC CTR MGR  
Telephone: 7142417673  
Mailing Name: Not reported  
Mailing Address: 3184 AIRWAY AVE STE L  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAT000613893  
TSD County: Not reported  
Waste Category: Aqueous solution with total organic residues less than 10 percent  
Disposal Method: Transfer Station  
Tons: 0.79  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1001085650  
Year: 1999  
GEPaid: CAR000009738  
Contact: POPE CORP  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 3184 AIRWAY AVE STE L  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAT000613893  
TSD County: Not reported  
Waste Category: Aqueous solution with total organic residues less than 10 percent  
Disposal Method: Transfer Station  
Tons: .3336  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1001085650  
Year: 1997  
GEPaid: CAR000009738  
Contact: POPE CORP  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 3184 AIRWAY AVE STE L  
Mailing City,St,Zip: COSTA MESA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD093459485  
TSD County: Not reported  
Waste Category: Organic liquids with metals (Alkaline solution (pH >= 12.5) with metals)

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**POPE CORP (Continued)**

**1001085650**

Disposal Method: Transfer Station  
 Tons: .0708  
 Cat Decode: Not reported  
 Method Decode: Not reported  
 Facility County: Orange

envid: 1001085650  
 Year: 1996  
 GEPAID: CAR000009738  
 Contact: POPE CORP  
 Telephone: 0000000000  
 Mailing Name: Not reported  
 Mailing Address: 3184 AIRWAY AVE STE L  
 Mailing City,St,Zip: COSTA MESA, CA 926260000  
 Gen County: Not reported  
 TSD EPA ID: CAD044429835  
 TSD County: Not reported  
 Waste Category: Other organic solids  
 Disposal Method: Disposal, Other  
 Tons: .1500  
 Cat Decode: Not reported  
 Method Decode: Not reported  
 Facility County: Orange

[Click this hyperlink](#) while viewing on your computer to access  
 2 additional CA\_HAZNET: record(s) in the EDR Site Report.

**D11**  
**South**  
**< 1/8**  
**0.082 mi.**  
**431 ft.**

**JOHN WAYNE AIRPORT/FIRE STATION**  
**366 PAULARINO RD**  
**SANTA ANA, CA 92707**  
**Site 4 of 6 in cluster D**

**LUST S106387332**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**51 ft.**

**LUST:**

Lead Agency: SANTA ANA RWQCB (REGION 8)  
 Case Type: LUST Cleanup Site  
 Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605901723](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605901723)  
 Global Id: T0605901723  
 Latitude: 33.6771220582174  
 Longitude: -117.870104312897  
 Status: Completed - Case Closed  
 Status Date: 03/22/2010  
 Case Worker: RS  
 RB Case Number: 083002411T  
 Local Agency: Not reported  
 File Location: Not reported  
 Local Case Number: 93UT093  
 Potential Media Affect: Aquifer used for drinking water supply  
 Potential Contaminants of Concern: Gasoline  
 Site History: Not reported

**LUST:**

Global Id: T0605901723  
 Contact Type: Regional Board Caseworker  
 Contact Name: ROSE SCOTT  
 Organization Name: SANTA ANA RWQCB (REGION 8)  
 Address: 3737 MAIN STREET, SUITE 500  
 City: RIVERSIDE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT/FIRE STATION (Continued)**

**S106387332**

Email: rose.scott@waterboards.ca.gov  
Phone Number: 9513206375

LUST:

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 05/12/2008  
Action: Verbal Enforcement

Global Id: T0605901723  
Action Type: RESPONSE  
Date: 09/30/2005  
Action: Monitoring Report - Quarterly

Global Id: T0605901723  
Action Type: RESPONSE  
Date: 05/30/2004  
Action: Soil and Water Investigation Report

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 08/01/2003  
Action: Staff Letter

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 01/10/2003  
Action: Staff Letter

Global Id: T0605901723  
Action Type: RESPONSE  
Date: 05/30/2004  
Action: Soil and Water Investigation Workplan

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 03/16/2010  
Action: Closure/No Further Action Letter

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 10/07/2005  
Action: \* No Action

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 08/21/2002  
Action: \* Verbal Communication

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 05/12/2008  
Action: Site Visit / Inspection / Sampling

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 04/10/2003

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT/FIRE STATION (Continued)**

**S106387332**

Action: Staff Letter

Global Id: T0605901723  
Action Type: RESPONSE  
Date: 07/17/2003  
Action: Soil and Water Investigation Report

Global Id: T0605901723  
Action Type: Other  
Date: 01/06/1994  
Action: Leak Reported

Global Id: T0605901723  
Action Type: RESPONSE  
Date: 03/14/2003  
Action: Soil and Water Investigation Workplan

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 03/03/2010  
Action: Technical Correspondence / Assistance / Other

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 02/03/2009  
Action: File review

Global Id: T0605901723  
Action Type: ENFORCEMENT  
Date: 07/28/2009  
Action: Staff Letter

Global Id: T0605901723  
Action Type: RESPONSE  
Date: 10/30/2002  
Action: Other Workplan

Global Id: T0605901723  
Action Type: RESPONSE  
Date: 02/28/2003  
Action: Other Report / Document

**LUST:**

Global Id: T0605901723  
Status: Open - Case Begin Date  
Status Date: 01/06/1994

Global Id: T0605901723  
Status: Completed - Case Closed  
Status Date: 03/08/1994

Global Id: T0605901723  
Status: Open - Reopen Case  
Status Date: 08/20/2002

Global Id: T0605901723  
Status: Open - Site Assessment

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT/FIRE STATION (Continued)**

**S106387332**

Status Date: 08/21/2002

Global Id: T0605901723  
Status: Open - Site Assessment  
Status Date: 09/30/2002

Global Id: T0605901723  
Status: Open - Site Assessment  
Status Date: 01/02/2003

Global Id: T0605901723  
Status: Open - Site Assessment  
Status Date: 05/17/2004

Global Id: T0605901723  
Status: Open - Verification Monitoring  
Status Date: 09/30/2005

Global Id: T0605901723  
Status: Completed - Case Closed  
Status Date: 03/22/2010

**ORANGE CO. LUST:**

Region: ORANGE  
Facility Id: 93UT093  
Released Substance: Diesel fuel oil and additives, Nos.1-D, 2-D, 2-4  
Date Closed: 03/10/1994  
Record ID: RO0000854

**LUST REG 8:**

Region: 8  
County: Orange  
Regional Board: Santa Ana Region  
Facility Status: Pollution Characterization  
Case Number: 083002411T  
Local Case Num: 93UT093  
Case Type: Aquifer affected  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: Not reported  
Enf Type: SEL  
Funding: Not reported  
How Discovered: Not reported  
How Stopped: Not reported  
Leak Cause: Not reported  
Leak Source: Not reported  
Global ID: T0605901723  
How Stopped Date: Not reported  
Enter Date: 4/12/1994  
Date Confirmation of Leak Began: 8/21/2002  
Date Preliminary Assessment Began: 1/2/2003  
Discover Date: Not reported  
Enforcement Date: Not reported  
Close Date: 3/8/1994

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**JOHN WAYNE AIRPORT/FIRE STATION (Continued)**

**S106387332**

Date Prelim Assessment Workplan Submitted: 9/30/2002  
 Date Pollution Characterization Began: 5/17/2004  
 Date Remediation Plan Submitted: Not reported  
 Date Remedial Action Underway: Not reported  
 Date Post Remedial Action Monitoring: Not reported  
 Enter Date: 4/12/1994  
 GW Qualifies: <  
 Soil Qualifies: Not reported  
 Operator: Not reported  
 Facility Contact: Not reported  
 Interim: Not reported  
 Oversight Program: LUST  
 Latitude: 33.6787257  
 Longitude: -117.8725798  
 MTBE Date: 12/1/2000  
 Max MTBE GW: 100  
 MTBE Concentration: 3  
 Max MTBE Soil: Not reported  
 MTBE Fuel: 1  
 MTBE Tested: MTBE Detected. Site tested for MTBE & MTBE detected  
 MTBE Class: C  
 Staff: RS  
 Staff Initials: AR  
 Lead Agency: Regional Board  
 Local Agency: 30000L  
 Hydr Basin #: COASTAL PLAIN OF ORA  
 Beneficial: AGR, PROC, IND, MUN  
 Priority: A3  
 Cleanup Fund Id: Not reported  
 Work Suspended: Not reported  
 Summary: 3/29/00 Case Transferred to new RB staff

**D12**  
**South**  
**< 1/8**  
**0.082 mi.**  
**431 ft.**

**JOHN WAYNE AIRPORT FIRE STN 33**  
**366 PAULARINO RD**  
**COSTA MESA, CA 92627**  
**Site 5 of 6 in cluster D**

**SWEEPS UST S101589558**  
**CA FID UST N/A**

**Relative:**  
**Higher**  
**Actual:**  
**51 ft.**

SWEEPS UST:  
 Status: Active  
 Comp Number: 6881  
 Number: 9  
 Board Of Equalization: Not reported  
 Referral Date: 09-30-92  
 Action Date: 09-15-92  
 Created Date: 02-29-88  
 Owner Tank Id: Not reported  
 SWRCB Tank Id: 30-000-006881-000001  
 Tank Status: A  
 Capacity: 1000  
 Active Date: Not reported  
 Tank Use: M.V. FUEL  
 STG: P  
 Content: DIESEL  
 Number Of Tanks: 2  
  
 Status: Active  
 Comp Number: 6881

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT FIRE STN 33 (Continued)**

**S101589558**

Number: 9  
Board Of Equalization: Not reported  
Referral Date: 09-30-92  
Action Date: 09-15-92  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: 30-000-006881-000002  
Tank Status: A  
Capacity: 1000  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: P  
Content: DIESEL  
Number Of Tanks: Not reported

**CA FID UST:**

Facility ID: 30017562  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 7147512800  
Mail To: Not reported  
Mailing Address: MANAGERS OFFICE 3151 AVE  
Mailing Address 2: Not reported  
Mailing City,St,Zip: COSTA MESA 92627  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**D13**  
**South**  
**< 1/8**  
**0.082 mi.**  
**431 ft.**

**JOHN WAYNE AIRPORT FIRE STN 33**  
**366 PAULARINO AVE**  
**COSTA MESA, CA 92626**

**UST U003783903**  
**N/A**

**Site 6 of 6 in cluster D**

**Relative:**  
**Higher**  
**Actual:**  
**51 ft.**

**UST:**  
Facility ID: 6881  
Permitting Agency: ORANGE COUNTY  
Latitude: 33.67875  
Longitude: -117.91017



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

C14  
West  
< 1/8  
0.094 mi.  
494 ft.

**PACIFIC BELL**  
**3160 REDHILL AVE**  
**COSTA MESA, CA 92626**

**RCRA NonGen / NLR**  
**FINDS**  
**ECHO**

**1000250041**  
**CAD980882468**

**Site 2 of 2 in cluster C**

**Relative:**  
**Higher**

RCRA NonGen / NLR:

**Actual:**  
**47 ft.**

Date form received by agency: 09/11/1997  
Facility name: PACIFIC BELL  
Facility address: 3160 REDHILL AVE  
COSTA MESA, CA 92626  
EPA ID: CAD980882468  
Mailing address: 1854 N NEVILLE  
ORANGE, CA 92665  
Contact: ENVIRONMENTAL MANAGER  
Contact address: 3160 REDHILL AVE  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-974-6680  
Contact email: Not reported  
EPA Region: 09  
Classification: Non-Generator  
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Historical Generators:

Date form received by agency: 09/01/1996  
Site name: PACIFIC BELL

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PACIFIC BELL (Continued)**

**1000250041**

Classification: Small Quantity Generator

Date form received by agency: 04/16/1984

Site name: PACIFIC BELL

Classification: Large Quantity Generator

Violation Status: No violations found

**FINDS:**

Registry ID: 110002673385

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000250041

Registry ID: 110002673385

DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002673385>

**E15**  
**NNE**  
**< 1/8**  
**0.120 mi.**  
**634 ft.**

**RESPIRATORY SUPPORT PRODUCTS**

**3183-D AIRWAY AVE**  
**COSTA MESA, CA 92626**

**Site 1 of 2 in cluster E**

**RCRA-SQG**

**1000347769**  
**CAD084157270**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 09/01/1996

**Actual:**  
**42 ft.**

Facility name: RESPIRATORY SUPPORT PRODUCTS

Facility address: 3183-D AIRWAY AVE  
COSTA MESA, CA 92626

EPA ID: CAD084157270

Mailing address: AIRWAY AVE  
COSTA MESA, CA 92626

Contact: Not reported

Contact address: Not reported

Contact telephone: Not reported

Contact country: US

Contact telephone: Not reported

Contact email: Not reported

EPA Region: 09

Classification: Small Small Quantity Generator

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**RESPIRATORY SUPPORT PRODUCTS (Continued)**

**1000347769**

Owner/Operator Summary:

Owner/operator name: TRONOMED ASSOC  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

**F16**  
**NNW**  
**1/8-1/4**  
**0.127 mi.**  
**670 ft.**

**PRIME TECHNOLOGY**  
**3183 REDHILL AVENUE**  
**COSTA MESA, CA 92626**  
**Site 1 of 3 in cluster F**

**RCRA-LQG 1000202567**  
**WDS CAD981573108**

**Relative:**  
**Lower**  
**Actual:**  
**44 ft.**

RCRA-LQG:  
Date form received by agency: 02/28/2006  
Facility name: PRIME TECHNOLOGY  
Facility address: 3183 REDHILL AVENUE  
COSTA MESA, CA 92626  
EPA ID: CAD981573108

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PRIME TECHNOLOGY (Continued)**

**1000202567**

Contact: CARL LACER  
Contact address: Not reported  
Not reported  
Contact country: US  
Contact telephone: 714-513-2266  
Contact email: Not reported  
EPA Region: 09  
Land type: Private  
Classification: Large Quantity Generator  
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

**Owner/Operator Summary:**

Owner/operator name: CARL LACER  
Owner/operator address: Not reported  
Not reported  
Owner/operator country: US  
Owner/operator telephone: Not reported  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: 08/01/1999  
Owner/Op end date: Not reported

Owner/operator name: PRIME TECHNOLOGY  
Owner/operator address: 3183 REDHILL AVENUE  
COSTA MESA, CA 92626

Owner/operator country: US  
Owner/operator telephone: Not reported  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: 08/01/1999  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PRIME TECHNOLOGY (Continued)**

**1000202567**

On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: D002  
. Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

. Waste code: F006  
. Waste name: WASTEWATER TREATMENT SLUDGES FROM ELECTROPLATING OPERATIONS EXCEPT FROM THE FOLLOWING PROCESSES: (1) SULFURIC ACID ANODIZING OF ALUMINUM; (2) TIN PLATING ON CARBON STEEL; (3) ZINC PLATING (SEGREGATED BASIS) ON CARBON STEEL; (4) ALUMINUM OR ZINC-ALUMINUM PLATING ON CARBON STEEL; (5) CLEANING/STRIPPING ASSOCIATED WITH TIN, ZINC AND ALUMINUM PLATING ON CARBON STEEL; AND (6) CHEMICAL ETCHING AND MILLING OF ALUMINUM.

Historical Generators:

Date form received by agency: 02/27/2004  
Site name: PRIME TECHNOLOGIES, INC  
Classification: Large Quantity Generator

. Waste code: D002  
. Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

. Waste code: F006  
. Waste name: WASTEWATER TREATMENT SLUDGES FROM ELECTROPLATING OPERATIONS EXCEPT FROM THE FOLLOWING PROCESSES: (1) SULFURIC ACID ANODIZING OF ALUMINUM; (2) TIN PLATING ON CARBON STEEL; (3) ZINC PLATING (SEGREGATED BASIS) ON CARBON STEEL; (4) ALUMINUM OR ZINC-ALUMINUM PLATING ON CARBON STEEL; (5) CLEANING/STRIPPING ASSOCIATED WITH TIN, ZINC AND ALUMINUM PLATING ON CARBON STEEL; AND (6) CHEMICAL ETCHING AND MILLING OF ALUMINUM.

Date form received by agency: 02/26/2002  
Site name: PRIME TECHNOLOGY  
Classification: Large Quantity Generator

. Waste code: D002  
. Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PRIME TECHNOLOGY (Continued)**

**1000202567**

CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

- . Waste code: F006
- . Waste name: WASTEWATER TREATMENT SLUDGES FROM ELECTROPLATING OPERATIONS EXCEPT FROM THE FOLLOWING PROCESSES: (1) SULFURIC ACID ANODIZING OF ALUMINUM; (2) TIN PLATING ON CARBON STEEL; (3) ZINC PLATING (SEGREGATED BASIS) ON CARBON STEEL; (4) ALUMINUM OR ZINC-ALUMINUM PLATING ON CARBON STEEL; (5) CLEANING/STRIPPING ASSOCIATED WITH TIN, ZINC AND ALUMINUM PLATING ON CARBON STEEL; AND (6) CHEMICAL ETCHING AND MILLING OF ALUMINUM.

Date form received by agency: 10/12/2000  
Site name: PRIME TECHNOLOGIES, INC.  
Classification: Large Quantity Generator

Date form received by agency: 03/04/1999  
Site name: MATRIX CIRCUITS, INC.  
Classification: Large Quantity Generator

Date form received by agency: 12/29/1998  
Site name: PRIME TECHNOLOGIES INC  
Classification: Large Quantity Generator

- . Waste code: D002
- . Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

- . Waste code: F006
- . Waste name: WASTEWATER TREATMENT SLUDGES FROM ELECTROPLATING OPERATIONS EXCEPT FROM THE FOLLOWING PROCESSES: (1) SULFURIC ACID ANODIZING OF ALUMINUM; (2) TIN PLATING ON CARBON STEEL; (3) ZINC PLATING (SEGREGATED BASIS) ON CARBON STEEL; (4) ALUMINUM OR ZINC-ALUMINUM PLATING ON CARBON STEEL; (5) CLEANING/STRIPPING ASSOCIATED WITH TIN, ZINC AND ALUMINUM PLATING ON CARBON STEEL; AND (6) CHEMICAL ETCHING AND MILLING OF ALUMINUM.

Date form received by agency: 09/01/1996  
Site name: PRIME TECHNOLOGIES INC  
Classification: Small Quantity Generator

Violation Status: No violations found

Evaluation Action Summary:

Evaluation date: 02/14/2008  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PRIME TECHNOLOGY (Continued)**

**1000202567**

Evaluation lead agency: State  
  
Evaluation date: 06/14/2006  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: Local

Evaluation date: 06/14/2005  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State Contractor/Grantee

Evaluation date: 06/25/2004  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State Contractor/Grantee

**WDS:**

Facility ID: Santa Ana River 30I016449  
Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.  
Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.  
NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board  
Subregion: 8  
Facility Telephone: 7145132266  
Facility Contact: CARL LACER  
Agency Name: PRIME TECHNOLOGIES INC  
Agency Address: 3183 RED HILL AVE  
Agency City,St,Zip: COSTA MESA 92626  
Agency Contact: CARL LACER  
Agency Telephone: 7145132266  
Agency Type: Private  
SIC Code: 0  
SIC Code 2: Not reported  
Primary Waste Type: Not reported  
Primary Waste: Not reported  
Waste Type2: Not reported  
Waste2: Not reported  
Primary Waste Type: Not reported  
Secondary Waste: Not reported  
Secondary Waste Type: Not reported  
Design Flow: 0  
Baseline Flow: 0  
Reclamation: Not reported  
POTW: Not reported  
Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**PRIME TECHNOLOGY (Continued)**

**1000202567**

Complexity: Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.  
 Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

**F17  
 NNW  
 1/8-1/4  
 0.127 mi.  
 670 ft.**

**PRIME TECHNOLOGIES, INC.  
 3183 REDHILL AVENUE  
 COSTA MESA, CA 92626**  
**Site 2 of 3 in cluster F**

**ENVIROSTOR S110494201  
 N/A**

**Relative:  
 Lower  
 Actual:  
 44 ft.**

**ENVIROSTOR:**  
 Facility ID: 71002874  
 Status: Inactive - Needs Evaluation  
 Status Date: Not reported  
 Site Code: Not reported  
 Site Type: Tiered Permit  
 Site Type Detailed: Tiered Permit  
 Acres: Not reported  
 NPL: NO  
 Regulatory Agencies: NONE SPECIFIED  
 Lead Agency: NONE SPECIFIED  
 Program Manager: Not reported  
 Supervisor: Not reported  
 Division Branch: Cleanup Cypress  
 Assembly: 74  
 Senate: 37  
 Special Program: Not reported  
 Restricted Use: NO  
 Site Mgmt Req: NONE SPECIFIED  
 Funding: Not reported  
 Latitude: 33.64113  
 Longitude: -117.9186  
 APN: NONE SPECIFIED  
 Past Use: NONE SPECIFIED  
 Potential COC: NONE SPECIFIED  
 Confirmed COC: NONE SPECIFIED  
 Potential Description: NONE SPECIFIED  
 Alias Name: CAD981573108  
 Alias Type: EPA Identification Number  
 Alias Name: 110009537518  
 Alias Type: EPA (FRS #)  
 Alias Name: 71002874  
 Alias Type: Envirostor ID Number

**Completed Info:**  
 Completed Area Name: Not reported  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Not reported  
 Completed Date: Not reported  
 Comments: Not reported

Future Area Name: Not reported  
 Future Sub Area Name: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PRIME TECHNOLOGIES, INC. (Continued)**

**S110494201**

Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**F18  
NW  
1/8-1/4  
0.144 mi.  
761 ft.**

**O'NEIL MOVING SYSTEMS INC  
275 MCCORMICK AVE  
COSTA MESA, CA 92626**

**UST U003970763  
N/A**

**Site 3 of 3 in cluster F**

**Relative:  
Lower  
Actual:  
45 ft.**

UST:  
Facility ID: 14955  
Permitting Agency: ORANGE COUNTY  
Latitude: 33.682602  
Longitude: -117.872174

**19  
WSW  
1/8-1/4  
0.155 mi.  
819 ft.**

**BEACON BAY ENTERPRISES INC  
3152 RED HILL AVE STE 230  
COSTA MESA, CA 92626**

**EDR Hist Auto 1021189108  
N/A**

**Relative:  
Higher**

EDR Hist Auto

**Actual:  
48 ft.**

Year:	Name:	Type:
1998	BEACON BAY ENTERPRISES INC	Gasoline Service Stations, NEC
1999	BEACON BAY ENTERPRISES INC	Gasoline Service Stations, NEC
2000	BEACON BAY ENTERPRISES INC	Gasoline Service Stations, NEC
2001	BEACON BAY ENTERPRISES INC	Gasoline Service Stations, NEC
2002	BEACON BAY ENTERPRISES INC	Gasoline Service Stations, NEC

**E20  
NNE  
1/8-1/4  
0.166 mi.  
877 ft.**

**CLASSIC TYPE AND PREPRESS  
3185 AIRWAY AVE UNIT G  
COSTA MESA, CA 92626**

**RCRA-SQG 1000202565  
FINDS CAD028446904  
ECHO**

**Site 2 of 2 in cluster E**

**Relative:  
Lower  
Actual:  
39 ft.**

RCRA-SQG:  
Date form received by agency: 05/03/1993  
Facility name: CLASSIC TYPE AND PREPRESS  
Facility address: 3185 AIRWAY AVE UNIT G  
COSTA MESA, CA 92626  
EPA ID: CAD028446904  
Mailing address: 3191 AIRWAY AVE UNIT G  
COSTA MESA, CA 92626  
Contact: GEORGE SOKOL  
Contact address: 3185 AIRWAY AVE UNIT G  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-432-7212  
Contact email: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CLASSIC TYPE AND PREPRESS (Continued)**

**1000202565**

EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: ASSOC OF GRAPHIC COMMUNICATION INC  
Owner/operator address: 3185 AIRWAY AVE UNIT G  
COSTA MESA, CA 92626  
Owner/operator country: Not reported  
Owner/operator telephone: 714-432-7212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

**FINDS:**

Registry ID: 110002640492

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**CLASSIC TYPE AND PREPRESS (Continued)**

**1000202565**

Environmental Interest/Information System

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000202565  
 Registry ID: 110002640492  
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002640492>

**G21**  
**West**  
**1/8-1/4**  
**0.169 mi.**  
**894 ft.**

**CERADYNE, INC.**  
**3169 REDHILL AVENUE**  
**COSTA MESA, CA 92626**

**ENVIROSTOR** **1005775296**  
**WDS** **N/A**

**Site 1 of 2 in cluster G**

**Relative:**  
**Higher**  
**Actual:**  
**47 ft.**

ENVIROSTOR:  
 Facility ID: 71002835  
 Status: Inactive - Needs Evaluation  
 Status Date: Not reported  
 Site Code: Not reported  
 Site Type: Tiered Permit  
 Site Type Detailed: Tiered Permit  
 Acres: Not reported  
 NPL: NO  
 Regulatory Agencies: NONE SPECIFIED  
 Lead Agency: NONE SPECIFIED  
 Program Manager: Not reported  
 Supervisor: Not reported  
 Division Branch: Cleanup Cypress  
 Assembly: 74  
 Senate: 37  
 Special Program: Not reported  
 Restricted Use: NO  
 Site Mgmt Req: NONE SPECIFIED  
 Funding: Not reported  
 Latitude: 33.64113  
 Longitude: -117.9186  
 APN: NONE SPECIFIED  
 Past Use: NONE SPECIFIED  
 Potential COC: NONE SPECIFIED  
 Confirmed COC: NONE SPECIFIED  
 Potential Description: NONE SPECIFIED  
 Alias Name: CAD981424229  
 Alias Type: EPA Identification Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE, INC. (Continued)**

**1005775296**

Alias Name: 71002835  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

WDS:

Facility ID: Santa Ana River 30I012045  
Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.  
Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.  
NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board  
Subregion: 8  
Facility Telephone: 7145490421  
Facility Contact: FERNANDO HERNANDEZ  
Agency Name: CERADYNE INC  
Agency Address: 3169 REDHILL AVE  
Agency City,St,Zip: COSTA MESA 92626  
Agency Contact: FERNANDO HERNANDEZ  
Agency Telephone: 7145490421  
Agency Type: Private  
SIC Code: 0  
SIC Code 2: Not reported  
Primary Waste Type: Not reported  
Primary Waste: Not reported  
Waste Type2: Not reported  
Waste2: Not reported  
Primary Waste Type: Not reported  
Secondary Waste: Not reported  
Secondary Waste Type: Not reported  
Design Flow: 0  
Baseline Flow: 0  
Reclamation: Not reported  
POTW: Not reported  
Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE, INC. (Continued)**

**1005775296**

Complexity: considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.  
Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

**G22  
West  
1/8-1/4  
0.169 mi.  
894 ft.**

**CERADYNE INC  
3169 REDHILL AVENUE  
COSTA MESA, CA 92626  
Site 2 of 2 in cluster G**

**RCRA-SQG 1000145800  
FINDS CAD981424229  
ECHO  
EMI**

**Relative:  
Higher  
Actual:  
47 ft.**

RCRA-SQG:  
Date form received by agency: 09/06/2017  
Facility name: CERADYNE, INC., 3M COMPANY  
Facility address: 3169 RED HILL AVE  
COSTA MESA, CA 92626  
EPA ID: CAD981424229  
Mailing address: BARRANCA PKWY  
IRVINE, CA 92606  
Contact: ULLANDA DAVIS  
Contact address: BARRANCA PKWY  
IRVINE, CA 92606  
Contact country: US  
Contact telephone: 949-862-9644  
Contact email: UDAVIS@MMM.COM  
EPA Region: 09  
Land type: Private  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:  
Owner/operator name: CERADYNE, INC 3M COMPANY  
Owner/operator address: Not reported  
Not reported  
Owner/operator country: Not reported  
Owner/operator telephone: Not reported  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: 07/01/1987  
Owner/Op end date: Not reported  
  
Owner/operator name: 3M COMPANY  
Owner/operator address: CENTER GENERAL OFFICES  
SAINT PAUL, MN 55144  
Owner/operator country: US

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

Owner/operator telephone: Not reported  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: 11/29/2012  
Owner/Op end date: Not reported

Owner/operator name: CERADYNE, INC., 3M COMPANY  
Owner/operator address: Not reported  
Not reported  
Owner/operator country: Not reported  
Owner/operator telephone: Not reported  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: 01/01/1983  
Owner/Op end date: Not reported

Owner/operator name: TRICO REALTY  
Owner/operator address: REDHILL AVE  
COSTA MESA, CA 92626  
Owner/operator country: US  
Owner/operator telephone: 714-549-0421  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: 12/01/1984  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: 132  
. Waste name: Aqueous solution w/metals (< restricted levels and see waste code 121 for a list of metals)  
. Waste code: 134

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

- . Waste name: Aqueous solution with <10% total organic residues
- . Waste code: 181
- . Waste name: Other inorganic solid waste
- . Waste code: 214
- . Waste name: Unspecified solvent mixture
- . Waste code: 221
- . Waste name: Waste oil and mixed oil
- . Waste code: 331
- . Waste name: Off-specification, aged, or surplus organics
- . Waste code: 352
- . Waste name: Other organic solids
- . Waste code: 491
- . Waste name: Unspecified sludge waste
- . Waste code: D001
- . Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.
- . Waste code: D008
- . Waste name: LEAD
- . Waste code: D009
- . Waste name: MERCURY
- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

Historical Generators:

Date form received by agency: 06/07/2016

Site name: CERADYNE INC 3M COMPANY

Classification: Large Quantity Generator

. Waste code: 181

. Waste name: Other inorganic solid waste

. Waste code: 214

. Waste name: Unspecified solvent mixture

. Waste code: 221

. Waste name: Waste oil and mixed oil

. Waste code: 331

. Waste name: Off-specification, aged, or surplus organics

. Waste code: 352

. Waste name: Other organic solids

. Waste code: 491

. Waste name: Unspecified sludge waste

. Waste code: D001

. Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

. Waste code: D008

. Waste name: LEAD

. Waste code: D009

. Waste name: MERCURY

. Waste code: F003

. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F005

. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 03/01/2014

Site name: CERADYNE, INC A 3M COMPANY

Classification: Large Quantity Generator

. Waste code: D001  
. Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

. Waste code: D008  
. Waste name: LEAD

. Waste code: D009  
. Waste name: MERCURY

. Waste code: F003  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F005  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 02/21/2013

Site name: CERADYNE, INC

Classification: Large Quantity Generator

. Waste code: 122  
. Waste name: Alkaline solution without metals (pH > 12.5)

. Waste code: 134  
. Waste name: Aqueous solution with <10% total organic residues

. Waste code: 141  
. Waste name: Off-specification, aged, or surplus inorganics

. Waste code: 181  
. Waste name: Other inorganic solid waste

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

- . Waste code: 214
- . Waste name: Unspecified solvent mixture
  
- . Waste code: 221
- . Waste name: Waste oil and mixed oil
  
- . Waste code: 352
- . Waste name: Other organic solids
  
- . Waste code: 491
- . Waste name: Unspecified sludge waste
  
- . Waste code: 551
- . Waste name: Laboratory waste chemicals
  
- . Waste code: D001
- . Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSLEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.
  
- . Waste code: D003
- . Waste name: A MATERIAL IS CONSIDERED TO BE A REACTIVE HAZARDOUS WASTE IF IT IS NORMALLY UNSTABLE, REACTS VIOLENTLY WITH WATER, GENERATES TOXIC GASES WHEN EXPOSED TO WATER OR CORROSIVE MATERIALS, OR IF IT IS CAPABLE OF DETONATION OR EXPLOSION WHEN EXPOSED TO HEAT OR A FLAME. ONE EXAMPLE OF SUCH WASTE WOULD BE WASTE GUNPOWDER.
  
- . Waste code: D008
- . Waste name: LEAD
  
- . Waste code: D009
- . Waste name: MERCURY
  
- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
  
- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

Date form received by agency: 01/07/2013

Site name: CERADYNE INC

Classification: Large Quantity Generator

. Waste code: 134

. Waste name: Aqueous solution with <10% total organic residues

. Waste code: 135

. Waste name: Unspecified aqueous solution

. Waste code: 151

. Waste name: Asbestos-containing waste

. Waste code: 181

. Waste name: Other inorganic solid waste

. Waste code: 214

. Waste name: Unspecified solvent mixture

. Waste code: 221

. Waste name: Waste oil and mixed oil

. Waste code: 261

. Waste name: Polychlorinated biphenyls and material containing PCB's

. Waste code: 331

. Waste name: Off-specification, aged, or surplus organics

. Waste code: 352

. Waste name: Other organic solids

. Waste code: 491

. Waste name: Unspecified sludge waste

. Waste code: 513

. Waste name: Empty containers less than 30 gallons

. Waste code: 551

. Waste name: Laboratory waste chemicals

. Waste code: D001

. Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

. Waste code: D003

. Waste name: A MATERIAL IS CONSIDERED TO BE A REACTIVE HAZARDOUS WASTE IF IT IS NORMALLY UNSTABLE, REACTS VIOLENTLY WITH WATER, GENERATES TOXIC GASES WHEN EXPOSED TO WATER OR CORROSIVE MATERIALS, OR IF IT IS CAPABLE OF DETONATION OR EXPLOSION WHEN EXPOSED TO HEAT OR A FLAME. ONE EXAMPLE OF SUCH WASTE WOULD BY WASTE GUNPOWDER.

. Waste code: D008

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

- . Waste name: LEAD
  - . Waste code: D009
  - . Waste name: MERCURY
  - . Waste code: F003
  - . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
  - . Waste code: F005
  - . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
- Date form received by agency: 08/30/2010  
Site name: CERADYNE, INC  
Classification: Large Quantity Generator
- . Waste code: D001
  - . Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.
  - . Waste code: D008
  - . Waste name: LEAD
  - . Waste code: D009
  - . Waste name: MERCURY
  - . Waste code: F003
  - . Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

. Waste code: F005  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 09/01/1996  
Site name: CERADYNE INC  
Classification: Large Quantity Generator

Date form received by agency: 09/01/1996  
Site name: CERADYNE INC  
Classification: Small Quantity Generator

Date form received by agency: 05/15/1990  
Site name: CERADYNE INC  
Classification: Large Quantity Generator

Date form received by agency: 07/02/1986  
Site name: CERADYNE INC  
Classification: Large Quantity Generator

Date form received by agency: 07/02/1986  
Site name: CERADYNE INC  
Classification: Large Quantity Generator

Biennial Reports:

Last Biennial Reporting Year: 2017

Annual Waste Handled:

Waste code: D001  
Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

Amount (Lbs): 56618

Waste code: D009  
Waste name: MERCURY  
Amount (Lbs): 34

Waste code: F003  
Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

MIXTURES.  
Amount (Lbs): 56343  
Waste code: F005  
Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.  
Amount (Lbs): 55232

Facility Has Received Notices of Violations:

Regulation violated: FR - 262.10-12.A  
Area of violation: Generators - General  
Date violation determined: 12/18/1990  
Date achieved compliance: 08/30/1994  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 03/14/2013  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 06/28/2012  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 05/10/2011  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 05/04/2010  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 07/24/2009  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 04/21/2009  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 11/07/2005  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State Contractor/Grantee

Evaluation date: 08/30/1994  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State Contractor/Grantee

Evaluation date: 12/18/1990  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Generators - General  
Date achieved compliance: 08/30/1994  
Evaluation lead agency: State Contractor/Grantee

**FINDS:**

Registry ID: 110002701176

**Environmental Interest/Information System**

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZARDOUS AIR POLLUTANT MAJOR

HAZARDOUS WASTE BIENNIAL REPORTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

**ECHO:**

Envid: 1000145800  
Registry ID: 110002701176  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002701176>

**EMI:**

Year: 1990  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 19  
Reactive Organic Gases Tons/Yr: 11  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1993  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 6  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1995  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 6  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

Year: 1997  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1998  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1999  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2000  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2001  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3269  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2009  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3624  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4.6003948184886001  
Reactive Organic Gases Tons/Yr: 3.0356049999999999  
Carbon Monoxide Emissions Tons/Yr: 0.3592799999999999  
NOX - Oxides of Nitrogen Tons/Yr: 1.3500000000000001  
SOX - Oxides of Sulphur Tons/Yr: 6.7790000000000003E-3  
Particulate Matter Tons/Yr: 7.5338000000000002E-2  
Part. Matter 10 Micrometers and Smlr Tons/Yr:7.5197600000000003E-2

Year: 2010  
County Code: 30  
Air Basin: SC  
Facility ID: 56112  
Air District Name: SC  
SIC Code: 3624  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0.124468651235647  
Reactive Organic Gases Tons/Yr: 3.0300000000000001E-2  
Carbon Monoxide Emissions Tons/Yr: 0.10971

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**CERADYNE INC (Continued)**

**1000145800**

NOX - Oxides of Nitrogen Tons/Yr: 0.40794000000000002  
 SOX - Oxides of Sulphur Tons/Yr: 0.0019  
 Particulate Matter Tons/Yr: 2.3560000000000001E-2  
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0.02355616

Year: 2011  
 County Code: 30  
 Air Basin: SC  
 Facility ID: 56112  
 Air District Name: SC  
 SIC Code: 3624  
 Air District Name: SOUTH COAST AQMD  
 Community Health Air Pollution Info System: Not reported  
 Consolidated Emission Reporting Rule: Not reported  
 Total Organic Hydrocarbon Gases Tons/Yr: 0.00021513087128  
 Reactive Organic Gases Tons/Yr: 0.00018  
 Carbon Monoxide Emissions Tons/Yr: 0.00051  
 NOX - Oxides of Nitrogen Tons/Yr: 0.00234  
 SOX - Oxides of Sulphur Tons/Yr: 3e-005  
 Particulate Matter Tons/Yr: 0.00016  
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0.00015616

**23**  
**West**  
**1/8-1/4**  
**0.185 mi.**  
**979 ft.**

**TRICO**  
**235 PAULARINO AVE**  
**COSTA MESA, CA 92626**

**UST U003778704**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**47 ft.**

UST:  
 Facility ID: 10457  
 Permitting Agency: ORANGE COUNTY  
 Latitude: 33.68049  
 Longitude: -117.87494

**24**  
**ENE**  
**1/8-1/4**  
**0.189 mi.**  
**997 ft.**

**GERMAN AUTO WORKS**  
**3186 G AIRWAY**  
**COSTA MESA, CA 92626**

**RCRA-SQG 1000595748**  
**FINDS CAD983597022**  
**ECHO**

**Relative:**  
**Lower**  
**Actual:**  
**38 ft.**

RCRA-SQG:  
 Date form received by agency:07/26/1991  
 Facility name: GERMAN AUTO WORKS  
 Facility address: 3186 G AIRWAY  
 COSTA MESA, CA 92626  
 EPA ID: CAD983597022  
 Mailing address: 3186 G AIRWAY AVE  
 COSTA MESA, CA 92626  
 Contact: MIKE JORDAN  
 Contact address: 3186 G AIRWAY  
 COSTA MESA, CA 92626  
 Contact country: US  
 Contact telephone: 714-540-3044  
 Contact email: Not reported  
 EPA Region: 09  
 Classification: Small Small Quantity Generator

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GERMAN AUTO WORKS (Continued)**

**1000595748**

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: MIKE JORDAN  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002854545

Environmental Interest/Information System

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GERMAN AUTO WORKS (Continued)**

**1000595748**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000595748  
Registry ID: 110002854545  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002854545>

**H25**  
**SW**  
**1/8-1/4**  
**0.201 mi.**  
**1063 ft.**  
  
**Relative:**  
**Higher**  
  
**Actual:**  
**50 ft.**

**JOHN WAYNE AIRPORT WEST AIRFIE**  
**3151 AIRWAY AVE**  
**COSTA MESA, CA 92627**  
  
**Site 1 of 3 in cluster H**

**CPS-SLIC** **S101631297**  
**SWEEPS UST** **N/A**  
**CA FID UST**  
**Orange Co. Industrial Site**  
**Cortese**  
**ENF**  
**HAZNET**  
**WDS**  
**CIWQS**

**CPS-SLIC:**

Region: STATE  
**Facility Status:** **Open - Site Assessment**  
Status Date: 02/03/2009  
Global Id: SL208013856  
Lead Agency: SANTA ANA RWQCB (REGION 8)  
Lead Agency Case Number: Not reported  
Latitude: 33.6664788951059  
Longitude: -117.872722148895  
Case Type: Cleanup Program Site  
Case Worker: RS  
Local Agency: Not reported  
RB Case Number: SL208013856  
File Location: Regional Board Warehouse  
Potential Media Affected: Other Groundwater (uses other than drinking water), Soil  
Potential Contaminants of Concern: Trichloroethylene (TCE), Aviation, Diesel, MTBE / TBA / Other Fuel Oxygenates, Gasoline, Waste Oil / Motor / Hydraulic / Lubricating  
Site History: Large petrochemical storage for fueling airplanes and vehicles at the facility. Several releases and discharges.

Click here to access the California GeoTracker records for this facility:

**SWEEPS UST:**

Status: Active  
Comp Number: 9158  
Number: 9  
Board Of Equalization: Not reported  
Referral Date: 09-30-92  
Action Date: 09-15-92  
Created Date: 02-29-88  
Owner Tank Id: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT WEST AIRFIE (Continued)**

**S101631297**

SWRCB Tank Id: 30-000-009158-000001  
Tank Status: A  
Capacity: 1000  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: P  
Content: DIESEL  
Number Of Tanks: 2

Status: Active  
Comp Number: 9158  
Number: 9  
Board Of Equalization: Not reported  
Referral Date: 09-30-92  
Action Date: 09-15-92  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: 30-000-009158-000002  
Tank Status: A  
Capacity: 1000  
Active Date: Not reported  
Tank Use: PETROLEUM  
STG: P  
Content: Not reported  
Number Of Tanks: 2

**CA FID UST:**

Facility ID: 30017621  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 3151 AIRWAY BLDG M3 ATTN:  
Mailing Address 2: Not reported  
Mailing City,St,Zip: COSTA MESA 92627  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Orange Co. Industrial Site:**

Case ID: 89IC049  
Record ID: RO0000226  
Current Status: CLOSED 3/16/1990  
Closure Type: Closed pre 1994, file review required to determine closure type  
Released Chemical: TRICHLOROETHYLENE

**CORTESE:**

Region: CORTESE  
Envirostor Id: Not reported  
Site/Facility Type: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT WEST AIRFIE (Continued)**

**S101631297**

Cleanup Status: Not reported  
Status Date: Not reported  
Site Code: Not reported  
Latitude: Not reported  
Longitude: Not reported  
Owner: Not reported  
Enf Type: Not reported  
Swat R: Not reported  
Flag: CORTESE  
Order No: Not reported  
Waste Discharge System No: Not reported  
Effective Date: Not reported  
Region 2: 8  
WID Id: 8 302562N01  
Solid Waste Id No: Not reported  
Waste Management Uit Name: Not reported  
File Name: Cease Desist Orders & Cleanup Abatement Orders

**ENF:**

Region: 8  
Facility Id: 233949  
Agency Name: John Wayne Airport  
Place Type: Service/Commercial  
Place Subtype: Service/Commercial Site, NEC  
Facility Type: All other facilities  
Agency Type: Other  
# Of Agencies: 1  
Place Latitude: Not reported  
Place Longitude: Not reported  
SIC Code 1: 4581  
SIC Desc 1: Airports, Flying Fields, and Airport Terminal Services  
SIC Code 2: Not reported  
SIC Desc 2: Not reported  
SIC Code 3: Not reported  
SIC Desc 3: Not reported  
NAICS Code 1: Not reported  
NAICS Desc 1: Not reported  
NAICS Code 2: Not reported  
NAICS Desc 2: Not reported  
NAICS Code 3: Not reported  
NAICS Desc 3: Not reported  
# Of Places: 1  
Source Of Facility: Reg Meas  
Design Flow: Not reported  
Threat To Water Quality: Not reported  
Complexity: Not reported  
Pretreatment: Not reported  
Facility Waste Type: Not reported  
Facility Waste Type 2: Not reported  
Facility Waste Type 3: Not reported  
Facility Waste Type 4: Not reported  
Program: UNREGS  
Program Category1: UNREGS  
Program Category2: Not reported  
# Of Programs: 1  
WDID: 8 302562N01  
Reg Measure Id: 158760

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT WEST AIRFIE (Continued)**

**S101631297**

Reg Measure Type:	Unregulated
Region:	8
Order #:	Not reported
Npdes# CA#:	Not reported
Major-Minor:	Not reported
Npdes Type:	Not reported
Reclamation:	Not reported
Dredge Fill Fee:	Not reported
301H:	Not reported
Application Fee Amt Received:	Not reported
Status:	Never Active
Status Date:	02/21/2013
Effective Date:	Not reported
Expiration/Review Date:	Not reported
Termination Date:	Not reported
WDR Review - Amend:	Not reported
WDR Review - Revise/Renew:	Not reported
WDR Review - Rescind:	Not reported
WDR Review - No Action Required:	Not reported
WDR Review - Pending:	Not reported
WDR Review - Planned:	Not reported
Status Enrollee:	N
Individual/General:	I
Fee Code:	Not reported
Direction/Voice:	Passive
Enforcement Id(EID):	225060
Region:	8
Order / Resolution Number:	88-123
Enforcement Action Type:	Clean-up and Abatement Order
Effective Date:	09/09/1988
Adoption/Issuance Date:	Not reported
Achieve Date:	Not reported
Termination Date:	Not reported
ACL Issuance Date:	Not reported
EPL Issuance Date:	Not reported
Status:	Active
Title:	CAO 88-123 for John Wayne Airport
Description:	GROUND WATER CLEAN UP
Program:	UNREGS
Latest Milestone Completion Date:	Not reported
# Of Programs1:	1
Total Assessment Amount:	0
Initial Assessed Amount:	0
Liability \$ Amount:	0
Project \$ Amount:	0
Liability \$ Paid:	0
Project \$ Completed:	0
Total \$ Paid/Completed Amount:	0
Region:	8
Facility Id:	259061
Agency Name:	John Wayne Airport
Place Type:	Facility
Place Subtype:	Not reported
Facility Type:	Industrial
Agency Type:	Other
# Of Agencies:	1



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT WEST AIRFIE (Continued)**

**S101631297**

Place Latitude:	Not reported
Place Longitude:	Not reported
SIC Code 1:	4581
SIC Desc 1:	Airports, Flying Fields, and Airport Terminal Services
SIC Code 2:	Not reported
SIC Desc 2:	Not reported
SIC Code 3:	Not reported
SIC Desc 3:	Not reported
NAICS Code 1:	Not reported
NAICS Desc 1:	Not reported
NAICS Code 2:	Not reported
NAICS Desc 2:	Not reported
NAICS Code 3:	Not reported
NAICS Desc 3:	Not reported
# Of Places:	1
Source Of Facility:	Reg Meas
Design Flow:	1
Threat To Water Quality:	2
Complexity:	C
Pretreatment:	X - Facility is not a POTW
Facility Waste Type:	Stormwater runoff
Facility Waste Type 2:	Not reported
Facility Waste Type 3:	Not reported
Facility Waste Type 4:	Not reported
Program:	NPDNONMUNIPRCS
Program Category1:	NPDESWW
Program Category2:	Not reported
# Of Programs:	1
WDID:	8 302654001
Reg Measure Id:	205955
Reg Measure Type:	Enrollee
Region:	8
Order #:	90-067
Npdes# CA#:	Not reported
Major-Minor:	Not reported
Npdes Type:	Not reported
Reclamation:	N - No
Dredge Fill Fee:	Not reported
301H:	Not reported
Application Fee Amt Received:	Not reported
Status:	Historical
Status Date:	06/08/1990
Effective Date:	06/08/1990
Expiration/Review Date:	Not reported
Termination Date:	07/01/2008
WDR Review - Amend:	Not reported
WDR Review - Revise/Renew:	Not reported
WDR Review - Rescind:	Not reported
WDR Review - No Action Required:	Not reported
WDR Review - Pending:	Not reported
WDR Review - Planned:	Not reported
Status Enrollee:	Y
Individual/General:	I
Fee Code:	Not reported
Direction/Voice:	Passive
Enforcement Id(EID):	222981
Region:	8

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT WEST AIRFIE (Continued)**

**S101631297**

Order / Resolution Number: 96-078  
Enforcement Action Type: Admin Civil Liability  
Effective Date: 09/06/1996  
Adoption/Issuance Date: Not reported  
Achieve Date: 1996-11-15  
Termination Date: Not reported  
ACL Issuance Date: Not reported  
EPL Issuance Date: Not reported  
Status: Historical  
Title: Enforcement - 8 302654001  
Description: 13385 - FAILURE TO SUBMIT NPDES RENEWAL APPLICATION.  
SUSPENSION OF \$1000 CONTINGENT UPON SUBMISSION OF THE  
APPLICATION WITHIN 30 DAYS.  
Program: NPDNONMUNIPRCS  
Latest Milestone Completion Date: 1996-11-15  
# Of Programs1: 1  
Total Assessment Amount: 4000  
Initial Assessed Amount: 0  
Liability \$ Amount: 4000  
Project \$ Amount: 0  
Liability \$ Paid: 4000  
Project \$ Completed: 0  
Total \$ Paid/Completed Amount: 4000

**HAZNET:**

envid: S101631297  
Year: 2016  
GEPaid: CAC002853895  
Contact: RAYMOND HIEMSTRA  
Telephone: 7148501965  
Mailing Name: Not reported  
Mailing Address: 3151 AIRWAY AVE STE F110  
Mailing City,St,Zip: COSTA MESA, CA 926264621  
Gen County: Orange  
TSD EPA ID: CAD028409019  
TSD County: Los Angeles  
Waste Category: Laboratory waste chemicals  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Tons: 0.0075  
Cat Decode: Laboratory waste chemicals  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Facility County: Orange

envid: S101631297  
Year: 2016  
GEPaid: CAC002853895  
Contact: RAYMOND HIEMSTRA  
Telephone: 7148501965  
Mailing Name: Not reported  
Mailing Address: 3151 AIRWAY AVE STE F110  
Mailing City,St,Zip: COSTA MESA, CA 926264621  
Gen County: Orange  
TSD EPA ID: CAD028409019  
TSD County: Los Angeles  
Waste Category: Off-specification, aged or surplus inorganics

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHN WAYNE AIRPORT WEST AIRFIE (Continued)**

**S101631297**

Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Tons: 0.0025  
Cat Decode: Off-specification, aged or surplus inorganics  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Facility County: Orange

envid: S101631297  
Year: 2016  
GEPAID: CAC002853895  
Contact: RAYMOND HIEMSTRA  
Telephone: 7148501965  
Mailing Name: Not reported  
Mailing Address: 3151 AIRWAY AVE STE F110  
Mailing City,St,Zip: COSTA MESA, CA 926264621  
Gen County: Orange  
TSD EPA ID: CAD982444481  
TSD County: San Bernardino  
Waste Category: Off-specification, aged or surplus organics  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Tons: 0.0025  
Cat Decode: Off-specification, aged or surplus organics  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Facility County: Orange

**WDS:**

Facility ID: Santa Ana River 30I005741  
Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.  
Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.  
NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board  
Subregion: 8  
Facility Telephone: 9492525269  
Facility Contact: CHRIS CALIENDO  
Agency Name: ORANGE CO. DEPT. OF AIRPORTS  
Agency Address: 3151 AIRWAY AVENUE  
Agency City,St,Zip: COSTA MESA 92626  
Agency Contact: ALAN L. MURPHY  
Agency Telephone: Not reported  
Agency Type: County  
SIC Code: 0  
SIC Code 2: Not reported  
Primary Waste Type: Not reported  
Primary Waste: Not reported  
Waste Type2: Not reported  
Waste2: Not reported  
Primary Waste Type: Not reported  
Secondary Waste: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**JOHN WAYNE AIRPORT WEST AIRFIE (Continued)**

**S101631297**

Secondary Waste Type: Not reported  
 Design Flow: 0  
 Baseline Flow: 0  
 Reclamation: Not reported  
 POTW: Not reported  
 Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.  
 Complexity: Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

**CIWQS:**

Agency: John Wayne Airport  
 Agency Address: 3160 Airway Avenue, Costa Mesa, CA 92626  
 Place/Project Type: Other  
 SIC/NAICS: 4581  
 Region: 8  
 Program: INDSTW, NPDNONMUNIPRCS  
 Regulatory Measure Status: Historical  
 Regulatory Measure Type: Enrollee  
 Order Number: 90-067  
 WDID: 8 302654001  
 NPDES Number: Not reported  
 Adoption Date: Not reported  
 Effective Date: 06/08/1990  
 Termination Date: 07/01/2008  
 Expiration/Review Date: Not reported  
 Design Flow: 1  
 Major/Minor: Minor  
 Complexity: B  
 TTWQ: 0  
 Enforcement Actions within 5 years: 0  
 Violations within 5 years: 0  
 Latitude: Not reported  
 Longitude: Not reported

**I26**  
**NE**  
**1/8-1/4**  
**0.234 mi.**  
**1237 ft.**

**AUTOHAUS BERLIN CO INC**  
**3188 L AIRWAY AVE**  
**COSTA MESA, CA 92626**

**Site 1 of 3 in cluster I**

**RCRA-SQG 1000594938**  
**FINDS CAD983588245**  
**ECHO**  
**HAZNET**

**Relative:**  
**Lower**

**RCRA-SQG:**  
 Date form received by agency: 07/05/1991  
 Facility name: AUTOHAUS BERLIN CO INC  
 Facility address: 3188 L AIRWAY AVE  
 COSTA MESA, CA 92626  
 EPA ID: CAD983588245  
 Contact: REICHMAN HARRY  
 Contact address: 3188 L AIRWAY AVE

**Actual:**  
**36 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**AUTOHAUS BERLIN CO INC (Continued)**

**1000594938**

COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-751-6989  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: HARRY REICHMAN  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**AUTOHAUS BERLIN CO INC (Continued)**

**1000594938**

Violation Status: No violations found

**FINDS:**

Registry ID: 110002848492

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000594938  
Registry ID: 110002848492  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002848492>

**HAZNET:**

envid: 1000594938  
Year: 1998  
GEPaid: CAD983588245  
Contact: HARRY REICHMAN  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 3188 AIRWAY AVE STE L  
Mailing City,St,Zip: COSTA MESA, CA 926264652  
Gen County: Not reported  
TSD EPA ID: CAT000613893  
TSD County: Not reported  
Waste Category: Aqueous solution with total organic residues less than 10 percent  
Disposal Method: Transfer Station  
Tons: .0625  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

**I27  
NE  
1/8-1/4  
0.234 mi.  
1237 ft.**

**HOWENSTINE JOHN INC  
3188-J AIRWAY AVE  
COSTA MESA, CA 92626  
Site 2 of 3 in cluster I**

**RCRA NonGen / NLR 1000208556  
CAD078149812**

**Relative:  
Lower  
Actual:  
36 ft.**

RCRA NonGen / NLR:  
Date form received by agency: 08/15/1980  
Facility name: HOWENSTINE JOHN INC  
Facility address: 3188-J AIRWAY AVE  
COSTA MESA, CA 92626  
EPA ID: CAD078149812  
Mailing address: AIRWAY AVE  
COSTA MESA, CA 92626  
Contact: ENVIRONMENTAL MANAGER

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HOWENSTINE JOHN INC (Continued)**

**1000208556**

Contact address: 3188-J AIRWAY AVE  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-557-4064  
Contact email: Not reported  
EPA Region: 09  
Classification: Non-Generator  
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

I28  
NE  
1/8-1/4  
0.234 mi.  
1237 ft.

**GUNTHERS PRINTING**  
3188 BLDG F AIRWAY AVE  
COSTA MESA, CA 92626

RCRA NonGen / NLR  
FINDS  
ECHO  
HAZNET

1000409143  
CAD982522930

Site 3 of 3 in cluster I

Relative:  
Lower

RCRA NonGen / NLR:

Actual:  
36 ft.

Date form received by agency: 04/13/1989  
Facility name: GUNTHERS PRINTING  
Facility address: 3188 BLDG F AIRWAY AVE  
COSTA MESA, CA 92626  
EPA ID: CAD982522930  
Mailing address: BLDG F AIRWAY AVE  
COSTA MESA, CA 92626  
Contact: ENVIRONMENTAL MANAGER  
Contact address: 3188 BLDG F AIRWAY AVE  
COSTA MESA, CA 92626  
Contact country: US  
Contact telephone: 714-556-3660  
Contact email: Not reported  
EPA Region: 09  
Classification: Non-Generator  
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: LEIDER COLETTE  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GUNTERS PRINTING (Continued)**

**1000409143**

On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

**FINDS:**

Registry ID: 110002841480

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000409143  
Registry ID: 110002841480  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002841480>

**HAZNET:**

envid: 1000409143  
Year: 1993  
GEPaid: CAD982522930  
Contact: Not reported  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 3188 BLDG F AIRWAY AVE  
Mailing City,St,Zip: COSTA MESSA, CA 926260000  
Gen County: Not reported  
TSD EPA ID: CAD982524613  
TSD County: Not reported  
Waste Category: Photochemicals/photoprocessing waste  
Disposal Method: Recycler  
Tons: 5.0000000000  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

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<b>H29</b> <b>SW</b> <b>1/8-1/4</b> <b>0.236 mi.</b> <b>1247 ft.</b>	<b>ORANGE COUNTY FIRE STATIO</b> <b>18992</b> <b>SANTA ANA, CA 92707</b>  <b>Site 2 of 3 in cluster H</b>	<b>HIST CORTESE</b>	<b>S103065508</b> <b>N/A</b>
<b>Relative:</b> <b>Higher</b>	<b>HIST CORTESE:</b> Region: CORTESE Facility County Code: 30 Reg By: LTNKA Reg Id: 083000548T		
<b>Actual:</b> <b>51 ft.</b>			

---

<b>J30</b> <b>North</b> <b>1/8-1/4</b> <b>0.247 mi.</b> <b>1302 ft.</b>	<b>ITT BUSINESS MACHINES, INC.</b> <b>3191 RED HILL AVENUE</b> <b>COSTA MESA, CA</b>  <b>Site 1 of 5 in cluster J</b>	<b>CPS-SLIC</b>	<b>S108542907</b> <b>N/A</b>
<b>Relative:</b> <b>Lower</b>	<b>SLIC REG 8:</b> Type: Soil and Groundwater Facility Status: Closed Staff: MGC Substance: HYDR OIL Lead Agency: Regional Board Location Code: CM-7 Thomas Bros Code: 859-F4		
<b>Actual:</b> <b>37 ft.</b>			

---

<b>J31</b> <b>North</b> <b>1/8-1/4</b> <b>0.247 mi.</b> <b>1302 ft.</b>	<b>ITT BUSINESS MACHINES, INC.</b> <b>3191 REDHILL AVENUE</b> <b>COSTA MESA, CA</b>  <b>Site 2 of 5 in cluster J</b>	<b>CPS-SLIC</b>	<b>S106486984</b> <b>N/A</b>
<b>Relative:</b> <b>Lower</b>	<b>CPS-SLIC:</b> Region: STATE <b>Facility Status: Completed - Case Closed</b> Status Date: 05/12/2010 Global Id: SLT8R2143992 Lead Agency: ORANGE COUNTY Lead Agency Case Number: Not reported Latitude: 33.6663114340909 Longitude: -117.912097261932 Case Type: Cleanup Program Site Case Worker: Not reported Local Agency: Not reported RB Case Number: SLT8R214 File Location: Not reported Potential Media Affected: Not reported Potential Contaminants of Concern: Not reported Site History: Not reported		
<b>Actual:</b> <b>37 ft.</b>			

Click here to access the California GeoTracker records for this facility:

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**J32**  
**North**  
**1/8-1/4**  
**0.250 mi.**  
**1319 ft.**

**TONER PLANT**  
**3191 RED HILL AVE**  
**COSTA MESA, CA 92626**

**Site 3 of 5 in cluster J**

**HIST UST**    **U001576861**  
                   **N/A**

**Relative:**  
**Lower**

**Actual:**  
**38 ft.**

**HIST UST:**

File Number:	Not reported
URL:	Not reported
Region:	STATE
Facility ID:	00000016665
Facility Type:	Other
Other Type:	MANUFACTURING
Contact Name:	MIKE DUFFY/MANAGER
Telephone:	7145564700
Owner Name:	CANON BUSINESS MACHINES, INC.
Owner Address:	3191 RED HILL AVENUE
Owner City,St,Zip:	COSTA MESA, CA 92626
Total Tanks:	0004

Tank Num:	001
Container Num:	1
Year Installed:	1975
Tank Capacity:	00012000
Tank Used for:	PRODUCT
Type of Fuel:	Not reported
Container Construction Thickness:	Not reported
Leak Detection:	Stock Inventor

Tank Num:	002
Container Num:	2
Year Installed:	1975
Tank Capacity:	00012000
Tank Used for:	PRODUCT
Type of Fuel:	Not reported
Container Construction Thickness:	Not reported
Leak Detection:	Stock Inventor

Tank Num:	003
Container Num:	3
Year Installed:	1975
Tank Capacity:	00012000
Tank Used for:	PRODUCT
Type of Fuel:	Not reported
Container Construction Thickness:	Not reported
Leak Detection:	Stock Inventor

Tank Num:	004
Container Num:	4
Year Installed:	1975
Tank Capacity:	00002500
Tank Used for:	WASTE
Type of Fuel:	Not reported
Container Construction Thickness:	Not reported
Leak Detection:	Stock Inventor

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**J33**  
**North**  
**1/8-1/4**  
**0.250 mi.**  
**1319 ft.**  
**Relative:**  
**Lower**  
**Actual:**  
**38 ft.**

**CANON BUSINESS MACHINES INC**  
**3191 RED HILL AVENUE**  
**COSTA MESA, CA 92626**  
**Site 4 of 5 in cluster J**

**LUST** 1000335321  
**UST** N/A  
**HIST UST**  
**Orange Co. Industrial Site**  
**FINDS**  
**ECHO**  
**EMI**  
**HIST CORTESE**

LUST:

Lead Agency: ORANGE COUNTY LOP  
 Case Type: LUST Cleanup Site  
 Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605901019](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605901019)  
 Global Id: T0605901019  
 Latitude: 33.68393  
 Longitude: -117.87059  
 Status: Completed - Case Closed  
 Status Date: 09/11/1990  
 Case Worker: DB  
 RB Case Number: 083001341T  
 Local Agency: ORANGE COUNTY LOP  
 File Location: Local Agency  
 Local Case Number: 89UT190  
 Potential Media Affect: Soil  
 Potential Contaminants of Concern: \* Solvents  
 Site History: Not reported

LUST:

Global Id: T0605901019  
 Contact Type: Local Agency Caseworker  
 Contact Name: DENAMARIE BAKER  
 Organization Name: ORANGE COUNTY LOP  
 Address: 1241 E. DYER ROAD, STE. 120  
 City: SANTA ANA  
 Email: dbaker@ochca.com  
 Phone Number: 7144336255

Global Id: T0605901019  
 Contact Type: Regional Board Caseworker  
 Contact Name: PATRICIA HANNON  
 Organization Name: SANTA ANA RWQCB (REGION 8)  
 Address: 3737 MAIN STREET, SUITE 500  
 City: RIVERSIDE  
 Email: phannon@waterboards.ca.gov  
 Phone Number: Not reported

LUST:

Global Id: T0605901019  
 Action Type: Other  
 Date: 09/25/1989  
 Action: Leak Reported

Global Id: T0605901019  
 Action Type: Other  
 Date: 09/25/1989  
 Action: Leak Discovery

LUST:

Global Id: T0605901019

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

Status: Open - Case Begin Date  
Status Date: 09/25/1989

Global Id: T0605901019  
Status: Completed - Case Closed  
Status Date: 09/11/1990

Lead Agency: ORANGE COUNTY LOP  
Case Type: LUST Cleanup Site  
Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605955203](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605955203)  
Global Id: T0605955203  
Latitude: 33.684073  
Longitude: -117.870871  
Status: Completed - Case Closed  
Status Date: 11/07/1988  
Case Worker: DB  
RB Case Number: Not reported  
Local Agency: ORANGE COUNTY LOP  
File Location: Local Agency  
Local Case Number: 87UT038  
Potential Media Affect: Under Investigation  
Potential Contaminants of Concern: Stoddard solvent / Mineral Spruits / Distillates  
Site History: Not reported

**LUST:**

Global Id: T0605955203  
Contact Type: Local Agency Caseworker  
Contact Name: DENAMARIE BAKER  
Organization Name: ORANGE COUNTY LOP  
Address: 1241 E. DYER ROAD, STE. 120  
City: SANTA ANA  
Email: dbaker@ochca.com  
Phone Number: 7144336255

Global Id: T0605955203  
Contact Type: Regional Board Caseworker  
Contact Name: TOM E. MBEKE-EKANEM  
Organization Name: SANTA ANA RWQCB (REGION 8)  
Address: 3737 MAIN STREET, SUITE 500  
City: RIVERSIDE  
Email: tmbeke-ekanem@waterboards.ca.gov  
Phone Number: 9513202007

**LUST:**

Global Id: T0605955203  
Status: Completed - Case Closed  
Status Date: 11/07/1988

Global Id: T0605955203  
Status: Open - Case Begin Date  
Status Date: 11/07/1988

**ORANGE CO. LUST:**

Region: ORANGE  
Facility Id: 87UT038

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

Released Substance: Stoddard solvent (Type 1, petroleum spirits)  
Date Closed: 11/07/1988  
Record ID: RO0001715

Region: ORANGE  
Facility Id: 89UT190  
Released Substance: Solvents  
Date Closed: 09/11/1990  
Record ID: RO0001160

**LUST REG 8:**

Region: 8  
County: Orange  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083001341T  
Local Case Num: 89UT190  
Case Type: Soil only  
Substance: Solvents  
Qty Leaked: 0  
Abate Method: Not reported  
Cross Street: Not reported  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Tank Closure  
How Stopped: Close Tank  
Leak Cause: Unknown  
Leak Source: Unknown  
Global ID: T0605901019  
How Stopped Date: 9/9/9999  
Enter Date: Not reported  
Date Confirmation of Leak Began: Not reported  
Date Preliminary Assessment Began: Not reported  
Discover Date: 9/25/1989  
Enforcement Date: Not reported  
Close Date: 9/11/1990  
Date Prelim Assessment Workplan Submitted: Not reported  
Date Pollution Characterization Began: Not reported  
Date Remediation Plan Submitted: Not reported  
Date Remedial Action Underway: Not reported  
Date Post Remedial Action Monitoring: Not reported  
Enter Date: Not reported  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 33.6851155  
Longitude: -117.8689666  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 0  
MTBE Tested: Not Required to be Tested.  
MTBE Class: \*

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

Staff:	PAH
Staff Initials:	AR
Lead Agency:	Local Agency
Local Agency:	30000L
Hydr Basin #:	Not reported
Beneficial:	MUN
Priority:	Not reported
Cleanup Fund Id:	Not reported
Work Suspended:	Not reported
Summary:	Not reported
Region:	8
County:	Orange
Regional Board:	Santa Ana Region
Facility Status:	Case Closed
Case Number:	Not reported
Local Case Num:	87UT038
Case Type:	Undefined
Substance:	Stoddard Solvent
Qty Leaked:	0
Abate Method:	Not reported
Cross Street:	Not reported
Enf Type:	Not reported
Funding:	Not reported
How Discovered:	Tank Closure
How Stopped:	Close Tank
Leak Cause:	Unknown
Leak Source:	Unknown
Global ID:	T0605955203
How Stopped Date:	9/9/9999
Enter Date:	Not reported
Date Confirmation of Leak Began:	Not reported
Date Preliminary Assessment Began:	Not reported
Discover Date:	1/1/1965
Enforcement Date:	Not reported
Close Date:	11/7/1988
Date Prelim Assessment Workplan Submitted:	Not reported
Date Pollution Characterization Began:	Not reported
Date Remediation Plan Submitted:	Not reported
Date Remedial Action Underway:	Not reported
Date Post Remedial Action Monitoring:	Not reported
Enter Date:	Not reported
GW Qualifies:	Not reported
Soil Qualifies:	Not reported
Operator:	Not reported
Facility Contact:	Not reported
Interim:	Not reported
Oversite Program:	LUST
Latitude:	Not reported
Longitude:	Not reported
MTBE Date:	Not reported
Max MTBE GW:	Not reported
MTBE Concentration:	0
Max MTBE Soil:	Not reported
MTBE Fuel:	0
MTBE Tested:	Not Required to be Tested.
MTBE Class:	*

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

Staff: TME  
Staff Initials: AR  
Lead Agency: Local Agency  
Local Agency: 30000L  
Hydr Basin #: Not reported  
Beneficial: MUN  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

UST:

Facility ID: 947  
Permitting Agency: ORANGE COUNTY  
Latitude: 33.685279  
Longitude: -117.869241

HIST UST:

File Number: 0002E6A6  
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/0002E6A6.pdf>  
Region: Not reported  
Facility ID: Not reported  
Facility Type: Not reported  
Other Type: Not reported  
Contact Name: Not reported  
Telephone: Not reported  
Owner Name: Not reported  
Owner Address: Not reported  
Owner City,St,Zip: Not reported  
Total Tanks: Not reported

Tank Num: Not reported  
Container Num: Not reported  
Year Installed: Not reported  
Tank Capacity: Not reported  
Tank Used for: Not reported  
Type of Fuel: Not reported  
Container Construction Thickness: Not reported  
Leak Detection: Not reported

Click here for Geo Tracker PDF:

Orange Co. Industrial Site:

Case ID: 03IC007  
Record ID: RO0003138  
Current Status: CLOSED 4/12/2006  
Closure Type: Closure certification issued  
Released Chemical: PERCHLOROETHYLENE; TRICHLOROETHYLENE; ORGANIC COMPOUNDS

FINDS:

Registry ID: 110002659310

Environmental Interest/Information System  
TSCA SUBMITTER



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

HAZARDOUS AIR POLLUTANT MAJOR

STATE MASTER

HAZARDOUS WASTE BIENNIAL REPORTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000335321  
Registry ID: 110002659310  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002659310>

**EMI:**

Year: 1987  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1990  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1993

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 3  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1995  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 3  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1996  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 3  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1997  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1998  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1999  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2000  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES INC (Continued)**

**1000335321**

SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0  
  
Year: 2001  
County Code: 30  
Air Basin: SC  
Facility ID: 20144  
Air District Name: SC  
SIC Code: 3861  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Y  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 5  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

**HIST CORTESE:**

Region: CORTESE  
Facility County Code: 30  
Reg By: LTNKA  
Reg Id: 083001341T

J34  
North  
1/8-1/4  
0.250 mi.  
1319 ft.

**CANON BUSINESS MACHINES**  
**3191 RED HILL AVENUE**  
**COSTA MESA, CA 92626**

**RCRA-LQG 1007198964**  
**CAD078140068**

**Site 5 of 5 in cluster J**

**Relative:**  
**Lower**

**RCRA-LQG:**

**Actual:**  
**38 ft.**

Date form received by agency:04/08/2002  
Facility name: CANON BUSINESS MACHINES  
Site name: CANON BUSINESS MACHINES, INC.  
Facility address: 3191 RED HILL AVENUE  
COSTA MESA, CA 92626  
  
EPA ID: CAD078140068  
Contact: MAC MCCLELLAN  
Contact address: Not reported  
Not reported  
  
Contact country: US  
Contact telephone: 714-433-8900  
Contact email: MMCCLELLAN@CBM.CANON.COM  
EPA Region: 09  
Classification: Large Quantity Generator  
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES (Continued)**

**1007198964**

from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Handler Activities Summary:

- U.S. importer of hazardous waste: No
- Mixed waste (haz. and radioactive): No
- Recycler of hazardous waste: No
- Transporter of hazardous waste: No
- Treater, storer or disposer of HW: No
- Underground injection activity: No
- On-site burner exemption: No
- Furnace exemption: No
- Used oil fuel burner: No
- Used oil processor: No
- User oil refiner: No
- Used oil fuel marketer to burner: No
- Used oil Specification marketer: No
- Used oil transfer facility: No
- Used oil transporter: No

- . Waste code: 135
- . Waste name: Unspecified aqueous solution
  
- . Waste code: 141
- . Waste name: Off-specification, aged, or surplus inorganics
  
- . Waste code: 181
- . Waste name: Other inorganic solid waste
  
- . Waste code: 214
- . Waste name: Unspecified solvent mixture
  
- . Waste code: 221
- . Waste name: Waste oil and mixed oil
  
- . Waste code: 331
- . Waste name: Off-specification, aged, or surplus organics
  
- . Waste code: 512
- . Waste name: Other empty containers 30 gallons or more
  
- . Waste code: 551
- . Waste name: Laboratory waste chemicals
  
- . Waste code: D001
- . Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.
  
- . Waste code: D002
- . Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANON BUSINESS MACHINES (Continued)**

**1007198964**

CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

. Waste code: D006  
. Waste name: CADMIUM

. Waste code: D007  
. Waste name: CHROMIUM

. Waste code: D009  
. Waste name: MERCURY

. Waste code: D035  
. Waste name: METHYL ETHYL KETONE

. Waste code: F003  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F005  
. Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Historical Generators:

Date form received by agency: 10/12/2000  
Site name: CANON BUSINESS MACHINES, INC.  
Classification: Large Quantity Generator

Date form received by agency: 03/04/1999  
Site name: CANON BUSINESS MACHINES, INC.  
Classification: Large Quantity Generator

Date form received by agency: 02/01/1996  
Site name: CANON BUSINESS MACHINES INC  
Classification: Large Quantity Generator

Date form received by agency: 03/10/1994  
Site name: CANON BUSINESS MACHINES INC  
Classification: Large Quantity Generator

Date form received by agency: 02/27/1992

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**CANON BUSINESS MACHINES (Continued)**

**1007198964**

Site name: CANON BUSINESS MACHINES INC  
 Classification: Large Quantity Generator

Date form received by agency: 03/13/1990

Site name: CANON BUSINESS MACHINES INC  
 Classification: Large Quantity Generator

Violation Status: No violations found

**H35**      **MSI DATA CORP**  
**SW**      **335 BAKER AVE**  
**1/4-1/2**   **COSTA MESA, CA 92626**  
**0.252 mi.**  
**1329 ft.**   **Site 3 of 3 in cluster H**

**SEMS-ARCHIVE 1015732745**  
**RCRA-SQG CAD053853644**

**Relative:**  
**Higher**  
**Actual:**  
**50 ft.**

SEMS Archive:  
 Site ID: 900312  
 EPA ID: CAD053853644  
 Cong District: 40  
 FIPS Code: 6059  
 FF: N  
 NPL: Not on the NPL  
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

**SEMS Archive Detail:**

Region: 9  
 Site ID: 900312  
 EPA ID: CAD053853644  
 Site Name: MSI DATA CORP  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: VS  
 Action Name: ARCH SITE  
 SEQ: 1  
 Start Date: Not reported  
 Finish Date: 1992-03-31 00:00:00  
 Qual: Not reported  
 Current Action Lead: EPA Perf In-Hse

Region: 9  
 Site ID: 900312  
 EPA ID: CAD053853644  
 Site Name: MSI DATA CORP  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: PA  
 Action Name: PA  
 SEQ: 1  
 Start Date: Not reported  
 Finish Date: 1992-03-31 00:00:00  
 Qual: N  
 Current Action Lead: EPA Perf

Region: 9  
 Site ID: 900312  
 EPA ID: CAD053853644  
 Site Name: MSI DATA CORP

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MSI DATA CORP (Continued)**

**1015732745**

NPL: N  
FF: N  
OU: 0  
Action Code: DS  
Action Name: DISCVRY  
SEQ: 1  
Start Date: 1991-01-01 00:00:00  
Finish Date: 1991-01-01 00:00:00  
Qual: Not reported  
Current Action Lead: EPA Perf

**RCRA-SQG:**

Date form received by agency: 03/11/2002  
Facility name: TOYOTA RACING DEVELOPMENT USA INC  
Facility address: 335 E BAKER ST  
COSTA MESA, CA 92626  
EPA ID: CAD053853644  
Mailing address: E BAKER ST  
COSTA MESA, CA 92626  
Contact: FRANK LOPEZ  
Contact address: Not reported  
Not reported  
Contact country: US  
Contact telephone: 714-444-1188  
Contact email: Not reported  
EPA Region: 09  
Land type: Private  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: MSI DATA CORPORATION  
Owner/operator address: 340 FISCHER AVE  
CITY NOT REPORTED, CA 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 714-549-6000  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported  
  
Owner/operator name: TRD USA INC  
Owner/operator address: 335 E BAKER  
COSTA MESA, CA 92626  
Owner/operator country: Not reported  
Owner/operator telephone: 714-444-1188  
Owner/operator email: Not reported  
Owner/operator fax: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MSI DATA CORP (Continued)**

1015732745

Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Historical Generators:

Date form received by agency: 03/11/2002  
Site name: TOYOTA RACING DEVELOPMENT USA INC  
Classification: Large Quantity Generator

Date form received by agency: 04/03/1995  
Site name: TRD USA INC  
Classification: Small Quantity Generator

Facility Has Received Notices of Violations:

Regulation violated: FR - 262.50-60  
Area of violation: Generators - General  
Date violation determined: 03/22/1989  
Date achieved compliance: 08/21/1989  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.110-120.G  
Area of violation: TSD - Closure/Post-Closure  
Date violation determined: 03/22/1989  
Date achieved compliance: 08/21/1989  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MSI DATA CORP (Continued)**

**1015732745**

Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 09/29/1987  
Date achieved compliance: 10/22/1987  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 09/14/1987  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: F - 262.50-60  
Area of violation: Generators - General  
Date violation determined: 04/28/1987  
Date achieved compliance: 03/22/1989  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 06/05/1987  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: F - 262.20-23.B  
Area of violation: Generators - General  
Date violation determined: 04/28/1987  
Date achieved compliance: 03/22/1989  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 06/05/1987  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Evaluation Action Summary:  
Evaluation date: 04/07/2006  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: Local

Evaluation date: 02/22/2005  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MSI DATA CORP (Continued)**

**1015732745**

Date achieved compliance: Not reported  
 Evaluation lead agency: State Contractor/Grantee

Evaluation date: 03/22/1989  
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: TSD - Closure/Post-Closure  
 Date achieved compliance: 08/21/1989  
 Evaluation lead agency: State

Evaluation date: 03/22/1989  
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: Generators - General  
 Date achieved compliance: 08/21/1989  
 Evaluation lead agency: State

Evaluation date: 03/14/1989  
 Evaluation: FINANCIAL RECORD REVIEW  
 Area of violation: Not reported  
 Date achieved compliance: Not reported  
 Evaluation lead agency: State

Evaluation date: 09/29/1987  
 Evaluation: FINANCIAL RECORD REVIEW  
 Area of violation: TSD - Financial Requirements  
 Date achieved compliance: 10/22/1987  
 Evaluation lead agency: State

Evaluation date: 04/28/1987  
 Evaluation: NON-FINANCIAL RECORD REVIEW  
 Area of violation: Generators - General  
 Date achieved compliance: 03/22/1989  
 Evaluation lead agency: State

Evaluation date: 04/28/1987  
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: Generators - General  
 Date achieved compliance: 03/22/1989  
 Evaluation lead agency: State

**K36**  
**SSW**  
**1/4-1/2**  
**0.289 mi.**  
**1526 ft.**

**SANTA ANA TOWER FAA/AFSFO-8525**  
**18990 IKE JONES RD**  
**SANTA ANA, CA 92707**  
**Site 1 of 4 in cluster K**

**CPS-SLIC** **U001578334**  
**UST** **N/A**  
**SWEEPS UST**  
**HIST UST**

**Relative:**  
**Higher**  
**Actual:**  
**52 ft.**

CPS-SLIC:  
 Region: STATE  
**Facility Status: Open - Site Assessment**  
 Status Date: 01/01/2013  
 Global Id: T0605900442  
 Lead Agency: SANTA ANA RWQCB (REGION 8)  
 Lead Agency Case Number: Not reported  
 Latitude: 33.6766203101665  
 Longitude: -117.87058050744  
 Case Type: Cleanup Program Site  
 Case Worker: RS  
 Local Agency: Not reported  
 RB Case Number: 083000556T  
 File Location: Regional Board

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANTA ANA TOWER FAA/AFSFO-8525 (Continued)**

**U001578334**

Potential Media Affected: Aquifer used for drinking water supply  
Potential Contaminants of Concern: Heating Oil / Fuel Oil  
Site History: Part of larger John Wayne Airport facility investigation.

[Click here to access the California GeoTracker records for this facility:](#)

**UST:**

Facility ID: 6663  
Permitting Agency: ORANGE COUNTY  
Latitude: 33.67527  
Longitude: -117.87268

**SWEEPS UST:**

Status: Active  
Comp Number: 6663  
Number: 9  
Board Of Equalization: 44-016512  
Referral Date: 09-30-92  
Action Date: 09-15-92  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: 30-000-006663-000001  
Tank Status: A  
Capacity: 1000  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: P  
Content: DIESEL  
Number Of Tanks: 1

**HIST UST:**

File Number: 0002E8F9  
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/0002E8F9.pdf>  
Region: STATE  
Facility ID: 00000059017  
Facility Type: Other  
Other Type: STANDBY POWER  
Contact Name: MATTHEW KING  
Telephone: 6192935271  
Owner Name: FEDERAL AVIATION ADMINISTRATIO  
Owner Address: 8575 GIBBS DRIVE, SUITE 101  
Owner City,St,Zip: SAN DIEGO, CA 92123  
Total Tanks: 0001

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00000515  
Tank Used for: PRODUCT  
Type of Fuel: DIESEL  
Container Construction Thickness: Not reported  
Leak Detection: None

[Click here for Geo Tracker PDF:](#)

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**K37** SANTA ANA TOWER FAA/AFSFO-8525  
**SSW** 18990 IKE JONES RD  
**1/4-1/2** SANTA ANA, CA 92707  
**0.289 mi.**  
**1526 ft.** Site 2 of 4 in cluster K

**LUST** S101619826  
**CA FID UST** N/A  
**HIST CORTESE**

**Relative:**  
**Higher**

LUST REG 8:

**Actual:**  
**52 ft.**

Region:	8
County:	Orange
Regional Board:	Santa Ana Region
Facility Status:	Pollution Characterization
Case Number:	083000556T
Local Case Num:	Not reported
Case Type:	Soil only
Substance:	Heater Fuel
Qty Leaked:	Not reported
Abate Method:	Not reported
Cross Street:	PAULARINO
Enf Type:	Not reported
Funding:	Not reported
How Discovered:	Not reported
How Stopped:	Not reported
Leak Cause:	Not reported
Leak Source:	Not reported
Global ID:	T0605900442
How Stopped Date:	Not reported
Enter Date:	7/21/1987
Date Confirmation of Leak Began:	Not reported
Date Preliminary Assessment Began:	Not reported
Discover Date:	Not reported
Enforcement Date:	Not reported
Close Date:	Not reported
Date Prelim Assessment Workplan Submitted:	Not reported
Date Pollution Characterization Began:	7/20/1987
Date Remediation Plan Submitted:	Not reported
Date Remedial Action Underway:	Not reported
Date Post Remedial Action Monitoring:	Not reported
Enter Date:	7/21/1987
GW Qualifies:	Not reported
Soil Qualifies:	Not reported
Operator:	Not reported
Facility Contact:	Not reported
Interim:	Not reported
Oversite Program:	LUST
Latitude:	33.671156
Longitude:	-117.8662246
MTBE Date:	Not reported
Max MTBE GW:	Not reported
MTBE Concentration:	0
Max MTBE Soil:	Not reported
MTBE Fuel:	0
MTBE Tested:	Not Required to be Tested.
MTBE Class:	*
Staff:	RS
Staff Initials:	AR
Lead Agency:	Regional Board
Local Agency:	30000L
Hydr Basin #:	COASTAL PLAIN OF ORA
Beneficial:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANTA ANA TOWER FAA/AFSFO-8525 (Continued)**

**S101619826**

Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

CA FID UST:

Facility ID: 30000644  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 7145575696  
Mail To: Not reported  
Mailing Address: MONTGOMERY FLD ATTN:  
Mailing Address 2: Not reported  
Mailing City,St,Zip: SANTA ANA 92707  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

HIST CORTESE:

Region: CORTESE  
Facility County Code: 30  
Reg By: LTNKA  
Reg Id: 083000556T

**K38 ORANGE COUNTY FIRE STATION #33**  
**SSW 18992 IKE JONES RD**  
**1/4-1/2 SANTA ANA, CA 92707**  
**0.290 mi.**  
**1530 ft. Site 3 of 4 in cluster K**

**LUST S101300014**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**52 ft.**

LUST REG 8:  
Region: 8  
County: Orange  
Regional Board: Santa Ana Region  
Facility Status: Preliminary site assessment underway  
Case Number: 083000548T  
Local Case Num: Not reported  
Case Type: Soil only  
Substance: Heater Fuel  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: PAULARINO  
Enf Type: SEL  
Funding: Not reported  
How Discovered: Not reported  
How Stopped: Not reported  
Leak Cause: Not reported  
Leak Source: Not reported  
Global ID: T0605900437  
How Stopped Date: 9/2/1986  
Enter Date: 7/21/1987

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**ORANGE COUNTY FIRE STATION #33 (Continued)**

**S101300014**

Date Confirmation of Leak Began:	Not reported
Date Preliminary Assessment Began:	7/11/2003
Discover Date:	9/2/1986
Enforcement Date:	Not reported
Close Date:	Not reported
Date Prelim Assessment Workplan Submitted:	Not reported
Date Pollution Characterization Began:	7/20/1987
Date Remediation Plan Submitted:	Not reported
Date Remedial Action Underway:	Not reported
Date Post Remedial Action Monitoring:	Not reported
Enter Date:	7/21/1987
GW Qualifies:	Not reported
Soil Qualifies:	Not reported
Operator:	Not reported
Facility Contact:	Not reported
Interim:	Not reported
Oversite Program:	LUST
Latitude:	33.671156
Longitude:	-117.8662246
MTBE Date:	Not reported
Max MTBE GW:	Not reported
MTBE Concentration:	0
Max MTBE Soil:	Not reported
MTBE Fuel:	0
MTBE Tested:	Not Required to be Tested.
MTBE Class:	*
Staff:	RS
Staff Initials:	AR
Lead Agency:	Regional Board
Local Agency:	30000L
Hydr Basin #:	COASTAL PLAIN OF ORA
Beneficial:	Not reported
Priority:	Not reported
Cleanup Fund Id:	Not reported
Work Suspended:	Not reported
Summary:	Not reported

**K39**  
**SSW**  
 1/4-1/2  
 0.290 mi.  
 1530 ft.

**ORANGE COUNTY FIRE STATION #33**  
**18992 IKE JONES RD**  
**SANTA ANA, CA 92707**  
 Site 4 of 4 in cluster K

**CPS-SLIC** **S118504609**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**52 ft.**

<b>CPS-SLIC:</b>	
Region:	STATE
<b>Facility Status:</b>	<b>Open - Site Assessment</b>
Status Date:	07/11/2003
Global Id:	T0605900437
Lead Agency:	SANTA ANA RWQCB (REGION 8)
Lead Agency Case Number:	Not reported
Latitude:	33.677514901447
Longitude:	-117.87003993988
Case Type:	Cleanup Program Site
Case Worker:	RS
Local Agency:	Not reported
RB Case Number:	083000548T
File Location:	Regional Board
Potential Media Affected:	Aquifer used for drinking water supply

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**ORANGE COUNTY FIRE STATION #33 (Continued)**

**S118504609**

Potential Contaminants of Concern: Alcohols, Heating Oil / Fuel Oil, Gasoline  
 Site History: Part of Larger John Wayne Airport Facility investigation. Fire retardant chemicals and ethanol of concern.

[Click here to access the California GeoTracker records for this facility:](#)

**L40**  
**WSW**  
**1/4-1/2**  
**0.301 mi.**  
**1588 ft.**

**WESTERN DIGITAL CORPORATION**  
**3128 REDHILL AVE**  
**COSTA MESA, CA 92626**

**SEMS 1000403002**  
**RCRA-SQG CAD051983567**  
**HIST UST**  
**FINDS**  
**ECHO**

**Site 1 of 3 in cluster L**

**Relative:**  
**Higher**  
**Actual:**  
**47 ft.**

**SEMS:**  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Cong District: 40  
 FIPS Code: 6059  
 Latitude: Not reported  
 Longitude: Not reported  
 FF: N  
 NPL: Not on the NPL  
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

**SEMS Detail:**

Region: 9  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Site Name: WESTERN DIGITAL CORPORATION  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: DS  
 Action Name: DISCVRY  
 SEQ: 1  
 Start Date: 1992-01-13 00:00:00  
 Finish Date: 1/13/1992  
 Qual: Not reported  
 Current Action Lead: EPA Perf

Region: 9  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Site Name: WESTERN DIGITAL CORPORATION  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: OO  
 Action Name: SITE REASS  
 SEQ: 1  
 Start Date: 2013-07-01 00:00:00  
 Finish Date: 10/1/2014  
 Qual: N  
 Current Action Lead: EPA Perf

Region: 9  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Site Name: WESTERN DIGITAL CORPORATION



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORPORATION (Continued)**

**1000403002**

NPL: N  
FF: N  
OU: 0  
Action Code: SI  
Action Name: SI  
SEQ: 1  
Start Date: 1992-04-16 00:00:00  
Finish Date: 5/18/1993  
Qual: L  
Current Action Lead: EPA Perf

Region: 9  
Site ID: 904275  
EPA ID: CAD051983567  
Site Name: WESTERN DIGITAL CORPORATION  
NPL: N  
FF: N  
OU: 0  
Action Code: PA  
Action Name: PA  
SEQ: 1  
Start Date: 1992-06-15 00:00:00  
Finish Date: 6/15/1992  
Qual: Not reported  
Current Action Lead: EPA Perf

**RCRA-SQG:**

Date form received by agency: 09/01/1996  
Facility name: WESTERN DIGITAL CORPORATION  
Facility address: 3128 REDHILL AVE  
COSTA MESA, CA 92626  
EPA ID: CAD051983567  
Mailing address: 3128 RED HILL AVE BOX 2180  
NEWPORT BEACH, CA 92663  
Contact: Not reported  
Contact address: Not reported  
Not reported  
Contact country: US  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Land type: Facility is not located on Indian land. Additional information is not known.  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORPORATION (Continued)**

**1000403002**

Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: WESTERN DIGITAL CORPORATION  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999

Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Historical Generators:

Date form received by agency: 09/01/1996  
Site name: WESTERN DIGITAL CORPORATION  
Classification: Small Quantity Generator

Date form received by agency: 02/28/1992  
Site name: WESTERN DIGITAL CORPORATION  
Classification: Large Quantity Generator

Date form received by agency: 08/18/1980  
Site name: WESTERN DIGITAL CORPORATION  
Classification: Large Quantity Generator

Violation Status: No violations found

Evaluation Action Summary:

Evaluation date: 05/28/1993  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORPORATION (Continued)**

**1000403002**

Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

**HIST UST:**

File Number: Not reported  
URL: Not reported  
Region: STATE  
Facility ID: 00000014495  
Facility Type: Other  
Other Type: SEMICONDUCTOR MFGR.  
Contact Name: RICK ERNST FACILITIES MGR.  
Telephone: 7148630102  
Owner Name: WESTERN DIGITAL CORPORATION  
Owner Address: 2445 MCCABE WAY  
Owner City,St,Zip: IRVINE, CA 92714  
Total Tanks: 0001

Tank Num: 001  
Container Num: #1  
Year Installed: 1970  
Tank Capacity: 00000500  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Container Construction Thickness: Not reported  
Leak Detection: None

**FINDS:**

Registry ID: 110002144732

**Environmental Interest/Information System**

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

SUPERFUND (NON-NPL)

STATE MASTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000403002  
Registry ID: 110002144732  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002144732>

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**L41**      **WESTERN DIGITAL CORP**  
**WSW**      **3128 RED HILL AV**  
**1/4-1/2**    **COSTA MESA, CA 92676**  
**0.301 mi.**  
**1588 ft.**    **Site 2 of 3 in cluster L**

**LUST**    **S101299473**  
**EMI**      **N/A**  
**HAZNET**  
**HIST CORTESE**

**Relative:**  
**Higher**  
**Actual:**  
**47 ft.**

**LUST:**  
Lead Agency:                    SANTA ANA RWQCB (REGION 8)  
Case Type:                      LUST Cleanup Site  
Geo Track:                      [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605900354](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605900354)  
Global Id:                        T0605900354  
Latitude:                         33.6776107  
Longitude:                       -117.8761739  
Status:                          Completed - Case Closed  
Status Date:                     04/25/2006  
Case Worker:                    CAB  
RB Case Number:                083000442T  
Local Agency:                  ORANGE COUNTY  
File Location:                  Not reported  
Local Case Number:              92UT023  
Potential Media Affect:        Other Groundwater (uses other than drinking water)  
Potential Contaminants of Concern: 1,1,1-Trichloroethane (TCA), Acetone, Dichloroethane (DCA), Dichloroethene (DCE), Other Solvent  
Site History:                    Not reported

**LUST:**  
Global Id:                        T0605900354  
Contact Type:                    Regional Board Caseworker  
Contact Name:                    CARL BERNHARDT  
Organization Name:                SANTA ANA RWQCB (REGION 8)  
Address:                         3737 MAIN STREET, SUITE 500  
City:                              RIVERSIDE  
Email:                              cbernhardt@waterboards.ca.gov  
Phone Number:                    9517824495  
  
Global Id:                        T0605900354  
Contact Type:                    Local Agency Caseworker  
Contact Name:                    LUIS LODRIGUEZA  
Organization Name:                ORANGE COUNTY  
Address:                         2009 E. EDINGER AVE.  
City:                              SANTA ANA  
Email:                              Not reported  
Phone Number:                    Not reported

**LUST:**  
Global Id:                        T0605900354  
Action Type:                      Other  
Date:                              04/22/1992  
Action:                            Leak Discovery  
  
Global Id:                        T0605900354  
Action Type:                      RESPONSE  
Date:                              02/14/2006  
Action:                            Monitoring Report - Quarterly  
  
Global Id:                        T0605900354  
Action Type:                      RESPONSE  
Date:                              04/13/2006  
Action:                            Unknown

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORP (Continued)**

**S101299473**

Global Id: T0605900354  
Action Type: RESPONSE  
Date: 04/16/2006  
Action: Other Report / Document

Global Id: T0605900354  
Action Type: ENFORCEMENT  
Date: 04/25/2006  
Action: Closure/No Further Action Letter

Global Id: T0605900354  
Action Type: REMEDIATION  
Date: 04/01/1992  
Action: Excavation

Global Id: T0605900354  
Action Type: ENFORCEMENT  
Date: 03/15/2006  
Action: Notification - Fee Title Owners Notice

Global Id: T0605900354  
Action Type: ENFORCEMENT  
Date: 03/28/2006  
Action: Staff Letter

Global Id: T0605900354  
Action Type: Other  
Date: 07/07/1986  
Action: Leak Reported

Global Id: T0605900354  
Action Type: ENFORCEMENT  
Date: 01/12/2006  
Action: Meeting

**LUST:**

Global Id: T0605900354  
Status: Open - Case Begin Date  
Status Date: 07/07/1986

Global Id: T0605900354  
Status: Open - Site Assessment  
Status Date: 04/01/1992

Global Id: T0605900354  
Status: Open - Site Assessment  
Status Date: 05/01/1992

Global Id: T0605900354  
Status: Open - Verification Monitoring  
Status Date: 05/21/1993

Global Id: T0605900354  
Status: Completed - Case Closed  
Status Date: 04/25/2006

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORP (Continued)**

**S101299473**

ORANGE CO. LUST:

Region: ORANGE  
Facility Id: 86UT041  
Released Substance: Acetic acid; Methylene chloride  
Date Closed: 04/22/1992  
Record ID: RO0001770

Region: ORANGE  
Facility Id: 92UT023  
Released Substance: Acetone, etc.  
Date Closed: 01/29/1992  
Record ID: RO0001449

LUST REG 8:

Region: 8  
County: Orange  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083000442T  
Local Case Num: 92UT023  
Case Type: Other ground water affected  
Substance: 81595  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: KALMUS  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Not reported  
How Stopped: Not reported  
Leak Cause: Not reported  
Leak Source: Not reported  
Global ID: T0605900354  
How Stopped Date: Not reported  
Enter Date: 6/11/1987  
Date Confirmation of Leak Began: 4/1/1992  
Date Preliminary Assessment Began: Not reported  
Discover Date: 4/22/1992  
Enforcement Date: Not reported  
Close Date: 5/21/1993  
Date Prelim Assessment Workplan Submitted: Not reported  
Date Pollution Characterization Began: 5/1/1992  
Date Remediation Plan Submitted: Not reported  
Date Remedial Action Underway: Not reported  
Date Post Remedial Action Monitoring: Not reported  
Enter Date: 6/11/1987  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 33.6776107  
Longitude: -117.8761739  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORP (Continued)**

**S101299473**

Max MTBE Soil: Not reported  
MTBE Fuel: 0  
MTBE Tested: Not Required to be Tested.  
MTBE Class: \*  
Staff: CAB  
Staff Initials: LAL  
Lead Agency: Regional Board  
Local Agency: 30000  
Hydr Basin #: COASTAL PLAIN OF ORA  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: PREVIOUSLY ACETIC ACID CONTAMINATED SOIL,CASE CLOSED 9/17/86CASE REOPENED  
4/22/92, TCE AND 1,1-DCE FOUND IN GROUNDWATER SAMPLES COLLECTED FROM  
GROUNDWATER MONITORING WELL.

**EMI:**

Year: 1990  
County Code: 30  
Air Basin: SC  
Facility ID: 16727  
Air District Name: SC  
SIC Code: 3674  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 3  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

**HAZNET:**

envid: S101299473  
Year: 2016  
GEPaid: CAL000407292  
Contact: TERI RUDDLE  
Telephone: 7146195135  
Mailing Name: Not reported  
Mailing Address: 3128 RED HILL AVE  
Mailing City,St,Zip: COSTA MESA, CA 92626  
Gen County: Orange  
TSD EPA ID: NVD980895338  
TSD County: 99  
Waste Category: Laboratory waste chemicals  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Tons: 0.02  
Cat Decode: Laboratory waste chemicals  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Facility County: Orange

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORP (Continued)**

**S101299473**

envid: S101299473  
Year: 2016  
GEPaid: CAL000407292  
Contact: TERI RUDDLE  
Telephone: 7146195135  
Mailing Name: Not reported  
Mailing Address: 3128 RED HILL AVE  
Mailing City,St,Zip: COSTA MESA, CA 92626  
Gen County: Orange  
TSD EPA ID: CAD008364432  
TSD County: Los Angeles  
Waste Category: Laboratory waste chemicals  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.5087  
Cat Decode: Laboratory waste chemicals  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Facility County: Orange

envid: S101299473  
Year: 2016  
GEPaid: CAL000407292  
Contact: TERI RUDDLE  
Telephone: 7146195135  
Mailing Name: Not reported  
Mailing Address: 3128 RED HILL AVE  
Mailing City,St,Zip: COSTA MESA, CA 92626  
Gen County: Orange  
TSD EPA ID: CAD008364432  
TSD County: Los Angeles  
Waste Category: Laboratory waste chemicals  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.22935  
Cat Decode: Laboratory waste chemicals  
Method Decode: Fuel Blending Prior To Energy Recovery At Another Site  
Facility County: Orange

envid: S101299473  
Year: 2015  
GEPaid: CAL000407292  
Contact: TERI RUDDLE  
Telephone: 7146195135  
Mailing Name: Not reported  
Mailing Address: 3128 RED HILL AVE  
Mailing City,St,Zip: COSTA MESA, CA 92626  
Gen County: Orange  
TSD EPA ID: CAD008364432  
TSD County: Los Angeles  
Waste Category: Liquids with pH <= 2  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.15  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WESTERN DIGITAL CORP (Continued)**

**S101299473**

envid: S101299473  
Year: 2015  
GEPaid: CAL000407292  
Contact: TERI RUDDLE  
Telephone: 7146195135  
Mailing Name: Not reported  
Mailing Address: 3128 RED HILL AVE  
Mailing City,St,Zip: COSTA MESA, CA 92626  
Gen County: Orange  
TSD EPA ID: NVD980895338  
TSD County: 99  
Waste Category: Off-specification, aged or surplus organics  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery  
(H010-H129) Or (H131-H135)  
Tons: 0.5445  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

Click this hyperlink while viewing on your computer to access  
4 additional CA\_HAZNET: record(s) in the EDR Site Report.

**HIST CORTESE:**

Region: CORTESE  
Facility County Code: 30  
Reg By: LTNKA  
Reg Id: 083000442T

**L42**  
**WSW**  
**1/4-1/2**  
**0.301 mi.**  
**1588 ft.**

**WESTERN DIGITAL CORP**  
**3128 RED HILL AVE**  
**COSTA MESA, CA 92626**

**LUST S122221968**  
**N/A**

**Site 3 of 3 in cluster L**

**Relative:**  
**Higher**  
**Actual:**  
**47 ft.**

**ORANGE CO. LUST:**  
Region: ORANGE  
Facility Id: 92UT023  
Released Substance: ACETONE  
Date Closed: Not reported  
Record ID: RO0000419

**43**  
**SSW**  
**1/4-1/2**  
**0.302 mi.**  
**1592 ft.**

**THE ABBEY SCHERER COMPANY**  
**3130 AIRWAY**  
**COSTA MESA, CA 92626**

**LUST S101299417**  
**HIST CORTESE N/A**

**Relative:**  
**Higher**  
**Actual:**  
**51 ft.**

**LUST:**  
Lead Agency: ORANGE COUNTY LOP  
Case Type: LUST Cleanup Site  
Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605901220](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605901220)  
Global Id: T0605901220  
Latitude: 33.675135  
Longitude: -117.873125  
Status: Completed - Case Closed  
Status Date: 05/30/1997

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**THE ABBEY SCHERER COMPANY (Continued)**

**S101299417**

Case Worker: DB  
RB Case Number: 083001610T  
Local Agency: ORANGE COUNTY LOP  
File Location: Local Agency  
Local Case Number: 90UT174  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Waste Oil / Motor / Hydraulic / Lubricating  
Site History: Not reported

LUST:

Global Id: T0605901220  
Contact Type: Local Agency Caseworker  
Contact Name: DENAMARIE BAKER  
Organization Name: ORANGE COUNTY LOP  
Address: 1241 E. DYER ROAD, STE. 120  
City: SANTA ANA  
Email: dbaker@ochca.com  
Phone Number: 7144336255

Global Id: T0605901220  
Contact Type: Regional Board Caseworker  
Contact Name: VALERIE JAHN-BULL  
Organization Name: SANTA ANA RWQCB (REGION 8)  
Address: 3737 MAIN STREET, SUITE 500  
City: RIVERSIDE  
Email: valerie.jahn-bull@waterboards.ca.gov  
Phone Number: 9517824903

LUST:

Global Id: T0605901220  
Action Type: Other  
Date: 07/06/1990  
Action: Leak Reported

Global Id: T0605901220  
Action Type: Other  
Date: 07/06/1990  
Action: Leak Discovery

LUST:

Global Id: T0605901220  
Status: Open - Case Begin Date  
Status Date: 07/06/1990

Global Id: T0605901220  
Status: Completed - Case Closed  
Status Date: 05/30/1997

ORANGE CO. LUST:

Region: ORANGE  
Facility Id: 90UT174  
Released Substance: Waste oil/Used oil  
Date Closed: 05/30/1997  
Record ID: RO0001052

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**THE ABBEY SCHERER COMPANY (Continued)**

**S101299417**

LUST REG 8:

Region:	8
County:	Orange
Regional Board:	Santa Ana Region
Facility Status:	Case Closed
Case Number:	083001610T
Local Case Num:	90UT174
Case Type:	Soil only
Substance:	Waste Oil
Qty Leaked:	0
Abate Method:	Not reported
Cross Street:	Not reported
Enf Type:	Not reported
Funding:	Not reported
How Discovered:	Tank Closure
How Stopped:	Close Tank
Leak Cause:	Unknown
Leak Source:	Unknown
Global ID:	T0605901220
How Stopped Date:	9/9/9999
Enter Date:	Not reported
Date Confirmation of Leak Began:	Not reported
Date Preliminary Assessment Began:	Not reported
Discover Date:	7/6/1990
Enforcement Date:	Not reported
Close Date:	5/30/1997
Date Prelim Assessment Workplan Submitted:	Not reported
Date Pollution Characterization Began:	Not reported
Date Remediation Plan Submitted:	Not reported
Date Remedial Action Underway:	Not reported
Date Post Remedial Action Monitoring:	Not reported
Enter Date:	Not reported
GW Qualifies:	Not reported
Soil Qualifies:	Not reported
Operator:	Not reported
Facility Contact:	Not reported
Interim:	Not reported
Oversite Program:	LUST
Latitude:	33.6758398
Longitude:	-117.8734138
MTBE Date:	Not reported
Max MTBE GW:	Not reported
MTBE Concentration:	0
Max MTBE Soil:	Not reported
MTBE Fuel:	0
MTBE Tested:	Not Required to be Tested.
MTBE Class:	*
Staff:	VJJ
Staff Initials:	AR
Lead Agency:	Local Agency
Local Agency:	30000L
Hydr Basin #:	Not reported
Beneficial:	MUN
Priority:	Not reported
Cleanup Fund Id:	Not reported
Work Suspended:	Not reported
Summary:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**THE ABBEY SCHERER COMPANY (Continued)**

**S101299417**

HIST CORTESE:

Region: CORTESE  
Facility County Code: 30  
Reg By: LTNKA  
Reg Id: 083001610T

**M44** **VALENTEC WELLS**  
**North** **3190 PULLMAN ST**  
**1/4-1/2** **COSTA MESA, CA 92626**  
**0.372 mi.**  
**1965 ft.** **Site 1 of 2 in cluster M**

**CPS-SLIC** **S101854105**  
**EMI** **N/A**  
**CIWQS**

**Relative:**  
**Lower**

SLIC REG 8:  
Type: Soil and Groundwater  
Facility Status: Closed  
Staff: WDM  
Substance: SOLVENTS  
Lead Agency: Regional Board  
Location Code: CM-6  
Thomas Bros Code: 859-D6

**Actual:**  
**37 ft.**

EMI:

Year: 1987  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 12  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 2  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1990  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 13  
Reactive Organic Gases Tons/Yr: 13  
Carbon Monoxide Emissions Tons/Yr: 1  
NOX - Oxides of Nitrogen Tons/Yr: 2  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1995

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VALENTEC WELLS (Continued)**

**S101854105**

County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 6  
Reactive Organic Gases Tons/Yr: 5  
Carbon Monoxide Emissions Tons/Yr: 1  
NOX - Oxides of Nitrogen Tons/Yr: 2  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1996  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 7  
Reactive Organic Gases Tons/Yr: 6  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1997  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1998  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VALENTEC WELLS (Continued)**

**S101854105**

Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1999  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2000  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2001  
County Code: 30  
Air Basin: SC  
Facility ID: 24919  
Air District Name: SC  
SIC Code: 3482  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: B  
Total Organic Hydrocarbon Gases Tons/Yr: 10  
Reactive Organic Gases Tons/Yr: 10  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**VALENTEC WELLS (Continued)**

**S101854105**

SOX - Oxides of Sulphur Tons/Yr: 0  
 Particulate Matter Tons/Yr: 0  
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

**CIWQS:**

Agency: Valentec Wells  
 Agency Address: 3190 Pullman St, Costa Mesa, CA 92626  
 Place/Project Type: Industrial - Small Arms Ammunition  
 SIC/NAICS: Multiple  
 Region: 8  
 Program: INDSTW  
 Regulatory Measure Status: Terminated  
 Regulatory Measure Type: Storm water industrial  
 Order Number: 2014-0057-DWQ  
 WDID: 8 30I001228  
 NPDES Number: CAS000001  
 Adoption Date: Not reported  
 Effective Date: 03/26/1992  
 Termination Date: 08/21/2001  
 Expiration/Review Date: Not reported  
 Design Flow: Not reported  
 Major/Minor: Not reported  
 Complexity: Not reported  
 TTWQ: Not reported  
 Enforcement Actions within 5 years: 0  
 Violations within 5 years: 0  
 Latitude: 33.6847  
 Longitude: -117.86968

**45**  
**West**  
**1/4-1/2**  
**0.372 mi.**  
**1965 ft.**

**FRYE & SMITH, INC.**  
**150 E. BAKER STREET**  
**COSTA MESA, CA 92626**

**ENVIROSTOR S104582445**  
**N/A**

**Relative:**  
**Lower**  
**Actual:**  
**44 ft.**

**ENVIROSTOR:**  
 Facility ID: 71002615  
 Status: No Further Action  
 Status Date: 05/20/2015  
 Site Code: Not reported  
 Site Type: Tiered Permit  
 Site Type Detailed: Tiered Permit  
 Acres: 4  
 NPL: NO  
 Regulatory Agencies: NONE SPECIFIED  
 Lead Agency: NONE SPECIFIED  
 Program Manager: Not reported  
 Supervisor: Robert Senga  
 Division Branch: Cleanup Cypress  
 Assembly: 74  
 Senate: 37  
 Special Program: Not reported  
 Restricted Use: NO  
 Site Mgmt Req: NONE SPECIFIED  
 Funding: Not reported  
 Latitude: 33.67967  
 Longitude: -117.8772

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRYE & SMITH, INC. (Continued)**

**S104582445**

APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD084456581  
Alias Type: EPA Identification Number  
Alias Name: 71002615  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**M46**  
**North**  
**1/4-1/2**  
**0.374 mi.**  
**1976 ft.**

**VALENTEC-WELLS, INC.**  
**3190 PULLMAN STREET**  
**COSTA MESA, CA 92626**

**Site 2 of 2 in cluster M**

**ENVIROSTOR** **S103652395**  
**CPS-SLIC** **N/A**  
**Orange Co. Industrial Site**

**Relative:**  
**Lower**  
**Actual:**  
**37 ft.**

ENVIROSTOR:  
Facility ID: 71002538  
Status: Inactive - Needs Evaluation  
Status Date: Not reported  
Site Code: Not reported  
Site Type: Tiered Permit  
Site Type Detailed: Tiered Permit  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: Not reported  
Division Branch: Cleanup Cypress  
Assembly: 74  
Senate: 37  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 33.68594  
Longitude: -117.8712  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VALENTEC-WELLS, INC. (Continued)**

**S103652395**

Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD067658864  
Alias Type: EPA Identification Number  
Alias Name: 71002538  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

CPS-SLIC:

Region: STATE  
**Facility Status: Completed - Case Closed**  
Status Date: 07/23/2002  
Global Id: SL208263881  
Lead Agency: SANTA ANA RWQCB (REGION 8)  
Lead Agency Case Number: Not reported  
Latitude: 33.685804  
Longitude: -117.870568  
Case Type: Cleanup Program Site  
Case Worker: Not reported  
Local Agency: Not reported  
RB Case Number: SL208263881  
File Location: Not reported  
Potential Media Affected: Not reported  
Potential Contaminants of Concern: Not reported  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

Orange Co. Industrial Site:

Case ID: 96IC016  
Record ID: RO0000536  
Current Status: CLOSED 5/1/1996  
Closure Type: Closure certification issued  
Released Chemical: PERCHLOROETHYLENE; TRICHLOROETHYLENE

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**47**  
**SSW**  
**1/4-1/2**  
**0.390 mi.**  
**2057 ft.**

**OLEN PROPERTIES - AIRPORT BUSINESS CENTER**  
**3100 AIRWAY AVE**  
**COSTA MESA, CA 92626**

**CPS-SLIC**    **S119777526**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**51 ft.**

**CPS-SLIC:**  
Region: STATE  
**Facility Status: Open - Site Assessment**  
Status Date: 10/16/2017  
Global Id: T10000010077  
Lead Agency: SANTA ANA RWQCB (REGION 8)  
Lead Agency Case Number: Not reported  
Latitude: 33.6741  
Longitude: -117.87418  
Case Type: Cleanup Program Site  
Case Worker: MAO  
Local Agency: Not reported  
RB Case Number: Not reported  
File Location: All Files are on GeoTracker or in the Local Agency Database  
Potential Media Affected: Not reported  
Potential Contaminants of Concern: Tetrachloroethylene (PCE), Trichloroethylene (TCE)  
Site History: Recalcitrant Party

[Click here to access the California GeoTracker records for this facility:](#)

**48**  
**SSW**  
**1/4-1/2**  
**0.391 mi.**  
**2066 ft.**

**MILLION AIR CTR REFUELER #3**  
**19300 IKE JONES RD**  
**SANTA ANA, CA 92707**

**LUST**    **S101126397**  
**Orange Co. Industrial Site**    **N/A**  
**HIST CORTESE**

**Relative:**  
**Higher**  
**Actual:**  
**52 ft.**

**LUST:**  
Lead Agency: SANTA ANA, CITY OF  
Case Type: LUST Cleanup Site  
Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605900431](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605900431)  
Global Id: T0605900431  
Latitude: 33.671156  
Longitude: -117.8662246  
Status: Completed - Case Closed  
Status Date: 12/18/1987  
Case Worker: CC  
RB Case Number: 083000539T  
Local Agency: SANTA ANA, CITY OF  
File Location: Not reported  
Local Case Number: Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

**LUST:**  
Global Id: T0605900431  
Contact Type: Local Agency Caseworker  
Contact Name: CHRISTOPHER CIRAULO  
Organization Name: SANTA ANA, CITY OF  
Address: 1439 S. BROADWAY  
City: SANTA ANA  
Email: cciraulo@santa-ana.org  
Phone Number: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MILLION AIR CTR REFUELER #3 (Continued)**

**S101126397**

Global Id: T0605900431  
Contact Type: Regional Board Caseworker  
Contact Name: PATRICIA HANNON  
Organization Name: SANTA ANA RWQCB (REGION 8)  
Address: 3737 MAIN STREET, SUITE 500  
City: RIVERSIDE  
Email: phannon@waterboards.ca.gov  
Phone Number: Not reported

LUST:

Global Id: T0605900431  
Action Type: Other  
Date: 08/15/1987  
Action: Leak Discovery

Global Id: T0605900431  
Action Type: Other  
Date: 09/22/1987  
Action: Leak Reported

Global Id: T0605900431  
Action Type: Other  
Date: 08/15/1987  
Action: Leak Stopped

LUST:

Global Id: T0605900431  
Status: Open - Case Begin Date  
Status Date: 07/20/1987

Global Id: T0605900431  
Status: Open - Site Assessment  
Status Date: 07/20/1987

Global Id: T0605900431  
Status: Completed - Case Closed  
Status Date: 12/18/1987

LUST REG 8:

Region: 8  
County: Orange  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083000539T  
Local Case Num: Not reported  
Case Type: Soil only  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Excavate and Treat - remove contaminated soil and treat (includes spreading or land farming)  
Cross Street: BRISTOL  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Subsurface Monitoring  
How Stopped: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MILLION AIR CTR REFUELER #3 (Continued)**

**S101126397**

Leak Cause:	Overfill
Leak Source:	Other Source
Global ID:	T0605900431
How Stopped Date:	8/15/1987
Enter Date:	7/21/1987
Date Confirmation of Leak Began:	Not reported
Date Preliminary Assessment Began:	Not reported
Discover Date:	8/15/1987
Enforcement Date:	Not reported
Close Date:	12/18/1987
Date Prelim Assessment Workplan Submitted:	Not reported
Date Pollution Characterization Began:	7/20/1987
Date Remediation Plan Submitted:	Not reported
Date Remedial Action Underway:	Not reported
Date Post Remedial Action Monitoring:	Not reported
Enter Date:	7/21/1987
GW Qualifies:	Not reported
Soil Qualifies:	Not reported
Operator:	Not reported
Facility Contact:	Not reported
Interim:	Not reported
Oversite Program:	LUST
Latitude:	33.671156
Longitude:	-117.8662246
MTBE Date:	Not reported
Max MTBE GW:	Not reported
MTBE Concentration:	0
Max MTBE Soil:	Not reported
MTBE Fuel:	1
MTBE Tested:	Site NOT Tested for MTBE.Includes Unknown and Not Analyzed.
MTBE Class:	*
Staff:	PAH
Staff Initials:	JB
Lead Agency:	Local Agency
Local Agency:	Santa Ana, Orange County
Hydr Basin #:	COASTAL PLAIN OF ORA
Beneficial:	Not reported
Priority:	Not reported
Cleanup Fund Id:	Not reported
Work Suspended:	Not reported
Summary:	Not reported

**Orange Co. Industrial Site:**

Case ID:	89IC006
Record ID:	RO0000235
Current Status:	CLOSED 8/25/1989
Closure Type:	Closed pre 1994, file review required to determine closure type
Released Chemical:	DATA NOT ENTERED, SEE FILE

**HIST CORTESE:**

Region:	CORTESE
Facility County Code:	30
Reg By:	LTNKA
Reg Id:	083000539T

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**N49**  
**WSW**  
**1/4-1/2**  
**0.420 mi.**  
**2218 ft.**

**INTESYS TECHNOLOGIES CA INC**  
**265 BRIGGS AVE**  
**COSTA MESA, CA 92626**

**RCRA-SQG 1000174688**  
**CPS-SLIC CAD981160245**

**Site 1 of 2 in cluster N**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 02/01/1999

**Actual:**  
**44 ft.**

Facility name: INTESYS TECHNOLOGIES CA INC  
Facility address: 265 BRIGGS AVE

COSTA MESA, CA 92626

EPA ID: CAD981160245

Contact: RUSS ROMEYN

Contact address: 265 BRIGGS AVE  
COSTA MESA, CA 92626

Contact country: US

Contact telephone: 714-546-4460

Contact email: Not reported

EPA Region: 09

Classification: Small Small Quantity Generator

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999

Owner/operator country: Not reported

Owner/operator telephone: 415-555-1212

Owner/operator email: Not reported

Owner/operator fax: Not reported

Owner/operator extension: Not reported

Legal status: Private

Owner/Operator Type: Operator

Owner/Op start date: Not reported

Owner/Op end date: Not reported

Owner/operator name: INTESYS TECHNOLOGIES CA INC  
Owner/operator address: 1300 N FIESTA BLVD  
GILBERT, AZ 85234

Owner/operator country: Not reported

Owner/operator telephone: 602-497-1401

Owner/operator email: Not reported

Owner/operator fax: Not reported

Owner/operator extension: Not reported

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: Not reported

Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Mixed waste (haz. and radioactive): No

Recycler of hazardous waste: No

Transporter of hazardous waste: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INTESYS TECHNOLOGIES CA INC (Continued)**

**1000174688**

Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: D002  
. Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

. Waste code: D008  
. Waste name: LEAD

. Waste code: D009  
. Waste name: MERCURY

Violation Status: No violations found

**CPS-SLIC:**

Region: STATE  
**Facility Status: Completed - Case Closed**  
Status Date: 01/09/2000  
Global Id: SLT8R0603944  
Lead Agency: SANTA ANA RWQCB (REGION 8)  
Lead Agency Case Number: Not reported  
Latitude: 33.677229197458  
Longitude: -117.877593040466  
Case Type: Cleanup Program Site  
Case Worker: Not reported  
Local Agency: Not reported  
RB Case Number: SLT8R060  
File Location: Regional Board  
Potential Media Affected: Other Groundwater (uses other than drinking water), Soil  
Potential Contaminants of Concern: 1,1,1-Trichloroethane (TCA), Other Solvent or Non-Petroleum Hydrocarbon, Trichloroethylene (TCE), Other Petroleum, Waste Oil / Motor / Hydraulic / Lubricating  
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**N50**      **INTESYS TECHNOLOGIES**  
**WSW**      **265 BRIGGS AVENUE**  
**1/4-1/2**      **COSTA MESA, CA 92626**  
**0.420 mi.**  
**2218 ft.**      **Site 2 of 2 in cluster N**

**CPS-SLIC**      **S100932555**  
**WDS**              **N/A**

**Relative:**      SLIC REG 8:  
**Lower**          Type:                      Soil and Groundwater  
                     Facility Status:        Closed  
**Actual:**          Staff:                      WDM  
**44 ft.**              Substance:                SOLVENT,TPH  
                     Lead Agency:            Regional Board  
                     Location Code:         CM-2  
                     Thomas Bros Code:    859-E5

WDS:  
 Facility ID:                      Santa Ana River 30I013380  
 Facility Type:                    Not reported  
 Facility Status:                 Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.  
 NPDES Number:                CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board  
 Subregion:                        8  
 Facility Telephone:             Not reported  
 Facility Contact:                Not reported  
 Agency Name:                    INTESYS TECHNOLOGIES  
 Agency Address:                Not reported  
 Agency City,St,Zip:            0  
 Agency Contact:                Not reported  
 Agency Telephone:             Not reported  
 Agency Type:                    Not reported  
 SIC Code:                         0  
 SIC Code 2:                      Not reported  
 Primary Waste Type:            Not reported  
 Primary Waste:                 Not reported  
 Waste Type2:                    Not reported  
 Waste2:                            Not reported  
 Primary Waste Type:            Not reported  
 Secondary Waste:               Not reported  
 Secondary Waste Type:        Not reported  
 Design Flow:                    0  
 Baseline Flow:                  0  
 Reclamation:                    Not reported  
 POTW:                             Not reported  
 Treat To Water:                Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.  
 Complexity:                      Category C - Facilities having no waste treatment systems, such as cooling water dischargers or thosewho must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

51  
South  
1/2-1  
0.528 mi.  
2787 ft.

ORANGE COUNTY AIRPORT  
NEWPORT BEACH, CA

ENVIROSTOR S107736963  
N/A

Relative:  
Higher  
Actual:  
53 ft.

ENVIROSTOR:  
Facility ID: 80000829  
Status: Inactive - Needs Evaluation  
Status Date: 07/01/2005  
Site Code: Not reported  
Site Type: Military Evaluation  
Site Type Detailed: FUDS  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Not reported  
Supervisor: Douglas Bautista  
Division Branch: Cleanup Cypress  
Assembly: 74  
Senate: 37  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: DERA  
Latitude: 33.67166  
Longitude: -117.8719  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CA99799F994900  
Alias Type: Federal Facility ID  
Alias Name: J09CA7127  
Alias Type: INPR  
Alias Name: 80000829  
Alias Type: Envirostor ID Number

Completed Info:  
Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Inventory Project Report (INPR)  
Completed Date: 08/18/1998  
Comments: Not reported  
  
Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**52**  
**SSE**  
**1/2-1**  
**0.613 mi.**  
**3234 ft.**

**MARTIN AVIATION INC.**  
**19801 AIRPORT WAY SOUTH**  
**SANTA ANA, CA 90603**

**EMI S100178912**  
**Notify 65 N/A**

**Relative:**  
**Higher**

EMI:  
 Year: 1990  
 County Code: 30  
 Air Basin: SC  
 Facility ID: 63657  
 Air District Name: SC  
 SIC Code: 8249  
 Air District Name: SOUTH COAST AQMD  
 Community Health Air Pollution Info System: Not reported  
 Consolidated Emission Reporting Rule: Not reported  
 Total Organic Hydrocarbon Gases Tons/Yr: 1  
 Reactive Organic Gases Tons/Yr: 1  
 Carbon Monoxide Emissions Tons/Yr: 5  
 NOX - Oxides of Nitrogen Tons/Yr: 0  
 SOX - Oxides of Sulphur Tons/Yr: 0  
 Particulate Matter Tons/Yr: 0  
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

**Actual:**  
**49 ft.**

NOTIFY 65:  
 Date Reported: Not reported  
 Staff Initials: Not reported  
 Board File Number: Not reported  
 Facility Type: Not reported  
 Discharge Date: Not reported  
 Issue Date: Not reported  
 Incident Description: Not reported

**O53**  
**SSW**  
**1/2-1**  
**0.708 mi.**  
**3736 ft.**

**SIGMA CIRCUITS, INC. - COSTA MESA**  
**2970 AIRWAY AVENUE**  
**COSTA MESA, CA 92626**

**ENVIROSTOR S118757430**  
**N/A**

**Site 1 of 3 in cluster O**

**Relative:**  
**Higher**

ENVIROSTOR:  
 Facility ID: 71002902  
 Status: No Action Required  
 Status Date: 06/20/2001  
 Site Code: 600831  
 Site Type: Tiered Permit  
 Site Type Detailed: Tiered Permit  
 Acres: Not reported  
 NPL: NO  
 Regulatory Agencies: NONE SPECIFIED  
 Lead Agency: NONE SPECIFIED  
 Program Manager: Not reported  
 Supervisor: Not reported  
 Division Branch: Cleanup Cypress  
 Assembly: 74  
 Senate: 37  
 Special Program: Not reported  
 Restricted Use: NO  
 Site Mgmt Req: NONE SPECIFIED  
 Funding: Not reported

**Actual:**  
**52 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS, INC. - COSTA MESA (Continued)**

**S118757430**

Latitude: 33.66986  
Longitude: -117.8760  
APN: NONE SPECIFIED  
Past Use: MANUFACTURING - ELECTRONIC  
Potential COC: Lead Copper and compounds 1,1-Dichloroethylene  
Confirmed COC: NONE SPECIFIED  
Potential Description: SOIL, SV  
Alias Name: CAD981658669  
Alias Type: EPA Identification Number  
Alias Name: 110000784278  
Alias Type: EPA (FRS #)  
Alias Name: 600831  
Alias Type: Project Code (Site Code)  
Alias Name: 71002902  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1  
Completed Date: 04/28/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1 Non-Submittal  
Completed Date: 06/20/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase I Verification  
Completed Date: 04/28/2003  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

O54  
SSW  
1/2-1  
0.708 mi.  
3736 ft.  
Relative:  
Higher  
Actual:  
52 ft.

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV  
2970 AIRWAY AVENUE  
COSTA MESA, CA 92626**

Site 2 of 3 in cluster O

SEMS Archive:  
Site ID: 903532  
EPA ID: CAD981658669

**SEMS-ARCHIVE 1000294703  
RCRA-SQG CAD981658669  
ENVIROSTOR  
CPS-SLIC  
Orange Co. Industrial Site  
FINDS  
ECHO  
EMI  
HAZNET**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

Cong District: 40  
FIPS Code: 6059  
FF: N  
NPL: Not on the NPL  
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:

Region: 9  
Site ID: 903532  
EPA ID: CAD981658669  
Site Name: SIGMA CIRCUITS INC  
NPL: N  
FF: N  
OU: 0  
Action Code: VS  
Action Name: ARCH SITE  
SEQ: 1  
Start Date: Not reported  
Finish Date: 1989-03-15 00:00:00  
Qual: Not reported  
Current Action Lead: EPA Perf In-Hse

Region: 9  
Site ID: 903532  
EPA ID: CAD981658669  
Site Name: SIGMA CIRCUITS INC  
NPL: N  
FF: N  
OU: 0  
Action Code: DS  
Action Name: DISCVRY  
SEQ: 1  
Start Date: 1987-12-01 00:00:00  
Finish Date: 1987-12-01 00:00:00  
Qual: Not reported  
Current Action Lead: St Perf

Region: 9  
Site ID: 903532  
EPA ID: CAD981658669  
Site Name: SIGMA CIRCUITS INC  
NPL: N  
FF: N  
OU: 0  
Action Code: PA  
Action Name: PA  
SEQ: 1  
Start Date: Not reported  
Finish Date: 1989-03-15 00:00:00  
Qual: N  
Current Action Lead: St Perf

RCRA-SQG:

Date form received by agency: 09/01/1996  
Facility name: SIGMA CIRCUITS INC  
Facility address: 2970 AIRWAY AVE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

COSTA MESA, CA 92626  
EPA ID: CAD981658669  
Contact: Not reported  
Contact address: Not reported  
Not reported  
Contact country: US  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Land type: Facility is not located on Indian land. Additional information is not known.  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: ANGLYNN LYNN  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: 415-555-1212  
Owner/operator email: Not reported  
Owner/operator fax: Not reported  
Owner/operator extension: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Historical Generators:

Date form received by agency: 09/01/1996  
Site name: SIGMA CIRCUITS INC  
Classification: Small Quantity Generator

Date form received by agency: 03/15/1996  
Site name: SIGMA CIRCUITS, INC - SOUTHERN CA DIVISI  
Classification: Large Quantity Generator

Date form received by agency: 03/25/1994  
Site name: SIGMA CIRCUITS INC.  
Classification: Large Quantity Generator

Date form received by agency: 02/26/1992  
Site name: SIGMA CIRCUITS INC  
Classification: Large Quantity Generator

Date form received by agency: 04/06/1990  
Site name: SIGMA CIRCUITS INC  
Classification: Large Quantity Generator

Date form received by agency: 11/11/1986  
Site name: SIGMA CIRCUITS INC  
Classification: Large Quantity Generator

Facility Has Received Notices of Violations:

Regulation violated: FR - 262.10-12.A  
Area of violation: Generators - General  
Date violation determined: 12/02/1991  
Date achieved compliance: 11/08/1993  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 11/08/1993  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State Contractor/Grantee

Evaluation date: 12/02/1991  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Generators - General  
Date achieved compliance: 11/08/1993

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

Evaluation lead agency: State Contractor/Grantee

ENVIROSTOR:

Facility ID: 30280370  
Status: Refer: Other Agency  
Status Date: 10/18/1988  
Site Code: Not reported  
Site Type: Historical  
Site Type Detailed: \* Historical  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: \* Mmonroy  
Division Branch: Cleanup Cypress  
Assembly: 74  
Senate: 37  
Special Program: \* CERC2  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 33.66989  
Longitude: -117.8760  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: \* HALOGENATED SOLVENTS \* HYDROCARBON SOLVENTS \* Metals - Other  
Inorganic Solid Waste \* Metals - Sludge \* ORGANIC LIQUIDS WITH METALS  
\* OXYGENATED SOLVENTS \* ACID SOLUTION 2>PH WITH METALS \* UNSPECIFIED  
SOLVENT MIXTURES \* OTHER INORGANIC SOLID WASTE \* POLYMERIC RESIN WASTE  
Not reported  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: 30280370  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Screening  
Completed Date: 10/25/1994  
Comments: Database verification project confirms NFA for DTSC.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Assessment Report  
Completed Date: 06/23/1988  
Comments: PRELIM ASSESS DONE PRELIMINARY ASSESSMENT COMPLETED. THERE IS A NEW COMPANY ON LOCATION KNOWN AS SIGMA CIRCUIT. SIGMA CIRCUIT LISTED AS A GENERATOR. SIGMA CIRCUIT MANUFAC- TURES PRINTED CIRCUIT BOARDS.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* Discovery  
Completed Date: 09/02/1982  
Comments: FACILITY IDENTIFIED VIA A TIP FACILITY DRIVE-BY APPROX. 250 DRUMS AT SITE ABANDONED & ACCESSIBLE TO THE PUBLIC; SPILLS; OPEN DRUMS; CORRODED DRUMS; WATER REACTIVE DRUM ON SIDE & BUILDING. FINAL

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

STRATEGY SITE REFERRED: TO HWMB- LA -ENF. TIP FROM CO SANIT INSPECTOR  
FIRM ABANDONED CHEMICALS AT FORMER SITE

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**CPS-SLIC:**

Region: STATE  
**Facility Status:** **Completed - Case Closed**  
Status Date: 04/03/1997  
Global Id: SLT8R1824103  
Lead Agency: ORANGE COUNTY LOP  
Lead Agency Case Number: Not reported  
Latitude: 33.680164  
Longitude: -117.869715  
Case Type: Cleanup Program Site  
Case Worker: Not reported  
Local Agency: Not reported  
RB Case Number: SLT8R182  
File Location: Not reported  
Potential Media Affected: Not reported  
Potential Contaminants of Concern: Not reported  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

**Orange Co. Industrial Site:**

Case ID: 86IC010  
Record ID: RO0003078  
Current Status: CLOSED 12/9/1987  
Closure Type: Closed pre 1994, file review required to determine closure type  
Released Chemical: PLATING WASTE - OTHER METALS

Case ID: 89IC003  
Record ID: RO0000205  
Current Status: CLOSED 5/31/1991  
Closure Type: Closed pre 1994, file review required to determine closure type  
Released Chemical: PLATING WASTE - COPPER

Case ID: 89IC056  
Record ID: RO0000234  
Current Status: CLOSED 7/19/1991  
Closure Type: Closed pre 1994, file review required to determine closure type  
Released Chemical: ACID WASTE

Case ID: 96IC032  
Record ID: RO0000554  
Current Status: CLOSED 4/3/1997  
Closure Type: Closure certification issued

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

Released Chemical: LEAD COMPOUNDS

**FINDS:**

Registry ID: 110000784278

**Environmental Interest/Information System**

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**STATE MASTER**

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**ECHO:**

Envid: 1000294703  
Registry ID: 110000784278  
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110000784278>

**EMI:**

Year: 1987  
County Code: 30  
Air Basin: SC  
Facility ID: 45852  
Air District Name: SC  
SIC Code: 3679  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr: 0

Year: 1990  
County Code: 30  
Air Basin: SC  
Facility ID: 45852  
Air District Name: SC  
SIC Code: 3672  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 2  
Part. Matter 10 Micrometers and Smlr Tons/Yr:1

Year: 1995  
County Code: 30  
Air Basin: SC  
Facility ID: 45852  
Air District Name: SC  
SIC Code: 3672  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 7  
Reactive Organic Gases Tons/Yr: 7  
Carbon Monoxide Emissions Tons/Yr: 1  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1996  
County Code: 30  
Air Basin: SC  
Facility ID: 45852  
Air District Name: SC  
SIC Code: 3672  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 8  
Reactive Organic Gases Tons/Yr: 8  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

**HAZNET:**

envid: 1000294703  
Year: 1997  
GEPaid: CAD981658669  
Contact: SIGMA CIRCUITS INC  
Telephone: 4087279169  
Mailing Name: Not reported  
Mailing Address: 393 MATHEW ST  
Mailing City,St,Zip: SANTA CLARA, CA 950503113  
Gen County: Not reported  
TSD EPA ID: UTD981552177  
TSD County: Not reported  
Waste Category: Other inorganic solid waste  
Disposal Method: Treatment, Incineration

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

Tons: 6.7424  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange  
  
envid: 1000294703  
Year: 1996  
GEPaid: CAD981658669  
Contact: SIGMA CIRCUITS INC  
Telephone: 4087279169  
Mailing Name: Not reported  
Mailing Address: 393 MATHEW ST  
Mailing City,St,Zip: SANTA CLARA, CA 950503113  
Gen County: Not reported  
TSD EPA ID: CAT080022148  
TSD County: Not reported  
Waste Category: Off-specification, aged or surplus inorganics  
Disposal Method: Transfer Station  
Tons: .4125  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1000294703  
Year: 1996  
GEPaid: CAD981658669  
Contact: SIGMA CIRCUITS INC  
Telephone: 4087279169  
Mailing Name: Not reported  
Mailing Address: 393 MATHEW ST  
Mailing City,St,Zip: SANTA CLARA, CA 950503113  
Gen County: Not reported  
TSD EPA ID: CAD003963592  
TSD County: Not reported  
Waste Category: Invalid waste code  
Disposal Method: Recycler  
Tons: .2000  
Cat Decode: Not reported  
Method Decode: Not reported  
Facility County: Orange

envid: 1000294703  
Year: 1996  
GEPaid: CAD981658669  
Contact: SIGMA CIRCUITS INC  
Telephone: 4087279169  
Mailing Name: Not reported  
Mailing Address: 393 MATHEW ST  
Mailing City,St,Zip: SANTA CLARA, CA 950503113  
Gen County: Not reported  
TSD EPA ID: CAD003963592  
TSD County: Not reported  
Waste Category: Other inorganic solid waste  
Disposal Method: Recycler  
Tons: 2.4500  
Cat Decode: Not reported  
Method Decode: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SIGMA CIRCUITS INC SOUTHERN CALIFORNIA DIV (Continued)**

**1000294703**

Facility County: Orange

envid: 1000294703  
 Year: 1996  
 GEPAID: CAD981658669  
 Contact: SIGMA CIRCUITS INC  
 Telephone: 4087279169  
 Mailing Name: Not reported  
 Mailing Address: 393 MATHEW ST  
 Mailing City,St,Zip: SANTA CLARA, CA 950503113  
 Gen County: Not reported  
 TSD EPA ID: CAD000088252  
 TSD County: Not reported  
 Waste Category: Oxygenated solvents (acetone, butanol, ethyl acetate, etc.)  
 Disposal Method: Transfer Station  
 Tons: .6880  
 Cat Decode: Not reported  
 Method Decode: Not reported  
 Facility County: Orange

[Click this hyperlink](#) while viewing on your computer to access  
 53 additional CA\_HAZNET: record(s) in the EDR Site Report.

**O55**  
**SSW**  
**1/2-1**  
**0.757 mi.**  
**3996 ft.**

**KNIGHT EQUIPMENT CORP**  
**2955 AIRWAY AVE**  
**COSTA MESA, CA 92626**

**ENVIROSTOR** **U001576790**  
**HIST UST** **N/A**  
**EMI**

**Site 3 of 3 in cluster O**

**Relative:**  
**Higher**  
**Actual:**  
**52 ft.**

ENVIROSTOR:  
 Facility ID: 71002508  
 Status: Refer: Other Agency  
 Status Date: Not reported  
 Site Code: Not reported  
 Site Type: Tiered Permit  
 Site Type Detailed: Tiered Permit  
 Acres: Not reported  
 NPL: NO  
 Regulatory Agencies: NONE SPECIFIED  
 Lead Agency: NONE SPECIFIED  
 Program Manager: Not reported  
 Supervisor: Not reported  
 Division Branch: Cleanup Cypress  
 Assembly: 74  
 Senate: 37  
 Special Program: Not reported  
 Restricted Use: NO  
 Site Mgmt Req: NONE SPECIFIED  
 Funding: Not reported  
 Latitude: 33.66970  
 Longitude: -117.8769  
 APN: NONE SPECIFIED  
 Past Use: NONE SPECIFIED  
 Potential COC: NONE SPECIFIED  
 Confirmed COC: NONE SPECIFIED  
 Potential Description: NONE SPECIFIED  
 Alias Name: CAD063119796  
 Alias Type: EPA Identification Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**KNIGHT EQUIPMENT CORP (Continued)**

**U001576790**

Alias Name: 71002508  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Consent Agreement  
Completed Date: 07/07/1999  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

HIST UST:

File Number: Not reported  
URL: Not reported  
Region: STATE  
Facility ID: 00000064585  
Facility Type: Other  
Other Type: MANUFACTURING  
Contact Name: Not reported  
Telephone: 7149796300  
Owner Name: COMMODORE INTERNATIONAL LIMITE  
Owner Address: 1200 WILLSON DRIVE  
Owner City,St,Zip: WESTCHESTER, PA 19380  
Total Tanks: 0002

Tank Num: 001  
Container Num: 1  
Year Installed: 1972  
Tank Capacity: 00000000  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Container Construction Thickness: Not reported  
Leak Detection: Visual

Tank Num: 002  
Container Num: 2  
Year Installed: 1980  
Tank Capacity: 00000000  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Container Construction Thickness: Not reported  
Leak Detection: Visual

EMI:

Year: 1987  
County Code: 30  
Air Basin: SC  
Facility ID: 58258

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**KNIGHT EQUIPMENT CORP (Continued)**

**U001576790**

Air District Name: SC  
SIC Code: 9999  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 1  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

**56**  
**West**  
**1/2-1**  
**0.830 mi.**  
**4383 ft.**

**SHELL OIL**  
**3045 BRISTOL**  
**COSTA MESA, CA 92627**

**LUST** **S100230416**  
**Notify 65** **N/A**

**Relative:**  
**Lower**  
**Actual:**  
**38 ft.**

**LUST:**

Lead Agency: ORANGE COUNTY LOP  
Case Type: LUST Cleanup Site  
Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605901151](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605901151)  
Global Id: T0605901151  
Latitude: 33.6820635  
Longitude: -117.8857771  
Status: Completed - Case Closed  
Status Date: 05/20/2004  
Case Worker: DB  
RB Case Number: 083001510T  
Local Agency: ORANGE COUNTY LOP  
File Location: Local Agency Warehouse  
Local Case Number: 90UT120  
Potential Media Affect: Other Groundwater (uses other than drinking water)  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

**LUST:**

Global Id: T0605901151  
Contact Type: Regional Board Caseworker  
Contact Name: CARL BERNHARDT  
Organization Name: SANTA ANA RWQCB (REGION 8)  
Address: 3737 MAIN STREET, SUITE 500  
City: RIVERSIDE  
Email: cbernhardt@waterboards.ca.gov  
Phone Number: 9517824495

Global Id: T0605901151  
Contact Type: Local Agency Caseworker  
Contact Name: DENAMARIE BAKER  
Organization Name: ORANGE COUNTY LOP  
Address: 1241 E. DYER ROAD, STE. 120  
City: SANTA ANA  
Email: dbaker@ochca.com  
Phone Number: 7144336255

**LUST:**

Global Id: T0605901151

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL OIL (Continued)**

**S100230416**

Action Type: REMEDIATION  
Date: 07/09/1991  
Action: Excavation

Global Id: T0605901151  
Action Type: REMEDIATION  
Date: 06/01/2000  
Action: Excavation

Global Id: T0605901151  
Action Type: ENFORCEMENT  
Date: 05/09/1990  
Action: Notice of Responsibility

Global Id: T0605901151  
Action Type: Other  
Date: 05/03/1990  
Action: Leak Reported

Global Id: T0605901151  
Action Type: ENFORCEMENT  
Date: 04/16/2003  
Action: Staff Letter

Global Id: T0605901151  
Action Type: ENFORCEMENT  
Date: 08/18/2003  
Action: Staff Letter

Global Id: T0605901151  
Action Type: Other  
Date: 04/25/1990  
Action: Leak Discovery

Global Id: T0605901151  
Action Type: ENFORCEMENT  
Date: 09/15/2004  
Action: Closure/No Further Action Letter

**LUST:**

Global Id: T0605901151  
Status: Open - Case Begin Date  
Status Date: 04/25/1990

Global Id: T0605901151  
Status: Open - Verification Monitoring  
Status Date: 08/01/2002

Global Id: T0605901151  
Status: Completed - Case Closed  
Status Date: 05/20/2004

**ORANGE CO. LUST:**

Region: ORANGE  
Facility Id: 90UT120

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL OIL (Continued)**

**S100230416**

Released Substance: Gasoline-Automotive (motor gasoline and additives), leaded & unleaded  
Date Closed: 09/15/2004  
Record ID: RO0002257

**LUST REG 8:**

Region: 8  
County: Orange  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083001510T  
Local Case Num: 90UT120  
Case Type: Other ground water affected  
Substance: Gasoline  
Qty Leaked: 0  
Abate Method: Not reported  
Cross Street: Not reported  
Enf Type: CLOS  
Funding: Not reported  
How Discovered: SA  
How Stopped: New Tank  
Leak Cause: Unknown  
Leak Source: Tank  
Global ID: T0605901151  
How Stopped Date: 9/9/9999  
Enter Date: Not reported  
Date Confirmation of Leak Began: Not reported  
Date Preliminary Assessment Began: Not reported  
Discover Date: 4/25/1990  
Enforcement Date: Not reported  
Close Date: 5/20/2004  
Date Prelim Assessment Workplan Submitted: Not reported  
Date Pollution Characterization Began: Not reported  
Date Remediation Plan Submitted: Not reported  
Date Remedial Action Underway: Not reported  
Date Post Remedial Action Monitoring: 8/1/2002  
Enter Date: Not reported  
GW Qualifies: =  
Soil Qualifies: =  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 33.6820635  
Longitude: -117.8857771  
MTBE Date: 1/9/2002  
Max MTBE GW: 51  
MTBE Concentration: 0  
Max MTBE Soil: 6.9  
MTBE Fuel: 1  
MTBE Tested: MTBE Detected. Site tested for MTBE & MTBE detected  
MTBE Class: \*  
Staff: CAB  
Staff Initials: AR  
Lead Agency: Local Agency  
Local Agency: 30000L  
Hydr Basin #: Not reported  
Beneficial: MUN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL OIL (Continued)**

**S100230416**

Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

NOTIFY 65:

Date Reported: Not reported  
Staff Initials: Not reported  
Board File Number: Not reported  
Facility Type: Not reported  
Discharge Date: Not reported  
Issue Date: Not reported  
Incident Description: Not reported

57  
WSW  
1/2-1  
0.901 mi.  
4756 ft.

**EXOTIC MATERIAL INC**  
**2930 BRISTOL ST**  
**COSTA MESA, CA 92626**

**ENVIROSTOR S100200509**  
**N/A**

**Relative:**  
**Lower**  
**Actual:**  
**40 ft.**

ENVIROSTOR:  
Facility ID: 30280530  
Status: Refer: Other Agency  
Status Date: 08/23/1984  
Site Code: Not reported  
Site Type: Historical  
Site Type Detailed: \* Historical  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: \* Mmonroy  
Division Branch: Cleanup Cypress  
Assembly: 74  
Senate: 37  
Special Program: \* RCRA 3012 - Past Haz Waste Disp Inven Site  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 33.67743  
Longitude: -117.8858  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: \* UNSPECIFIED ACID SOLUTION \* UNSPECIFIED OIL CONTAINING WASTE \*  
UNSPECIFIED SOLVENT MIXTURES  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: DOW CHEMICAL COMPANY (SEAL BEACH)  
Alias Type: Alternate Name  
Alias Name: PERKIN-ELMER CORP  
Alias Type: Alternate Name  
Alias Name: CAD008339988  
Alias Type: EPA Identification Number  
Alias Name: 110002632802  
Alias Type: EPA (FRS #)  
Alias Name: 30280530



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EXOTIC MATERIAL INC (Continued)**

**S100200509**

Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Screening  
Completed Date: 10/25/1994  
Comments: DATABASE VALIDATION PROGRAM CONFIRMS NFA FOR DTSC.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Assessment Report  
Completed Date: 08/23/1984  
Comments: FACILITY DRIVE-BY OLD LOCATION: BLDG VACANT. WAREHOUSE W/ OFFICE IN FRONT. NO VISIBLE PROB. CURR LOC: DRUMS STACKD AROUND SMALL METAL STORAGE. NO VISIBLE PROB. CLEAN SUBMIT TO EPA PRELIM ASSESS DONE RCRA 3012

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* Discovery  
Completed Date: 10/12/1983  
Comments: FACILITY IDENTIFIED ID FROM ERRIS

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

Count: 1 records.

ORPHAN SUMMARY

<u>City</u>	<u>EDR ID</u>	<u>Site Name</u>	<u>Site Address</u>	<u>Zip</u>	<u>Database(s)</u>
IRVINE	S107027308	CARSON - 91 LLC	MAIN STREET & 91 FREEWAY	92612	ENVIROSTOR

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

**Number of Days to Update:** Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal NPL site list***

#### **NPL: National Priority List**

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 07/17/2018	Source: EPA
Date Data Arrived at EDR: 08/09/2018	Telephone: N/A
Date Made Active in Reports: 09/07/2018	Last EDR Contact: 08/09/2018
Number of Days to Update: 29	Next Scheduled EDR Contact: 10/15/2018
	Data Release Frequency: Quarterly

#### **NPL Site Boundaries**

##### **Sources:**

EPA's Environmental Photographic Interpretation Center (EPIC)  
Telephone: 202-564-7333

EPA Region 1  
Telephone 617-918-1143

EPA Region 6  
Telephone: 214-655-6659

EPA Region 3  
Telephone 215-814-5418

EPA Region 7  
Telephone: 913-551-7247

EPA Region 4  
Telephone 404-562-8033

EPA Region 8  
Telephone: 303-312-6774

EPA Region 5  
Telephone 312-886-6686

EPA Region 9  
Telephone: 415-947-4246

EPA Region 10  
Telephone 206-553-8665

#### **Proposed NPL: Proposed National Priority List Sites**

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 07/17/2018	Source: EPA
Date Data Arrived at EDR: 08/09/2018	Telephone: N/A
Date Made Active in Reports: 09/07/2018	Last EDR Contact: 08/09/2018
Number of Days to Update: 29	Next Scheduled EDR Contact: 10/15/2018
	Data Release Frequency: Quarterly

#### **NPL LIENS: Federal Superfund Liens**

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991  
Date Data Arrived at EDR: 02/02/1994  
Date Made Active in Reports: 03/30/1994  
Number of Days to Update: 56

Source: EPA  
Telephone: 202-564-4267  
Last EDR Contact: 08/15/2011  
Next Scheduled EDR Contact: 11/28/2011  
Data Release Frequency: No Update Planned

## ***Federal Delisted NPL site list***

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 07/17/2018  
Date Data Arrived at EDR: 08/09/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 29

Source: EPA  
Telephone: N/A  
Last EDR Contact: 08/09/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Quarterly

## ***Federal CERCLIS list***

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 11/07/2016  
Date Data Arrived at EDR: 01/05/2017  
Date Made Active in Reports: 04/07/2017  
Number of Days to Update: 92

Source: Environmental Protection Agency  
Telephone: 703-603-8704  
Last EDR Contact: 07/06/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 07/17/2018  
Date Data Arrived at EDR: 08/09/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 29

Source: EPA  
Telephone: 800-424-9346  
Last EDR Contact: 08/09/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Quarterly

## ***Federal CERCLIS NFRAP site list***

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 07/17/2018	Source: EPA
Date Data Arrived at EDR: 08/09/2018	Telephone: 800-424-9346
Date Made Active in Reports: 09/07/2018	Last EDR Contact: 08/09/2018
Number of Days to Update: 29	Next Scheduled EDR Contact: 10/29/2018
	Data Release Frequency: Quarterly

## ***Federal RCRA CORRACTS facilities list***

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 03/01/2018	Source: EPA
Date Data Arrived at EDR: 03/28/2018	Telephone: 800-424-9346
Date Made Active in Reports: 06/22/2018	Last EDR Contact: 06/28/2018
Number of Days to Update: 86	Next Scheduled EDR Contact: 10/08/2018
	Data Release Frequency: Quarterly

## ***Federal RCRA non-CORRACTS TSD facilities list***

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/01/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/28/2018	Telephone: (415) 495-8895
Date Made Active in Reports: 06/22/2018	Last EDR Contact: 06/28/2018
Number of Days to Update: 86	Next Scheduled EDR Contact: 10/08/2018
	Data Release Frequency: Quarterly

## ***Federal RCRA generators list***

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/01/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/28/2018	Telephone: (415) 495-8895
Date Made Active in Reports: 06/22/2018	Last EDR Contact: 06/28/2018
Number of Days to Update: 86	Next Scheduled EDR Contact: 10/08/2018
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/01/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/28/2018	Telephone: (415) 495-8895
Date Made Active in Reports: 06/22/2018	Last EDR Contact: 06/28/2018
Number of Days to Update: 86	Next Scheduled EDR Contact: 10/08/2018
	Data Release Frequency: Quarterly

## RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/01/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/28/2018	Telephone: (415) 495-8895
Date Made Active in Reports: 06/22/2018	Last EDR Contact: 06/28/2018
Number of Days to Update: 86	Next Scheduled EDR Contact: 10/08/2018
	Data Release Frequency: Quarterly

## ***Federal institutional controls / engineering controls registries***

### LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/14/2018	Source: Department of the Navy
Date Data Arrived at EDR: 05/18/2018	Telephone: 843-820-7326
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/16/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/26/2018
	Data Release Frequency: Varies

### US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 07/31/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/28/2018	Telephone: 703-603-0695
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 08/28/2018
Number of Days to Update: 17	Next Scheduled EDR Contact: 12/10/2018
	Data Release Frequency: Varies

### US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 07/31/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/28/2018	Telephone: 703-603-0695
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 08/28/2018
Number of Days to Update: 17	Next Scheduled EDR Contact: 12/10/2018
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal ERNS list***

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 06/18/2018

Date Data Arrived at EDR: 06/27/2018

Date Made Active in Reports: 09/14/2018

Number of Days to Update: 79

Source: National Response Center, United States Coast Guard

Telephone: 202-267-2180

Last EDR Contact: 06/27/2018

Next Scheduled EDR Contact: 10/08/2018

Data Release Frequency: Quarterly

## ***State- and tribal - equivalent NPL***

RESPONSE: State Response Sites

Identifies confirmed release sites where DTSC is involved in remediation, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk.

Date of Government Version: 07/30/2018

Date Data Arrived at EDR: 07/31/2018

Date Made Active in Reports: 09/07/2018

Number of Days to Update: 38

Source: Department of Toxic Substances Control

Telephone: 916-323-3400

Last EDR Contact: 07/31/2018

Next Scheduled EDR Contact: 11/12/2018

Data Release Frequency: Quarterly

## ***State- and tribal - equivalent CERCLIS***

ENVIROSTOR: EnviroStor Database

The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

Date of Government Version: 07/30/2018

Date Data Arrived at EDR: 07/31/2018

Date Made Active in Reports: 09/07/2018

Number of Days to Update: 38

Source: Department of Toxic Substances Control

Telephone: 916-323-3400

Last EDR Contact: 07/31/2018

Next Scheduled EDR Contact: 11/12/2018

Data Release Frequency: Quarterly

## ***State and tribal landfill and/or solid waste disposal site lists***

SWF/LF (SWIS): Solid Waste Information System

Active, Closed and Inactive Landfills. SWF/LF records typically contain an inventory of solid waste disposal facilities or landfills. These may be active or inactive facilities or open dumps that failed to meet RCRA Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 08/08/2018

Date Data Arrived at EDR: 08/10/2018

Date Made Active in Reports: 08/24/2018

Number of Days to Update: 14

Source: Department of Resources Recycling and Recovery

Telephone: 916-341-6320

Last EDR Contact: 08/10/2018

Next Scheduled EDR Contact: 11/26/2018

Data Release Frequency: Quarterly

## ***State and tribal leaking storage tank lists***

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## LUST REG 7: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Imperial, Riverside, San Diego, Santa Barbara counties.

Date of Government Version: 02/26/2004	Source: California Regional Water Quality Control Board Colorado River Basin Region (7)
Date Data Arrived at EDR: 02/26/2004	Telephone: 760-776-8943
Date Made Active in Reports: 03/24/2004	Last EDR Contact: 08/01/2011
Number of Days to Update: 27	Next Scheduled EDR Contact: 11/14/2011
	Data Release Frequency: No Update Planned

## LUST: Leaking Underground Fuel Tank Report (GEOTRACKER)

Leaking Underground Storage Tank (LUST) Sites included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: see region list
Date Made Active in Reports: 07/17/2018	Last EDR Contact: 09/12/2018
Number of Days to Update: 34	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Quarterly

## LUST REG 9: Leaking Underground Storage Tank Report

Orange, Riverside, San Diego counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 03/01/2001	Source: California Regional Water Quality Control Board San Diego Region (9)
Date Data Arrived at EDR: 04/23/2001	Telephone: 858-637-5595
Date Made Active in Reports: 05/21/2001	Last EDR Contact: 09/26/2011
Number of Days to Update: 28	Next Scheduled EDR Contact: 01/09/2012
	Data Release Frequency: No Update Planned

## LUST REG 8: Leaking Underground Storage Tanks

California Regional Water Quality Control Board Santa Ana Region (8). For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/14/2005	Source: California Regional Water Quality Control Board Santa Ana Region (8)
Date Data Arrived at EDR: 02/15/2005	Telephone: 909-782-4496
Date Made Active in Reports: 03/28/2005	Last EDR Contact: 08/15/2011
Number of Days to Update: 41	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: Varies

## LUST REG 6V: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Inyo, Kern, Los Angeles, Mono, San Bernardino counties.

Date of Government Version: 06/07/2005	Source: California Regional Water Quality Control Board Victorville Branch Office (6)
Date Data Arrived at EDR: 06/07/2005	Telephone: 760-241-7365
Date Made Active in Reports: 06/29/2005	Last EDR Contact: 09/12/2011
Number of Days to Update: 22	Next Scheduled EDR Contact: 12/26/2011
	Data Release Frequency: No Update Planned

## LUST REG 6L: Leaking Underground Storage Tank Case Listing

For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/09/2003	Source: California Regional Water Quality Control Board Lahontan Region (6)
Date Data Arrived at EDR: 09/10/2003	Telephone: 530-542-5572
Date Made Active in Reports: 10/07/2003	Last EDR Contact: 09/12/2011
Number of Days to Update: 27	Next Scheduled EDR Contact: 12/26/2011
	Data Release Frequency: No Update Planned

## LUST REG 5: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Alameda, Alpine, Amador, Butte, Colusa, Contra Costa, Calveras, El Dorado, Fresno, Glenn, Kern, Kings, Lake, Lassen, Madera, Mariposa, Merced, Modoc, Napa, Nevada, Placer, Plumas, Sacramento, San Joaquin, Shasta, Solano, Stanislaus, Sutter, Tehama, Tulare, Tuolumne, Yolo, Yuba counties.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2008  
Date Data Arrived at EDR: 07/22/2008  
Date Made Active in Reports: 07/31/2008  
Number of Days to Update: 9

Source: California Regional Water Quality Control Board Central Valley Region (5)  
Telephone: 916-464-4834  
Last EDR Contact: 07/01/2011  
Next Scheduled EDR Contact: 10/17/2011  
Data Release Frequency: No Update Planned

## LUST REG 4: Underground Storage Tank Leak List

Los Angeles, Ventura counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/07/2004  
Date Data Arrived at EDR: 09/07/2004  
Date Made Active in Reports: 10/12/2004  
Number of Days to Update: 35

Source: California Regional Water Quality Control Board Los Angeles Region (4)  
Telephone: 213-576-6710  
Last EDR Contact: 09/06/2011  
Next Scheduled EDR Contact: 12/19/2011  
Data Release Frequency: No Update Planned

## LUST REG 3: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Monterey, San Benito, San Luis Obispo, Santa Barbara, Santa Cruz counties.

Date of Government Version: 05/19/2003  
Date Data Arrived at EDR: 05/19/2003  
Date Made Active in Reports: 06/02/2003  
Number of Days to Update: 14

Source: California Regional Water Quality Control Board Central Coast Region (3)  
Telephone: 805-542-4786  
Last EDR Contact: 07/18/2011  
Next Scheduled EDR Contact: 10/31/2011  
Data Release Frequency: No Update Planned

## LUST REG 2: Fuel Leak List

Leaking Underground Storage Tank locations. Alameda, Contra Costa, Marin, Napa, San Francisco, San Mateo, Santa Clara, Solano, Sonoma counties.

Date of Government Version: 09/30/2004  
Date Data Arrived at EDR: 10/20/2004  
Date Made Active in Reports: 11/19/2004  
Number of Days to Update: 30

Source: California Regional Water Quality Control Board San Francisco Bay Region (2)  
Telephone: 510-622-2433  
Last EDR Contact: 09/19/2011  
Next Scheduled EDR Contact: 01/02/2012  
Data Release Frequency: Quarterly

## LUST REG 1: Active Toxic Site Investigation

Del Norte, Humboldt, Lake, Mendocino, Modoc, Siskiyou, Sonoma, Trinity counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/01/2001  
Date Data Arrived at EDR: 02/28/2001  
Date Made Active in Reports: 03/29/2001  
Number of Days to Update: 29

Source: California Regional Water Quality Control Board North Coast (1)  
Telephone: 707-570-3769  
Last EDR Contact: 08/01/2011  
Next Scheduled EDR Contact: 11/14/2011  
Data Release Frequency: No Update Planned

## INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 04/25/2018  
Date Data Arrived at EDR: 05/18/2018  
Date Made Active in Reports: 07/20/2018  
Number of Days to Update: 63

Source: EPA Region 8  
Telephone: 303-312-6271  
Last EDR Contact: 07/27/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 04/10/2018  
Date Data Arrived at EDR: 05/18/2018  
Date Made Active in Reports: 07/20/2018  
Number of Days to Update: 63

Source: Environmental Protection Agency  
Telephone: 415-972-3372  
Last EDR Contact: 07/27/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 04/24/2018	Source: EPA Region 7
Date Data Arrived at EDR: 05/18/2018	Telephone: 913-551-7003
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 04/12/2018	Source: EPA, Region 5
Date Data Arrived at EDR: 05/18/2018	Telephone: 312-886-7439
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 04/01/2018	Source: EPA Region 6
Date Data Arrived at EDR: 05/18/2018	Telephone: 214-665-6597
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 05/08/2018	Source: EPA Region 4
Date Data Arrived at EDR: 05/18/2018	Telephone: 404-562-8677
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 04/13/2018	Source: EPA Region 1
Date Data Arrived at EDR: 05/18/2018	Telephone: 617-918-1313
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 04/12/2018	Source: EPA Region 10
Date Data Arrived at EDR: 05/18/2018	Telephone: 206-553-2857
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### CPS-SLIC: Statewide SLIC Cases (GEOTRACKER)

Cleanup Program Sites (CPS; also known as Site Cleanups [SC] and formerly known as Spills, Leaks, Investigations, and Cleanups [SLIC] sites) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 866-480-1028
Date Made Active in Reports: 07/17/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 34	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## SLIC REG 1: Active Toxic Site Investigations

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2003  
Date Data Arrived at EDR: 04/07/2003  
Date Made Active in Reports: 04/25/2003  
Number of Days to Update: 18

Source: California Regional Water Quality Control Board, North Coast Region (1)  
Telephone: 707-576-2220  
Last EDR Contact: 08/01/2011  
Next Scheduled EDR Contact: 11/14/2011  
Data Release Frequency: No Update Planned

## SLIC REG 2: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/30/2004  
Date Data Arrived at EDR: 10/20/2004  
Date Made Active in Reports: 11/19/2004  
Number of Days to Update: 30

Source: Regional Water Quality Control Board San Francisco Bay Region (2)  
Telephone: 510-286-0457  
Last EDR Contact: 09/19/2011  
Next Scheduled EDR Contact: 01/02/2012  
Data Release Frequency: Quarterly

## SLIC REG 3: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/18/2006  
Date Data Arrived at EDR: 05/18/2006  
Date Made Active in Reports: 06/15/2006  
Number of Days to Update: 28

Source: California Regional Water Quality Control Board Central Coast Region (3)  
Telephone: 805-549-3147  
Last EDR Contact: 07/18/2011  
Next Scheduled EDR Contact: 10/31/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 4: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/17/2004  
Date Data Arrived at EDR: 11/18/2004  
Date Made Active in Reports: 01/04/2005  
Number of Days to Update: 47

Source: Region Water Quality Control Board Los Angeles Region (4)  
Telephone: 213-576-6600  
Last EDR Contact: 07/01/2011  
Next Scheduled EDR Contact: 10/17/2011  
Data Release Frequency: Varies

## SLIC REG 5: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/01/2005  
Date Data Arrived at EDR: 04/05/2005  
Date Made Active in Reports: 04/21/2005  
Number of Days to Update: 16

Source: Regional Water Quality Control Board Central Valley Region (5)  
Telephone: 916-464-3291  
Last EDR Contact: 09/12/2011  
Next Scheduled EDR Contact: 12/26/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 6V: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/24/2005  
Date Data Arrived at EDR: 05/25/2005  
Date Made Active in Reports: 06/16/2005  
Number of Days to Update: 22

Source: Regional Water Quality Control Board, Victorville Branch  
Telephone: 619-241-6583  
Last EDR Contact: 08/15/2011  
Next Scheduled EDR Contact: 11/28/2011  
Data Release Frequency: Semi-Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## SLIC REG 6L: SLIC Sites

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/07/2004  
Date Data Arrived at EDR: 09/07/2004  
Date Made Active in Reports: 10/12/2004  
Number of Days to Update: 35

Source: California Regional Water Quality Control Board, Lahontan Region  
Telephone: 530-542-5574  
Last EDR Contact: 08/15/2011  
Next Scheduled EDR Contact: 11/28/2011  
Data Release Frequency: No Update Planned

## SLIC REG 7: SLIC List

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/24/2004  
Date Data Arrived at EDR: 11/29/2004  
Date Made Active in Reports: 01/04/2005  
Number of Days to Update: 36

Source: California Regional Quality Control Board, Colorado River Basin Region  
Telephone: 760-346-7491  
Last EDR Contact: 08/01/2011  
Next Scheduled EDR Contact: 11/14/2011  
Data Release Frequency: No Update Planned

## SLIC REG 8: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2008  
Date Data Arrived at EDR: 04/03/2008  
Date Made Active in Reports: 04/14/2008  
Number of Days to Update: 11

Source: California Region Water Quality Control Board Santa Ana Region (8)  
Telephone: 951-782-3298  
Last EDR Contact: 09/12/2011  
Next Scheduled EDR Contact: 12/26/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 9: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/10/2007  
Date Data Arrived at EDR: 09/11/2007  
Date Made Active in Reports: 09/28/2007  
Number of Days to Update: 17

Source: California Regional Water Quality Control Board San Diego Region (9)  
Telephone: 858-467-2980  
Last EDR Contact: 08/08/2011  
Next Scheduled EDR Contact: 11/21/2011  
Data Release Frequency: Annually

## **State and tribal registered storage tank lists**

### FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 05/15/2017  
Date Data Arrived at EDR: 05/30/2017  
Date Made Active in Reports: 10/13/2017  
Number of Days to Update: 136

Source: FEMA  
Telephone: 202-646-5797  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Varies

### MILITARY UST SITES: Military UST Sites (GEOTRACKER)

Military ust sites

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 35

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 12/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## UST: Active UST Facilities

Active UST facilities gathered from the local regulatory agencies

Date of Government Version: 06/11/2018	Source: SWRCB
Date Data Arrived at EDR: 06/13/2018	Telephone: 916-341-5851
Date Made Active in Reports: 07/09/2018	Last EDR Contact: 09/12/2018
Number of Days to Update: 26	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Semi-Annually

## UST CLOSURE: Proposed Closure of Underground Storage Tank (UST) Cases

UST cases that are being considered for closure by either the State Water Resources Control Board or the Executive Director have been posted for a 60-day public comment period. UST Case Closures being proposed for consideration by the State Water Resources Control Board. These are primarily UST cases that meet closure criteria under the decisional framework in State Water Board Resolution No. 92-49 and other Board orders. UST Case Closures proposed for consideration by the Executive Director pursuant to State Water Board Resolution No. 2012-0061. These are cases that meet the criteria of the Low-Threat UST Case Closure Policy. UST Case Closure Review Denials and Approved Orders.

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 916-327-7844
Date Made Active in Reports: 07/10/2018	Last EDR Contact: 09/12/2018
Number of Days to Update: 27	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Varies

## AST: Aboveground Petroleum Storage Tank Facilities

A listing of aboveground storage tank petroleum storage tank locations.

Date of Government Version: 07/06/2016	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 07/12/2016	Telephone: 916-327-5092
Date Made Active in Reports: 09/19/2016	Last EDR Contact: 09/17/2018
Number of Days to Update: 69	Next Scheduled EDR Contact: 12/31/2018
	Data Release Frequency: Quarterly

## INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 04/10/2018	Source: EPA Region 9
Date Data Arrived at EDR: 05/18/2018	Telephone: 415-972-3368
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

## INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 04/25/2018	Source: EPA Region 8
Date Data Arrived at EDR: 05/18/2018	Telephone: 303-312-6137
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

## INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 04/24/2018	Source: EPA Region 7
Date Data Arrived at EDR: 05/18/2018	Telephone: 913-551-7003
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/01/2018	Source: EPA Region 6
Date Data Arrived at EDR: 05/18/2018	Telephone: 214-665-7591
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 04/12/2018	Source: EPA Region 10
Date Data Arrived at EDR: 05/18/2018	Telephone: 206-553-2857
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 04/13/2018	Source: EPA, Region 1
Date Data Arrived at EDR: 05/18/2018	Telephone: 617-918-1313
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 05/08/2018	Source: EPA Region 4
Date Data Arrived at EDR: 05/18/2018	Telephone: 404-562-9424
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 04/12/2018	Source: EPA Region 5
Date Data Arrived at EDR: 05/18/2018	Telephone: 312-886-6136
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

### ***State and tribal voluntary cleanup sites***

#### VCP: Voluntary Cleanup Program Properties

Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/30/2018  
Date Data Arrived at EDR: 07/31/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 38

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 07/31/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Quarterly

## INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008  
Date Data Arrived at EDR: 04/22/2008  
Date Made Active in Reports: 05/19/2008  
Number of Days to Update: 27

Source: EPA, Region 7  
Telephone: 913-551-7365  
Last EDR Contact: 04/20/2009  
Next Scheduled EDR Contact: 07/20/2009  
Data Release Frequency: Varies

## INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015  
Date Data Arrived at EDR: 09/29/2015  
Date Made Active in Reports: 02/18/2016  
Number of Days to Update: 142

Source: EPA, Region 1  
Telephone: 617-918-1102  
Last EDR Contact: 06/22/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Varies

## **State and tribal Brownfields sites**

### BROWNFIELDS: Considered Brownfields Sites Listing

A listing of sites the SWRCB considers to be Brownfields since these are sites have come to them through the MOA Process.

Date of Government Version: 06/25/2018  
Date Data Arrived at EDR: 06/27/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 40

Source: State Water Resources Control Board  
Telephone: 916-323-7905  
Last EDR Contact: 06/27/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Quarterly

## **ADDITIONAL ENVIRONMENTAL RECORDS**

### **Local Brownfield lists**

#### US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/18/2018  
Date Data Arrived at EDR: 06/20/2018  
Date Made Active in Reports: 09/14/2018  
Number of Days to Update: 86

Source: Environmental Protection Agency  
Telephone: 202-566-2777  
Last EDR Contact: 06/20/2018  
Next Scheduled EDR Contact: 10/01/2018  
Data Release Frequency: Semi-Annually

### **Local Lists of Landfill / Solid Waste Disposal Sites**

#### WMUDS/SWAT: Waste Management Unit Database

Waste Management Unit Database System. WMUDS is used by the State Water Resources Control Board staff and the Regional Water Quality Control Boards for program tracking and inventory of waste management units. WMUDS is composed of the following databases: Facility Information, Scheduled Inspections Information, Waste Management Unit Information, SWAT Program Information, SWAT Report Summary Information, SWAT Report Summary Data, Chapter 15 (formerly Subchapter 15) Information, Chapter 15 Monitoring Parameters, TPCA Program Information, RCRA Program Information, Closure Information, and Interested Parties Information.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/01/2000  
Date Data Arrived at EDR: 04/10/2000  
Date Made Active in Reports: 05/10/2000  
Number of Days to Update: 30

Source: State Water Resources Control Board  
Telephone: 916-227-4448  
Last EDR Contact: 07/24/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: No Update Planned

## SWRCY: Recycler Database

A listing of recycling facilities in California.

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 54

Source: Department of Conservation  
Telephone: 916-323-3836  
Last EDR Contact: 09/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Quarterly

## HAULERS: Registered Waste Tire Haulers Listing

A listing of registered waste tire haulers.

Date of Government Version: 05/29/2018  
Date Data Arrived at EDR: 05/30/2018  
Date Made Active in Reports: 07/17/2018  
Number of Days to Update: 48

Source: Integrated Waste Management Board  
Telephone: 916-341-6422  
Last EDR Contact: 08/07/2018  
Next Scheduled EDR Contact: 11/26/2018  
Data Release Frequency: Varies

## INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998  
Date Data Arrived at EDR: 12/03/2007  
Date Made Active in Reports: 01/24/2008  
Number of Days to Update: 52

Source: Environmental Protection Agency  
Telephone: 703-308-8245  
Last EDR Contact: 07/30/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Varies

## DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009  
Date Data Arrived at EDR: 05/07/2009  
Date Made Active in Reports: 09/21/2009  
Number of Days to Update: 137

Source: EPA, Region 9  
Telephone: 415-947-4219  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: No Update Planned

## ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985  
Date Data Arrived at EDR: 08/09/2004  
Date Made Active in Reports: 09/17/2004  
Number of Days to Update: 39

Source: Environmental Protection Agency  
Telephone: 800-424-9346  
Last EDR Contact: 06/09/2004  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014  
Date Data Arrived at EDR: 08/06/2014  
Date Made Active in Reports: 01/29/2015  
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service  
Telephone: 301-443-1452  
Last EDR Contact: 08/03/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Varies



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## **Local Lists of Hazardous waste / Contaminated Sites**

### **US HIST CDL: National Clandestine Laboratory Register**

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 05/18/2018	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 06/20/2018	Telephone: 202-307-1000
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 05/30/2018
Number of Days to Update: 86	Next Scheduled EDR Contact: 09/10/2018
	Data Release Frequency: No Update Planned

### **HIST CAL-SITES: Calsites Database**

The Calsites database contains potential or confirmed hazardous substance release properties. In 1996, California EPA reevaluated and significantly reduced the number of sites in the Calsites database. No longer updated by the state agency. It has been replaced by ENVIROSTOR.

Date of Government Version: 08/08/2005	Source: Department of Toxic Substance Control
Date Data Arrived at EDR: 08/03/2006	Telephone: 916-323-3400
Date Made Active in Reports: 08/24/2006	Last EDR Contact: 02/23/2009
Number of Days to Update: 21	Next Scheduled EDR Contact: 05/25/2009
	Data Release Frequency: No Update Planned

### **SCH: School Property Evaluation Program**

This category contains proposed and existing school sites that are being evaluated by DTSC for possible hazardous materials contamination. In some cases, these properties may be listed in the CalSites category depending on the level of threat to public health and safety or the environment they pose.

Date of Government Version: 07/30/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 07/31/2018	Telephone: 916-323-3400
Date Made Active in Reports: 09/07/2018	Last EDR Contact: 07/31/2018
Number of Days to Update: 38	Next Scheduled EDR Contact: 11/12/2018
	Data Release Frequency: Quarterly

### **CDL: Clandestine Drug Labs**

A listing of drug lab locations. Listing of a location in this database does not indicate that any illegal drug lab materials were or were not present there, and does not constitute a determination that the location either requires or does not require additional cleanup work.

Date of Government Version: 12/31/2017	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 06/12/2018	Telephone: 916-255-6504
Date Made Active in Reports: 08/06/2018	Last EDR Contact: 08/17/2018
Number of Days to Update: 55	Next Scheduled EDR Contact: 10/22/2018
	Data Release Frequency: Varies

### **TOXIC PITS: Toxic Pits Cleanup Act Sites**

Toxic PITS Cleanup Act Sites. TOXIC PITS identifies sites suspected of containing hazardous substances where cleanup has not yet been completed.

Date of Government Version: 07/01/1995	Source: State Water Resources Control Board
Date Data Arrived at EDR: 08/30/1995	Telephone: 916-227-4364
Date Made Active in Reports: 09/26/1995	Last EDR Contact: 01/26/2009
Number of Days to Update: 27	Next Scheduled EDR Contact: 04/27/2009
	Data Release Frequency: No Update Planned

### **US CDL: Clandestine Drug Labs**

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/18/2018  
Date Data Arrived at EDR: 06/20/2018  
Date Made Active in Reports: 09/14/2018  
Number of Days to Update: 86

Source: Drug Enforcement Administration  
Telephone: 202-307-1000  
Last EDR Contact: 08/28/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Quarterly

## CERS HAZ WASTE: CERS HAZ WASTE

List of sites in the California Environmental Protection Agency (CalEPA) Regulated Site Portal which fall under the Hazardous Chemical Management, Hazardous Waste Onsite Treatment, Household Hazardous Waste Collection, Hazardous Waste Generator, and RCRA LQ HW Generator programs.

Date of Government Version: 07/23/2018  
Date Data Arrived at EDR: 07/25/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 42

Source: CalEPA  
Telephone: 916-323-2514  
Last EDR Contact: 07/25/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Quarterly

## Local Lists of Registered Storage Tanks

### SWEEPS UST: SWEEPS UST Listing

Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

Date of Government Version: 06/01/1994  
Date Data Arrived at EDR: 07/07/2005  
Date Made Active in Reports: 08/11/2005  
Number of Days to Update: 35

Source: State Water Resources Control Board  
Telephone: N/A  
Last EDR Contact: 06/03/2005  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

### UST MENDOCINO: Mendocino County UST Database

A listing of underground storage tank locations in Mendocino County.

Date of Government Version: 03/28/2018  
Date Data Arrived at EDR: 05/25/2018  
Date Made Active in Reports: 07/10/2018  
Number of Days to Update: 46

Source: Department of Public Health  
Telephone: 707-463-4466  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Annually

### HIST UST: Hazardous Substance Storage Container Database

The Hazardous Substance Storage Container Database is a historical listing of UST sites. Refer to local/county source for current data.

Date of Government Version: 10/15/1990  
Date Data Arrived at EDR: 01/25/1991  
Date Made Active in Reports: 02/12/1991  
Number of Days to Update: 18

Source: State Water Resources Control Board  
Telephone: 916-341-5851  
Last EDR Contact: 07/26/2001  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

### SAN FRANCISCO AST: Aboveground Storage Tank Site Listing

Aboveground storage tank sites

Date of Government Version: 04/19/2018  
Date Data Arrived at EDR: 04/24/2018  
Date Made Active in Reports: 05/04/2018  
Number of Days to Update: 10

Source: San Francisco County Department of Public Health  
Telephone: 415-252-3896  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Varies

### CA FID UST: Facility Inventory Database

The Facility Inventory Database (FID) contains a historical listing of active and inactive underground storage tank locations from the State Water Resource Control Board. Refer to local/county source for current data.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/31/1994  
Date Data Arrived at EDR: 09/05/1995  
Date Made Active in Reports: 09/29/1995  
Number of Days to Update: 24

Source: California Environmental Protection Agency  
Telephone: 916-341-5851  
Last EDR Contact: 12/28/1998  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## CERS TANKS: California Environmental Reporting System (CERS) Tanks

List of sites in the California Environmental Protection Agency (CalEPA) Regulated Site Portal which fall under the Aboveground Petroleum Storage and Underground Storage Tank regulatory programs.

Date of Government Version: 07/23/2018  
Date Data Arrived at EDR: 07/25/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 42

Source: California Environmental Protection Agency  
Telephone: 916-323-2514  
Last EDR Contact: 07/25/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Quarterly

## Local Land Records

### LIENS: Environmental Liens Listing

A listing of property locations with environmental liens for California where DTSC is a lien holder.

Date of Government Version: 05/31/2018  
Date Data Arrived at EDR: 06/05/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 43

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Varies

### LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 05/13/2018  
Date Data Arrived at EDR: 05/30/2018  
Date Made Active in Reports: 06/29/2018  
Number of Days to Update: 30

Source: Environmental Protection Agency  
Telephone: 202-564-6023  
Last EDR Contact: 08/09/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Semi-Annually

### DEED: Deed Restriction Listing

Site Mitigation and Brownfields Reuse Program Facility Sites with Deed Restrictions & Hazardous Waste Management Program Facility Sites with Deed / Land Use Restriction. The DTSC Site Mitigation and Brownfields Reuse Program (SMBRP) list includes sites cleaned up under the program's oversight and generally does not include current or former hazardous waste facilities that required a hazardous waste facility permit. The list represents deed restrictions that are active. Some sites have multiple deed restrictions. The DTSC Hazardous Waste Management Program (HWMP) has developed a list of current or former hazardous waste facilities that have a recorded land use restriction at the local county recorder's office. The land use restrictions on this list were required by the DTSC HWMP as a result of the presence of hazardous substances that remain on site after the facility (or part of the facility) has been closed or cleaned up. The types of land use restriction include deed notice, deed restriction, or a land use restriction that binds current and future owners.

Date of Government Version: 06/04/2018  
Date Data Arrived at EDR: 06/06/2018  
Date Made Active in Reports: 07/17/2018  
Number of Days to Update: 41

Source: DTSC and SWRCB  
Telephone: 916-323-3400  
Last EDR Contact: 09/05/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Semi-Annually

## Records of Emergency Release Reports

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 03/26/2018	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 03/27/2018	Telephone: 202-366-4555
Date Made Active in Reports: 06/08/2018	Last EDR Contact: 03/27/2018
Number of Days to Update: 73	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

## CHMIRS: California Hazardous Material Incident Report System

California Hazardous Material Incident Reporting System. CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).

Date of Government Version: 04/06/2018	Source: Office of Emergency Services
Date Data Arrived at EDR: 04/24/2018	Telephone: 916-845-8400
Date Made Active in Reports: 06/14/2018	Last EDR Contact: 07/27/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Semi-Annually

## LDS: Land Disposal Sites Listing (GEOTRACKER)

Land Disposal sites (Landfills) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 06/11/2018	Source: State Water Quality Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 866-480-1028
Date Made Active in Reports: 07/17/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 34	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Quarterly

## MCS: Military Cleanup Sites Listing (GEOTRACKER)

Military sites (consisting of: Military UST sites; Military Privatized sites; and Military Cleanup sites [formerly known as DoD non UST]) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 866-480-1028
Date Made Active in Reports: 07/17/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 34	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Quarterly

## SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 06/06/2012	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 02/22/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 50	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## **Other Ascertainable Records**

### RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/01/2018  
Date Data Arrived at EDR: 03/28/2018  
Date Made Active in Reports: 06/22/2018  
Number of Days to Update: 86

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 06/28/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Quarterly

## FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 01/31/2015  
Date Data Arrived at EDR: 07/08/2015  
Date Made Active in Reports: 10/13/2015  
Number of Days to Update: 97

Source: U.S. Army Corps of Engineers  
Telephone: 202-528-4285  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005  
Date Data Arrived at EDR: 11/10/2006  
Date Made Active in Reports: 01/11/2007  
Number of Days to Update: 62

Source: USGS  
Telephone: 888-275-8747  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Semi-Annually

## FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005  
Date Data Arrived at EDR: 02/06/2006  
Date Made Active in Reports: 01/11/2007  
Number of Days to Update: 339

Source: U.S. Geological Survey  
Telephone: 888-275-8747  
Last EDR Contact: 07/13/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: N/A

## SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017  
Date Data Arrived at EDR: 02/03/2017  
Date Made Active in Reports: 04/07/2017  
Number of Days to Update: 63

Source: Environmental Protection Agency  
Telephone: 615-532-8599  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 11/26/2018  
Data Release Frequency: Varies

## US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 03/01/2018  
Date Data Arrived at EDR: 03/27/2018  
Date Made Active in Reports: 06/22/2018  
Number of Days to Update: 87

Source: Environmental Protection Agency  
Telephone: 202-566-1917  
Last EDR Contact: 06/27/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 08/03/2018
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/19/2018
	Data Release Frequency: Quarterly

## 2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/08/2018	Telephone: 703-308-4044
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 08/10/2018
Number of Days to Update: 73	Next Scheduled EDR Contact: 11/19/2018
	Data Release Frequency: Varies

## TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 06/21/2017	Telephone: 202-260-5521
Date Made Active in Reports: 01/05/2018	Last EDR Contact: 06/22/2018
Number of Days to Update: 198	Next Scheduled EDR Contact: 10/01/2018
	Data Release Frequency: Every 4 Years

## TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 01/10/2018	Telephone: 202-566-0250
Date Made Active in Reports: 01/12/2018	Last EDR Contact: 08/24/2018
Number of Days to Update: 2	Next Scheduled EDR Contact: 12/03/2018
	Data Release Frequency: Annually

## SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-564-4203
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 07/27/2018
Number of Days to Update: 77	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 05/13/2018	Source: EPA
Date Data Arrived at EDR: 05/30/2018	Telephone: 703-416-0223
Date Made Active in Reports: 06/29/2018	Last EDR Contact: 09/07/2018
Number of Days to Update: 30	Next Scheduled EDR Contact: 12/17/2018
	Data Release Frequency: Annually

## RMP: Risk Management Plans

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 05/01/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/17/2018	Telephone: 202-564-8600
Date Made Active in Reports: 09/07/2018	Last EDR Contact: 07/20/2018
Number of Days to Update: 113	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

## RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

## PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 10/25/2013	Source: EPA
Date Data Arrived at EDR: 10/17/2014	Telephone: 202-564-6023
Date Made Active in Reports: 10/20/2014	Last EDR Contact: 08/09/2018
Number of Days to Update: 3	Next Scheduled EDR Contact: 11/19/2018
	Data Release Frequency: Quarterly

## PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 06/01/2017	Source: EPA
Date Data Arrived at EDR: 06/09/2017	Telephone: 202-566-0500
Date Made Active in Reports: 10/13/2017	Last EDR Contact: 07/13/2018
Number of Days to Update: 126	Next Scheduled EDR Contact: 10/22/2018
	Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 07/09/2018
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/22/2018
	Data Release Frequency: Quarterly

**FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)**  
FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: Quarterly

**FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)**  
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: Quarterly

## MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 08/30/2016	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 09/08/2016	Telephone: 301-415-7169
Date Made Active in Reports: 10/21/2016	Last EDR Contact: 07/23/2018
Number of Days to Update: 43	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Quarterly

## COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005	Source: Department of Energy
Date Data Arrived at EDR: 08/07/2009	Telephone: 202-586-8719
Date Made Active in Reports: 10/22/2009	Last EDR Contact: 09/07/2018
Number of Days to Update: 76	Next Scheduled EDR Contact: 12/17/2018
	Data Release Frequency: Varies

## COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 07/01/2014	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/10/2014	Telephone: N/A
Date Made Active in Reports: 10/20/2014	Last EDR Contact: 09/04/2018
Number of Days to Update: 40	Next Scheduled EDR Contact: 12/17/2018
	Data Release Frequency: Varies



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 05/24/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/30/2017	Telephone: 202-566-0517
Date Made Active in Reports: 12/15/2017	Last EDR Contact: 07/27/2018
Number of Days to Update: 15	Next Scheduled EDR Contact: 11/05/2018
	Data Release Frequency: Varies

## RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 04/03/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/05/2018	Telephone: 202-343-9775
Date Made Active in Reports: 06/29/2018	Last EDR Contact: 07/05/2018
Number of Days to Update: 85	Next Scheduled EDR Contact: 10/15/2018
	Data Release Frequency: Quarterly

## HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

## HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2008
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

## DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/31/2012	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 08/07/2012	Telephone: 202-366-4595
Date Made Active in Reports: 09/18/2012	Last EDR Contact: 08/09/2018
Number of Days to Update: 42	Next Scheduled EDR Contact: 11/12/2018
	Data Release Frequency: Varies

## CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/31/2018  
Date Data Arrived at EDR: 04/16/2018  
Date Made Active in Reports: 06/29/2018  
Number of Days to Update: 74

Source: Department of Justice, Consent Decree Library  
Telephone: Varies  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/31/2018  
Data Release Frequency: Varies

## BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2015  
Date Data Arrived at EDR: 02/22/2017  
Date Made Active in Reports: 09/28/2017  
Number of Days to Update: 218

Source: EPA/NTIS  
Telephone: 800-424-9346  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Biennially

## INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014  
Date Data Arrived at EDR: 07/14/2015  
Date Made Active in Reports: 01/10/2017  
Number of Days to Update: 546

Source: USGS  
Telephone: 202-208-3710  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Semi-Annually

## FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 08/08/2017  
Date Data Arrived at EDR: 09/11/2018  
Date Made Active in Reports: 09/14/2018  
Number of Days to Update: 3

Source: Department of Energy  
Telephone: 202-586-3559  
Last EDR Contact: 09/11/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Varies

## UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 06/23/2017  
Date Data Arrived at EDR: 10/11/2017  
Date Made Active in Reports: 11/03/2017  
Number of Days to Update: 23

Source: Department of Energy  
Telephone: 505-845-0011  
Last EDR Contact: 08/20/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 05/13/2018  
Date Data Arrived at EDR: 05/30/2018  
Date Made Active in Reports: 06/29/2018  
Number of Days to Update: 30

Source: Environmental Protection Agency  
Telephone: 703-603-8787  
Last EDR Contact: 08/09/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Varies

## LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/05/2001  
Date Data Arrived at EDR: 10/27/2010  
Date Made Active in Reports: 12/02/2010  
Number of Days to Update: 36

Source: American Journal of Public Health  
Telephone: 703-305-6451  
Last EDR Contact: 12/02/2009  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

Date of Government Version: 10/12/2016  
Date Data Arrived at EDR: 10/26/2016  
Date Made Active in Reports: 02/03/2017  
Number of Days to Update: 100

Source: EPA  
Telephone: 202-564-2496  
Last EDR Contact: 09/26/2017  
Next Scheduled EDR Contact: 01/08/2018  
Data Release Frequency: Annually

## US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/12/2016  
Date Data Arrived at EDR: 10/26/2016  
Date Made Active in Reports: 02/03/2017  
Number of Days to Update: 100

Source: EPA  
Telephone: 202-564-2496  
Last EDR Contact: 09/26/2017  
Next Scheduled EDR Contact: 01/08/2018  
Data Release Frequency: Annually

## US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 05/03/2018  
Date Data Arrived at EDR: 05/31/2018  
Date Made Active in Reports: 06/29/2018  
Number of Days to Update: 29

Source: Department of Labor, Mine Safety and Health Administration  
Telephone: 303-231-5959  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Semi-Annually

## US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 12/05/2005  
Date Data Arrived at EDR: 02/29/2008  
Date Made Active in Reports: 04/18/2008  
Number of Days to Update: 49

Source: USGS  
Telephone: 703-648-7709  
Last EDR Contact: 08/31/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Varies

## US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011  
Date Data Arrived at EDR: 06/08/2011  
Date Made Active in Reports: 09/13/2011  
Number of Days to Update: 97

Source: USGS  
Telephone: 703-648-7709  
Last EDR Contact: 08/31/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Date of Government Version: 09/10/2018	Source: Department of Interior
Date Data Arrived at EDR: 09/11/2018	Telephone: 202-208-2609
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 09/10/2018
Number of Days to Update: 3	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Quarterly

## FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 02/21/2018	Source: EPA
Date Data Arrived at EDR: 02/23/2018	Telephone: (415) 947-8000
Date Made Active in Reports: 03/23/2018	Last EDR Contact: 09/05/2018
Number of Days to Update: 28	Next Scheduled EDR Contact: 12/17/2018
	Data Release Frequency: Quarterly

## UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 09/30/2017	Source: Department of Defense
Date Data Arrived at EDR: 06/19/2018	Telephone: 703-704-1564
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 07/13/2018
Number of Days to Update: 87	Next Scheduled EDR Contact: 10/29/2018
	Data Release Frequency: Varies

## ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 09/02/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/05/2018	Telephone: 202-564-2280
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 09/05/2018
Number of Days to Update: 9	Next Scheduled EDR Contact: 12/17/2018
	Data Release Frequency: Quarterly

## DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 01/04/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/19/2018	Telephone: 202-564-0527
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 08/31/2018
Number of Days to Update: 84	Next Scheduled EDR Contact: 12/10/2018
	Data Release Frequency: Varies

## FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/21/2018  
Date Data Arrived at EDR: 05/23/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 107

Source: EPA  
Telephone: 800-385-6164  
Last EDR Contact: 08/22/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Quarterly

## CA BOND EXP. PLAN: Bond Expenditure Plan

Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds. It is not updated.

Date of Government Version: 01/01/1989  
Date Data Arrived at EDR: 07/27/1994  
Date Made Active in Reports: 08/02/1994  
Number of Days to Update: 6

Source: Department of Health Services  
Telephone: 916-255-2118  
Last EDR Contact: 05/31/1994  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## CORTESE: "Cortese" Hazardous Waste & Substances Sites List

The sites for the list are designated by the State Water Resource Control Board (LUST), the Integrated Waste Board (SWF/LS), and the Department of Toxic Substances Control (Cal-Sites).

Date of Government Version: 06/25/2018  
Date Data Arrived at EDR: 06/27/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 40

Source: CAL EPA/Office of Emergency Information  
Telephone: 916-323-3400  
Last EDR Contact: 06/27/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Quarterly

## CUPA SAN FRANCISCO CO: CUPA SAN FRANCISCO CO

Cupa facilities

Date of Government Version: 04/20/2018  
Date Data Arrived at EDR: 04/24/2018  
Date Made Active in Reports: 05/04/2018  
Number of Days to Update: 10

Source: San Francisco County Department of Environmental Health  
Telephone: 415-252-3896  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Varies

## CUPA LIVERMORE-PLEASANTON: CUPA Facility Listing

list of facilities associated with the various CUPA programs in Livermore-Pleasanton

Date of Government Version: 04/03/2018  
Date Data Arrived at EDR: 05/07/2018  
Date Made Active in Reports: 06/15/2018  
Number of Days to Update: 39

Source: Livermore-Pleasanton Fire Department  
Telephone: 925-454-2361  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 11/26/2018  
Data Release Frequency: Varies

## DRYCLEAN AVAQMD: Antelope Valley Air Quality Management District Drycleaner Listing

A listing of dry cleaners in the Antelope Valley Air Quality Management District.

Date of Government Version: 06/25/2018  
Date Data Arrived at EDR: 06/28/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 39

Source: Antelope Valley Air Quality Management District  
Telephone: 661-723-8070  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Varies

## DRYCLEANERS: Cleaner Facilities

A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaner's agents; linen supply; coin-operated laundries and cleaning; drycleaning plants, except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/31/2018  
Date Data Arrived at EDR: 06/20/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 47

Source: Department of Toxic Substance Control  
Telephone: 916-327-4498  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Annually

## DRYCLEAN SOUTH COAST: DRYCLEAN SOUTH COAST

A listing of dry cleaners in the South Coast Air Quality Management District

Date of Government Version: 03/16/2018  
Date Data Arrived at EDR: 03/20/2018  
Date Made Active in Reports: 05/04/2018  
Number of Days to Update: 45

Source: South Coast Air Quality Management District  
Telephone: 909-396-3211  
Last EDR Contact: 08/22/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Varies

## EMI: Emissions Inventory Data

Toxics and criteria pollutant emissions data collected by the ARB and local air pollution agencies.

Date of Government Version: 12/31/2017  
Date Data Arrived at EDR: 06/20/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 47

Source: California Air Resources Board  
Telephone: 916-322-2990  
Last EDR Contact: 06/20/2018  
Next Scheduled EDR Contact: 10/01/2018  
Data Release Frequency: Varies

## ENF: Enforcement Action Listing

A listing of Water Board Enforcement Actions. Formal is everything except Oral/Verbal Communication, Notice of Violation, Expedited Payment Letter, and Staff Enforcement Letter.

Date of Government Version: 08/01/2018  
Date Data Arrived at EDR: 08/02/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 36

Source: State Water Resources Control Board  
Telephone: 916-445-9379  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## Financial Assurance 1: Financial Assurance Information Listing

Financial Assurance information

Date of Government Version: 07/17/2018  
Date Data Arrived at EDR: 07/24/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 48

Source: Department of Toxic Substances Control  
Telephone: 916-255-3628  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 08/14/2018  
Date Data Arrived at EDR: 08/16/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 25

Source: California Integrated Waste Management Board  
Telephone: 916-341-6066  
Last EDR Contact: 08/07/2018  
Next Scheduled EDR Contact: 11/26/2018  
Data Release Frequency: Varies

## HAZNET: Facility and Manifest Data

Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain some invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method. This database begins with calendar year 1993.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2016  
Date Data Arrived at EDR: 07/12/2017  
Date Made Active in Reports: 10/17/2017  
Number of Days to Update: 97

Source: California Environmental Protection Agency  
Telephone: 916-255-1136  
Last EDR Contact: 07/13/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Annually

## ICE: ICE

Contains data pertaining to the Permitted Facilities with Inspections / Enforcements sites tracked in Envirostor.

Date of Government Version: 08/20/2018  
Date Data Arrived at EDR: 08/21/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 20

Source: Department of Toxic Substances Control  
Telephone: 877-786-9427  
Last EDR Contact: 08/21/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Quarterly

## HIST CORTESE: Hazardous Waste & Substance Site List

The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSITES]. This listing is no longer updated by the state agency.

Date of Government Version: 04/01/2001  
Date Data Arrived at EDR: 01/22/2009  
Date Made Active in Reports: 04/08/2009  
Number of Days to Update: 76

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 01/22/2009  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## HWP: EnviroStor Permitted Facilities Listing

Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

Date of Government Version: 08/20/2018  
Date Data Arrived at EDR: 08/21/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 20

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 08/21/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Quarterly

## HWT: Registered Hazardous Waste Transporter Database

A listing of hazardous waste transporters. In California, unless specifically exempted, it is unlawful for any person to transport hazardous wastes unless the person holds a valid registration issued by DTSC. A hazardous waste transporter registration is valid for one year and is assigned a unique registration number.

Date of Government Version: 07/09/2018  
Date Data Arrived at EDR: 07/11/2018  
Date Made Active in Reports: 08/24/2018  
Number of Days to Update: 44

Source: Department of Toxic Substances Control  
Telephone: 916-440-7145  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Quarterly

## MINES: Mines Site Location Listing

A listing of mine site locations from the Office of Mine Reclamation.

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 54

Source: Department of Conservation  
Telephone: 916-322-1080  
Last EDR Contact: 09/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Quarterly

## MWMP: Medical Waste Management Program Listing

The Medical Waste Management Program (MWMP) ensures the proper handling and disposal of medical waste by permitting and inspecting medical waste Offsite Treatment Facilities (PDF) and Transfer Stations (PDF) throughout the state. MWMP also oversees all Medical Waste Transporters.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/23/2018  
Date Data Arrived at EDR: 06/06/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 42

Source: Department of Public Health  
Telephone: 916-558-1784  
Last EDR Contact: 09/05/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Varies

## NPDES: NPDES Permits Listing

A listing of NPDES permits, including stormwater.

Date of Government Version: 08/09/2018  
Date Data Arrived at EDR: 08/10/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 31

Source: State Water Resources Control Board  
Telephone: 916-445-9379  
Last EDR Contact: 08/10/2018  
Next Scheduled EDR Contact: 11/26/2018  
Data Release Frequency: Quarterly

## PEST LIC: Pesticide Regulation Licenses Listing

A listing of licenses and certificates issued by the Department of Pesticide Regulation. The DPR issues licenses and/or certificates to: Persons and businesses that apply or sell pesticides; Pest control dealers and brokers; Persons who advise on agricultural pesticide applications.

Date of Government Version: 06/04/2018  
Date Data Arrived at EDR: 06/06/2018  
Date Made Active in Reports: 07/19/2018  
Number of Days to Update: 43

Source: Department of Pesticide Regulation  
Telephone: 916-445-4038  
Last EDR Contact: 09/05/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Quarterly

## PROC: Certified Processors Database

A listing of certified processors.

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 54

Source: Department of Conservation  
Telephone: 916-323-3836  
Last EDR Contact: 09/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Quarterly

## NOTIFY 65: Proposition 65 Records

Listings of all Proposition 65 incidents reported to counties by the State Water Resources Control Board and the Regional Water Quality Control Board. This database is no longer updated by the reporting agency.

Date of Government Version: 06/18/2018  
Date Data Arrived at EDR: 06/20/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 47

Source: State Water Resources Control Board  
Telephone: 916-445-3846  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/31/2018  
Data Release Frequency: No Update Planned

## UIC: UIC Listing

A listing of wells identified as underground injection wells, in the California Oil and Gas Wells database.

Date of Government Version: 04/27/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 07/17/2018  
Number of Days to Update: 34

Source: Department of Conservation  
Telephone: 916-445-2408  
Last EDR Contact: 09/13/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Varies

## WASTEWATER PITS: Oil Wastewater Pits Listing

Water officials discovered that oil producers have been dumping chemical-laden wastewater into hundreds of unlined pits that are operating without proper permits. Inspections completed by the Central Valley Regional Water Quality Control Board revealed the existence of previously unidentified waste sites. The water boards review found that more than one-third of the region's active disposal pits are operating without permission.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/08/2018  
Date Data Arrived at EDR: 07/11/2018  
Date Made Active in Reports: 09/13/2018  
Number of Days to Update: 64

Source: RWQCB, Central Valley Region  
Telephone: 559-445-5577  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Varies

## WDS: Waste Discharge System

Sites which have been issued waste discharge requirements.

Date of Government Version: 06/19/2007  
Date Data Arrived at EDR: 06/20/2007  
Date Made Active in Reports: 06/29/2007  
Number of Days to Update: 9

Source: State Water Resources Control Board  
Telephone: 916-341-5227  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Quarterly

## WIP: Well Investigation Program Case List

Well Investigation Program case in the San Gabriel and San Fernando Valley area.

Date of Government Version: 07/03/2009  
Date Data Arrived at EDR: 07/21/2009  
Date Made Active in Reports: 08/03/2009  
Number of Days to Update: 13

Source: Los Angeles Water Quality Control Board  
Telephone: 213-576-6726  
Last EDR Contact: 06/25/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Varies

## CERS: CalEPA Regulated Site Portal Data

The CalEPA Regulated Site Portal database combines data about environmentally regulated sites and facilities in California into a single database. It combines data from a variety of state and federal databases, and provides an overview of regulated activities across the spectrum of environmental programs for any given location in California. These activities include hazardous materials and waste, state and federal cleanups, impacted ground and surface waters, and toxic materials

Date of Government Version: 07/23/2018  
Date Data Arrived at EDR: 07/25/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 42

Source: California Environmental Protection Agency  
Telephone: 916-323-2514  
Last EDR Contact: 07/25/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## MILITARY PRIV SITES: Military Privatized Sites (GEOTRACKER)

Military privatized sites

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 35

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 12/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Varies

## NON-CASE INFO: Non-Case Information Sites (GEOTRACKER)

Non-Case Information sites

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 35

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 12/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Varies

## OTHER OIL GAS: Other Oil & Gas Projects Sites (GEOTRACKER)

Other Oil & Gas Projects sites

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 35

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 12/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CIWQS: California Integrated Water Quality System

The California Integrated Water Quality System (CIWQS) is a computer system used by the State and Regional Water Quality Control Boards to track information about places of environmental interest, manage permits and other orders, track inspections, and manage violations and enforcement activities.

Date of Government Version: 06/04/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/06/2018	Telephone: 866-794-4977
Date Made Active in Reports: 07/13/2018	Last EDR Contact: 09/05/2018
Number of Days to Update: 37	Next Scheduled EDR Contact: 12/17/2018
	Data Release Frequency: Varies

## WDR: Waste Discharge Requirements Listing

In general, the Waste Discharge Requirements (WDRs) Program (sometimes also referred to as the "Non Chapter 15 (Non 15) Program") regulates point discharges that are exempt pursuant to Subsection 20090 of Title 27 and not subject to the Federal Water Pollution Control Act. Exemptions from Title 27 may be granted for nine categories of discharges (e.g., sewage, wastewater, etc.) that meet, and continue to meet, the preconditions listed for each specific exemption. The scope of the WDRs Program also includes the discharge of wastes classified as inert, pursuant to section 20230 of Title 27.

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 916-341-5810
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 09/12/2018
Number of Days to Update: 93	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Quarterly

## WELL STIM PROJ: Well Stimulation Project (GEOTRACKER)

Includes areas of groundwater monitoring plans, a depiction of the monitoring network, and the facilities, boundaries, and subsurface characteristics of the oilfield and the features (oil and gas wells, produced water ponds, UIC wells, water supply wells, etc?) being monitored

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 866-480-1028
Date Made Active in Reports: 07/18/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 35	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Varies

## PROD WATER PONDS: Produced Water Ponds Sites (GEOTRACKER)

Produced water ponds sites

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 866-480-1028
Date Made Active in Reports: 07/18/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 35	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Varies

## UIC GEO: Underground Injection Control Sites (GEOTRACKER)

Underground control injection sites

Date of Government Version: 06/11/2018	Source: State Water Resource Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 866-480-1028
Date Made Active in Reports: 07/18/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 35	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Varies

## SAMPLING POINT: Sampling Point ? Public Sites (GEOTRACKER)

Sampling point - public sites

Date of Government Version: 06/11/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/13/2018	Telephone: 866-480-1028
Date Made Active in Reports: 07/18/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 35	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PROJECT: Project Sites (GEOTRACKER)  
Projects sites

Date of Government Version: 06/11/2018  
Date Data Arrived at EDR: 06/13/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 35

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 12/12/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Varies

## EDR HIGH RISK HISTORICAL RECORDS

### ***EDR Exclusive Records***

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## COUNTY RECORDS

### ALAMEDA COUNTY:

#### CS ALAMEDA: Contaminated Sites

A listing of contaminated sites overseen by the Toxic Release Program (oil and groundwater contamination from chemical releases and spills) and the Leaking Underground Storage Tank Program (soil and ground water contamination from leaking petroleum USTs).

Date of Government Version: 08/03/2018  
Date Data Arrived at EDR: 08/06/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 30

Source: Alameda County Environmental Health Services  
Telephone: 510-567-6700  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Semi-Annually

#### UST ALAMEDA: Underground Tanks

Underground storage tank sites located in Alameda county.

Date of Government Version: 07/06/2018  
Date Data Arrived at EDR: 07/10/2018  
Date Made Active in Reports: 09/11/2018  
Number of Days to Update: 63

Source: Alameda County Environmental Health Services  
Telephone: 510-567-6700  
Last EDR Contact: 07/05/2018  
Next Scheduled EDR Contact: 04/24/2047  
Data Release Frequency: Semi-Annually

### AMADOR COUNTY:

#### CUPA AMADOR: CUPA Facility List

Cupa Facility List

Date of Government Version: 07/01/2018  
Date Data Arrived at EDR: 07/24/2018  
Date Made Active in Reports: 08/20/2018  
Number of Days to Update: 27

Source: Amador County Environmental Health  
Telephone: 209-223-6439  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Varies

### BUTTE COUNTY:

#### CUPA BUTTE: CUPA Facility Listing

Cupa facility list.

Date of Government Version: 04/21/2017  
Date Data Arrived at EDR: 04/25/2017  
Date Made Active in Reports: 08/09/2017  
Number of Days to Update: 106

Source: Public Health Department  
Telephone: 530-538-7149  
Last EDR Contact: 07/05/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: No Update Planned

### CALVERAS COUNTY:

#### CUPA CALVERAS: CUPA Facility Listing

Cupa Facility Listing

Date of Government Version: 08/02/2018  
Date Data Arrived at EDR: 08/06/2018  
Date Made Active in Reports: 08/20/2018  
Number of Days to Update: 14

Source: Calveras County Environmental Health  
Telephone: 209-754-6399  
Last EDR Contact: 06/25/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Quarterly

### COLUSA COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CUPA COLUSA: CUPA Facility List Cupa facility list.

Date of Government Version: 05/23/2018  
Date Data Arrived at EDR: 05/24/2018  
Date Made Active in Reports: 07/13/2018  
Number of Days to Update: 50

Source: Health & Human Services  
Telephone: 530-458-0396  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Semi-Annually

## CONTRA COSTA COUNTY:

### SL CONTRA COSTA: Site List

List includes sites from the underground tank, hazardous waste generator and business plan/2185 programs.

Date of Government Version: 08/20/2018  
Date Data Arrived at EDR: 08/21/2018  
Date Made Active in Reports: 09/11/2018  
Number of Days to Update: 21

Source: Contra Costa Health Services Department  
Telephone: 925-646-2286  
Last EDR Contact: 07/30/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Semi-Annually

## DEL NORTE COUNTY:

### CUPA DEL NORTE: CUPA Facility List Cupa Facility list

Date of Government Version: 04/27/2018  
Date Data Arrived at EDR: 05/02/2018  
Date Made Active in Reports: 06/15/2018  
Number of Days to Update: 44

Source: Del Norte County Environmental Health Division  
Telephone: 707-465-0426  
Last EDR Contact: 07/24/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Varies

## EL DORADO COUNTY:

### CUPA EL DORADO: CUPA Facility List CUPA facility list.

Date of Government Version: 07/12/2018  
Date Data Arrived at EDR: 07/12/2018  
Date Made Active in Reports: 08/20/2018  
Number of Days to Update: 39

Source: El Dorado County Environmental Management Department  
Telephone: 530-621-6623  
Last EDR Contact: 07/30/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Varies

## FRESNO COUNTY:

### CUPA FRESNO: CUPA Resources List

Certified Unified Program Agency. CUPA's are responsible for implementing a unified hazardous materials and hazardous waste management regulatory program. The agency provides oversight of businesses that deal with hazardous materials, operate underground storage tanks or aboveground storage tanks.

Date of Government Version: 07/11/2018  
Date Data Arrived at EDR: 07/17/2018  
Date Made Active in Reports: 08/30/2018  
Number of Days to Update: 44

Source: Dept. of Community Health  
Telephone: 559-445-3271  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Semi-Annually

## GLENN COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA GLENN: CUPA Facility List  
Cupa facility list

Date of Government Version: 01/22/2018  
Date Data Arrived at EDR: 01/24/2018  
Date Made Active in Reports: 03/14/2018  
Number of Days to Update: 49

Source: Glenn County Air Pollution Control District  
Telephone: 830-934-6500  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

HUMBOLDT COUNTY:

CUPA HUMBOLDT: CUPA Facility List  
CUPA facility list.

Date of Government Version: 07/11/2018  
Date Data Arrived at EDR: 07/13/2018  
Date Made Active in Reports: 08/22/2018  
Number of Days to Update: 40

Source: Humboldt County Environmental Health  
Telephone: N/A  
Last EDR Contact: 08/20/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Semi-Annually

IMPERIAL COUNTY:

CUPA IMPERIAL: CUPA Facility List  
Cupa facility list.

Date of Government Version: 07/17/2018  
Date Data Arrived at EDR: 07/24/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 43

Source: San Diego Border Field Office  
Telephone: 760-339-2777  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

INYO COUNTY:

CUPA INYO: CUPA Facility List  
Cupa facility list.

Date of Government Version: 04/02/2018  
Date Data Arrived at EDR: 04/03/2018  
Date Made Active in Reports: 06/14/2018  
Number of Days to Update: 72

Source: Inyo County Environmental Health Services  
Telephone: 760-878-0238  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

KERN COUNTY:

UST KERN: Underground Storage Tank Sites & Tank Listing  
Kern County Sites and Tanks Listing.

Date of Government Version: 07/20/2018  
Date Data Arrived at EDR: 07/25/2018  
Date Made Active in Reports: 09/12/2018  
Number of Days to Update: 49

Source: Kern County Environment Health Services Department  
Telephone: 661-862-8700  
Last EDR Contact: 07/20/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Quarterly

KINGS COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CUPA KINGS: CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.

Date of Government Version: 06/12/2018  
Date Data Arrived at EDR: 06/15/2018  
Date Made Active in Reports: 07/13/2018  
Number of Days to Update: 28

Source: Kings County Department of Public Health  
Telephone: 559-584-1411  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## LAKE COUNTY:

### CUPA LAKE: CUPA Facility List

Cupa facility list

Date of Government Version: 08/08/2018  
Date Data Arrived at EDR: 08/09/2018  
Date Made Active in Reports: 08/22/2018  
Number of Days to Update: 13

Source: Lake County Environmental Health  
Telephone: 707-263-1164  
Last EDR Contact: 07/16/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Varies

## LASSEN COUNTY:

### CUPA LASSEN: CUPA Facility List

Cupa facility list

Date of Government Version: 07/27/2018  
Date Data Arrived at EDR: 08/06/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 30

Source: Lassen County Environmental Health  
Telephone: 530-251-8528  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## LOS ANGELES COUNTY:

### AOCONCERN: San Gabriel Valley Areas of Concern

San Gabriel Valley areas where VOC contamination is at or above the MCL as designated by region 9 EPA office.

Date of Government Version: 03/30/2009  
Date Data Arrived at EDR: 03/31/2009  
Date Made Active in Reports: 10/23/2009  
Number of Days to Update: 206

Source: EPA Region 9  
Telephone: 415-972-3178  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/31/2018  
Data Release Frequency: No Update Planned

### HMS LOS ANGELES: HMS: Street Number List

Industrial Waste and Underground Storage Tank Sites.

Date of Government Version: 07/02/2018  
Date Data Arrived at EDR: 07/13/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 59

Source: Department of Public Works  
Telephone: 626-458-3517  
Last EDR Contact: 07/05/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Semi-Annually

### LF LOS ANGELES: List of Solid Waste Facilities

Solid Waste Facilities in Los Angeles County.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/16/2018  
Date Data Arrived at EDR: 07/18/2018  
Date Made Active in Reports: 08/24/2018  
Number of Days to Update: 37

Source: La County Department of Public Works  
Telephone: 818-458-5185  
Last EDR Contact: 07/18/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Varies

## LF LOS ANGELES CITY: City of Los Angeles Landfills

Landfills owned and maintained by the City of Los Angeles.

Date of Government Version: 01/01/2018  
Date Data Arrived at EDR: 05/01/2018  
Date Made Active in Reports: 05/14/2018  
Number of Days to Update: 13

Source: Engineering & Construction Division  
Telephone: 213-473-7869  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Varies

## SITE MIT LOS ANGELES: Site Mitigation List

Industrial sites that have had some sort of spill or complaint.

Date of Government Version: 04/01/2018  
Date Data Arrived at EDR: 04/17/2018  
Date Made Active in Reports: 06/19/2018  
Number of Days to Update: 63

Source: Community Health Services  
Telephone: 323-890-7806  
Last EDR Contact: 07/20/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Annually

## UST EL SEGUNDO: City of El Segundo Underground Storage Tank

Underground storage tank sites located in El Segundo city.

Date of Government Version: 01/21/2017  
Date Data Arrived at EDR: 04/19/2017  
Date Made Active in Reports: 05/10/2017  
Number of Days to Update: 21

Source: City of El Segundo Fire Department  
Telephone: 310-524-2236  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Semi-Annually

## UST LONG BEACH: City of Long Beach Underground Storage Tank

Underground storage tank sites located in the city of Long Beach.

Date of Government Version: 03/09/2017  
Date Data Arrived at EDR: 03/10/2017  
Date Made Active in Reports: 05/03/2017  
Number of Days to Update: 54

Source: City of Long Beach Fire Department  
Telephone: 562-570-2563  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Annually

## UST TORRANCE: City of Torrance Underground Storage Tank

Underground storage tank sites located in the city of Torrance.

Date of Government Version: 01/04/2018  
Date Data Arrived at EDR: 01/05/2018  
Date Made Active in Reports: 01/18/2018  
Number of Days to Update: 13

Source: City of Torrance Fire Department  
Telephone: 310-618-2973  
Last EDR Contact: 07/23/2018  
Next Scheduled EDR Contact: 10/22/2018  
Data Release Frequency: Semi-Annually

## MADERA COUNTY:

### CUPA MADERA: CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/22/2018  
Date Data Arrived at EDR: 05/24/2018  
Date Made Active in Reports: 07/31/2018  
Number of Days to Update: 68

Source: Madera County Environmental Health  
Telephone: 559-675-7823  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## MARIN COUNTY:

UST MARIN: Underground Storage Tank Sites  
Currently permitted USTs in Marin County.

Date of Government Version: 07/11/2018  
Date Data Arrived at EDR: 07/17/2018  
Date Made Active in Reports: 09/12/2018  
Number of Days to Update: 57

Source: Public Works Department Waste Management  
Telephone: 415-473-6647  
Last EDR Contact: 07/11/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Semi-Annually

## MERCED COUNTY:

CUPA MERCED: CUPA Facility List  
CUPA facility list.

Date of Government Version: 05/30/2018  
Date Data Arrived at EDR: 06/01/2018  
Date Made Active in Reports: 07/13/2018  
Number of Days to Update: 42

Source: Merced County Environmental Health  
Telephone: 209-381-1094  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## MONO COUNTY:

CUPA MONO: CUPA Facility List  
CUPA Facility List

Date of Government Version: 05/22/2018  
Date Data Arrived at EDR: 05/24/2018  
Date Made Active in Reports: 07/13/2018  
Number of Days to Update: 50

Source: Mono County Health Department  
Telephone: 760-932-5580  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Varies

## MONTEREY COUNTY:

CUPA MONTEREY: CUPA Facility Listing  
CUPA Program listing from the Environmental Health Division.

Date of Government Version: 07/30/2018  
Date Data Arrived at EDR: 08/02/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 34

Source: Monterey County Health Department  
Telephone: 831-796-1297  
Last EDR Contact: 07/02/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Varies

## NAPA COUNTY:

LUST NAPA: Sites With Reported Contamination  
A listing of leaking underground storage tank sites located in Napa county.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/09/2017  
Date Data Arrived at EDR: 01/11/2017  
Date Made Active in Reports: 03/02/2017  
Number of Days to Update: 50

Source: Napa County Department of Environmental Management  
Telephone: 707-253-4269  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: No Update Planned

UST NAPA: Closed and Operating Underground Storage Tank Sites  
Underground storage tank sites located in Napa county.

Date of Government Version: 05/23/2018  
Date Data Arrived at EDR: 05/31/2018  
Date Made Active in Reports: 07/11/2018  
Number of Days to Update: 41

Source: Napa County Department of Environmental Management  
Telephone: 707-253-4269  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: No Update Planned

NEVADA COUNTY:

CUPA NEVADA: CUPA Facility List  
CUPA facility list.

Date of Government Version: 07/31/2018  
Date Data Arrived at EDR: 08/02/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 34

Source: Community Development Agency  
Telephone: 530-265-1467  
Last EDR Contact: 07/24/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Varies

ORANGE COUNTY:

IND\_SITE ORANGE: List of Industrial Site Cleanups  
Petroleum and non-petroleum spills.

Date of Government Version: 07/13/2018  
Date Data Arrived at EDR: 08/08/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 33

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 05/07/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Annually

LUST ORANGE: List of Underground Storage Tank Cleanups  
Orange County Underground Storage Tank Cleanups (LUST).

Date of Government Version: 07/13/2018  
Date Data Arrived at EDR: 08/08/2018  
Date Made Active in Reports: 09/10/2018  
Number of Days to Update: 33

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 08/03/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Quarterly

UST ORANGE: List of Underground Storage Tank Facilities  
Orange County Underground Storage Tank Facilities (UST).

Date of Government Version: 07/13/2018  
Date Data Arrived at EDR: 08/06/2018  
Date Made Active in Reports: 09/12/2018  
Number of Days to Update: 37

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 08/06/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Quarterly

PLACER COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## MS PLACER: Master List of Facilities

List includes aboveground tanks, underground tanks and cleanup sites.

Date of Government Version: 05/31/2018  
Date Data Arrived at EDR: 06/05/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 43

Source: Placer County Health and Human Services  
Telephone: 530-745-2363  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Semi-Annually

## PLUMAS COUNTY:

### CUPA PLUMAS: CUPA Facility List

Plumas County CUPA Program facilities.

Date of Government Version: 07/19/2018  
Date Data Arrived at EDR: 07/25/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 42

Source: Plumas County Environmental Health  
Telephone: 530-283-6355  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## RIVERSIDE COUNTY:

### LUST RIVERSIDE: Listing of Underground Tank Cleanup Sites

Riverside County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 07/09/2018  
Date Data Arrived at EDR: 07/13/2018  
Date Made Active in Reports: 08/24/2018  
Number of Days to Update: 42

Source: Department of Environmental Health  
Telephone: 951-358-5055  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/31/2018  
Data Release Frequency: Quarterly

### UST RIVERSIDE: Underground Storage Tank Tank List

Underground storage tank sites located in Riverside county.

Date of Government Version: 07/09/2018  
Date Data Arrived at EDR: 07/13/2018  
Date Made Active in Reports: 09/12/2018  
Number of Days to Update: 61

Source: Department of Environmental Health  
Telephone: 951-358-5055  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/31/2018  
Data Release Frequency: Quarterly

## SACRAMENTO COUNTY:

### CS SACRAMENTO: Toxic Site Clean-Up List

List of sites where unauthorized releases of potentially hazardous materials have occurred.

Date of Government Version: 05/07/2018  
Date Data Arrived at EDR: 07/03/2018  
Date Made Active in Reports: 08/13/2018  
Number of Days to Update: 41

Source: Sacramento County Environmental Management  
Telephone: 916-875-8406  
Last EDR Contact: 07/03/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Quarterly

### ML SACRAMENTO: Master Hazardous Materials Facility List

Any business that has hazardous materials on site - hazardous material storage sites, underground storage tanks, waste generators.

Date of Government Version: 05/14/2018  
Date Data Arrived at EDR: 07/03/2018  
Date Made Active in Reports: 08/13/2018  
Number of Days to Update: 41

Source: Sacramento County Environmental Management  
Telephone: 916-875-8406  
Last EDR Contact: 07/03/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Quarterly

## SAN BENITO COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CUPA SAN BENITO: CUPA Facility List

Cupa facility list

Date of Government Version: 08/07/2018

Date Data Arrived at EDR: 08/09/2018

Date Made Active in Reports: 09/05/2018

Number of Days to Update: 27

Source: San Benito County Environmental Health

Telephone: N/A

Last EDR Contact: 08/01/2018

Next Scheduled EDR Contact: 11/19/2018

Data Release Frequency: Varies

## SAN BERNARDINO COUNTY:

### PERMITS SAN BERNARDINO: Hazardous Material Permits

This listing includes underground storage tanks, medical waste handlers/generators, hazardous materials handlers, hazardous waste generators, and waste oil generators/handlers.

Date of Government Version: 07/27/2018

Date Data Arrived at EDR: 07/31/2018

Date Made Active in Reports: 09/10/2018

Number of Days to Update: 41

Source: San Bernardino County Fire Department Hazardous Materials Division

Telephone: 909-387-3041

Last EDR Contact: 07/24/2018

Next Scheduled EDR Contact: 11/19/2018

Data Release Frequency: Quarterly

## SAN DIEGO COUNTY:

### HMMD SAN DIEGO: Hazardous Materials Management Division Database

The database includes: HE58 - This report contains the business name, site address, business phone number, establishment 'H' permit number, type of permit, and the business status. HE17 - In addition to providing the same information provided in the HE58 listing, HE17 provides inspection dates, violations received by the establishment, hazardous waste generated, the quantity, method of storage, treatment/disposal of waste and the hauler, and information on underground storage tanks. Unauthorized Release List - Includes a summary of environmental contamination cases in San Diego County (underground tank cases, non-tank cases, groundwater contamination, and soil contamination are included.)

Date of Government Version: 06/04/2018

Date Data Arrived at EDR: 06/06/2018

Date Made Active in Reports: 07/17/2018

Number of Days to Update: 41

Source: Hazardous Materials Management Division

Telephone: 619-338-2268

Last EDR Contact: 09/06/2018

Next Scheduled EDR Contact: 12/17/2018

Data Release Frequency: Quarterly

### LF SAN DIEGO: Solid Waste Facilities

San Diego County Solid Waste Facilities.

Date of Government Version: 04/18/2018

Date Data Arrived at EDR: 04/24/2018

Date Made Active in Reports: 06/19/2018

Number of Days to Update: 56

Source: Department of Health Services

Telephone: 619-338-2209

Last EDR Contact: 07/17/2018

Next Scheduled EDR Contact: 11/05/2018

Data Release Frequency: Varies

### SAN DIEGO CO LOP: Local Oversight Program Listing

A listing of all LOP release sites that are or were under the County of San Diego's jurisdiction. Included are closed or transferred cases, open cases, and cases that did not have a case type indicated. The cases without a case type are mostly complaints; however, some of them could be LOP cases.

Date of Government Version: 07/17/2018

Date Data Arrived at EDR: 07/24/2018

Date Made Active in Reports: 08/24/2018

Number of Days to Update: 31

Source: Department of Environmental Health

Telephone: 858-505-6874

Last EDR Contact: 07/17/2018

Next Scheduled EDR Contact: 11/05/2018

Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## SAN DIEGO CO. SAM: Environmental Case Listing

The listing contains all underground tank release cases and projects pertaining to properties contaminated with hazardous substances that are actively under review by the Site Assessment and Mitigation Program.

Date of Government Version: 03/23/2010  
Date Data Arrived at EDR: 06/15/2010  
Date Made Active in Reports: 07/09/2010  
Number of Days to Update: 24

Source: San Diego County Department of Environmental Health  
Telephone: 619-338-2371  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: No Update Planned

## SAN FRANCISCO COUNTY:

### LUST SAN FRANCISCO: Local Oversight Facilities

A listing of leaking underground storage tank sites located in San Francisco county.

Date of Government Version: 09/19/2008  
Date Data Arrived at EDR: 09/19/2008  
Date Made Active in Reports: 09/29/2008  
Number of Days to Update: 10

Source: Department Of Public Health San Francisco County  
Telephone: 415-252-3920  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Quarterly

### UST SAN FRANCISCO: Underground Storage Tank Information

Underground storage tank sites located in San Francisco county.

Date of Government Version: 06/07/2018  
Date Data Arrived at EDR: 06/12/2018  
Date Made Active in Reports: 07/10/2018  
Number of Days to Update: 28

Source: Department of Public Health  
Telephone: 415-252-3920  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Quarterly

## SAN JOAQUIN COUNTY:

### UST SAN JOAQUIN: San Joaquin Co. UST

A listing of underground storage tank locations in San Joaquin county.

Date of Government Version: 06/22/2018  
Date Data Arrived at EDR: 06/26/2018  
Date Made Active in Reports: 07/11/2018  
Number of Days to Update: 15

Source: Environmental Health Department  
Telephone: N/A  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/31/2018  
Data Release Frequency: Semi-Annually

## SAN LUIS OBISPO COUNTY:

### CUPA SAN LUIS OBISPO: CUPA Facility List

Cupa Facility List.

Date of Government Version: 08/20/2018  
Date Data Arrived at EDR: 08/21/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 17

Source: San Luis Obispo County Public Health Department  
Telephone: 805-781-5596  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## SAN MATEO COUNTY:

### BI SAN MATEO: Business Inventory

List includes Hazardous Materials Business Plan, hazardous waste generators, and underground storage tanks.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/12/2018  
Date Data Arrived at EDR: 06/15/2018  
Date Made Active in Reports: 08/06/2018  
Number of Days to Update: 52

Source: San Mateo County Environmental Health Services Division  
Telephone: 650-363-1921  
Last EDR Contact: 09/10/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Annually

## LUST SAN MATEO: Fuel Leak List

A listing of leaking underground storage tank sites located in San Mateo county.

Date of Government Version: 06/12/2018  
Date Data Arrived at EDR: 06/15/2018  
Date Made Active in Reports: 08/13/2018  
Number of Days to Update: 59

Source: San Mateo County Environmental Health Services Division  
Telephone: 650-363-1921  
Last EDR Contact: 09/10/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Semi-Annually

## SANTA BARBARA COUNTY:

### CUPA SANTA BARBARA: CUPA Facility Listing

CUPA Program Listing from the Environmental Health Services division.

Date of Government Version: 09/08/2011  
Date Data Arrived at EDR: 09/09/2011  
Date Made Active in Reports: 10/07/2011  
Number of Days to Update: 28

Source: Santa Barbara County Public Health Department  
Telephone: 805-686-8167  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## SANTA CLARA COUNTY:

### CUPA SANTA CLARA: Cupa Facility List

Cupa facility list

Date of Government Version: 08/17/2018  
Date Data Arrived at EDR: 08/22/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 16

Source: Department of Environmental Health  
Telephone: 408-918-1973  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

### HIST LUST SANTA CLARA: HIST LUST - Fuel Leak Site Activity Report

A listing of open and closed leaking underground storage tanks. This listing is no longer updated by the county. Leaking underground storage tanks are now handled by the Department of Environmental Health.

Date of Government Version: 03/29/2005  
Date Data Arrived at EDR: 03/30/2005  
Date Made Active in Reports: 04/21/2005  
Number of Days to Update: 22

Source: Santa Clara Valley Water District  
Telephone: 408-265-2600  
Last EDR Contact: 03/23/2009  
Next Scheduled EDR Contact: 06/22/2009  
Data Release Frequency: No Update Planned

### LUST SANTA CLARA: LOP Listing

A listing of leaking underground storage tanks located in Santa Clara county.

Date of Government Version: 03/03/2014  
Date Data Arrived at EDR: 03/05/2014  
Date Made Active in Reports: 03/18/2014  
Number of Days to Update: 13

Source: Department of Environmental Health  
Telephone: 408-918-3417  
Last EDR Contact: 08/24/2018  
Next Scheduled EDR Contact: 12/10/2018  
Data Release Frequency: Annually

### SAN JOSE HAZMAT: Hazardous Material Facilities

Hazardous material facilities, including underground storage tank sites.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/01/2018  
Date Data Arrived at EDR: 08/06/2018  
Date Made Active in Reports: 09/11/2018  
Number of Days to Update: 36

Source: City of San Jose Fire Department  
Telephone: 408-535-7694  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Annually

## SANTA CRUZ COUNTY:

CUPA SANTA CRUZ: CUPA Facility List  
CUPA facility listing.

Date of Government Version: 01/21/2017  
Date Data Arrived at EDR: 02/22/2017  
Date Made Active in Reports: 05/23/2017  
Number of Days to Update: 90

Source: Santa Cruz County Environmental Health  
Telephone: 831-464-2761  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## SHASTA COUNTY:

CUPA SHASTA: CUPA Facility List  
Cupa Facility List.

Date of Government Version: 06/15/2017  
Date Data Arrived at EDR: 06/19/2017  
Date Made Active in Reports: 08/09/2017  
Number of Days to Update: 51

Source: Shasta County Department of Resource Management  
Telephone: 530-225-5789  
Last EDR Contact: 08/17/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Varies

## SOLANO COUNTY:

LUST SOLANO: Leaking Underground Storage Tanks

A listing of leaking underground storage tank sites located in Solano county.

Date of Government Version: 06/04/2018  
Date Data Arrived at EDR: 06/08/2018  
Date Made Active in Reports: 07/18/2018  
Number of Days to Update: 40

Source: Solano County Department of Environmental Management  
Telephone: 707-784-6770  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Quarterly

UST SOLANO: Underground Storage Tanks

Underground storage tank sites located in Solano county.

Date of Government Version: 06/04/2018  
Date Data Arrived at EDR: 06/12/2018  
Date Made Active in Reports: 07/12/2018  
Number of Days to Update: 30

Source: Solano County Department of Environmental Management  
Telephone: 707-784-6770  
Last EDR Contact: 08/29/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Quarterly

## SONOMA COUNTY:

CUPA SONOMA: Cupa Facility List  
Cupa Facility list

Date of Government Version: 06/19/2018  
Date Data Arrived at EDR: 06/26/2018  
Date Made Active in Reports: 07/17/2018  
Number of Days to Update: 21

Source: County of Sonoma Fire & Emergency Services Department  
Telephone: 707-565-1174  
Last EDR Contact: 06/21/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## LUST SONOMA: Leaking Underground Storage Tank Sites

A listing of leaking underground storage tank sites located in Sonoma county.

Date of Government Version: 07/03/2018  
Date Data Arrived at EDR: 07/10/2018  
Date Made Active in Reports: 08/24/2018  
Number of Days to Update: 45

Source: Department of Health Services  
Telephone: 707-565-6565  
Last EDR Contact: 06/21/2018  
Next Scheduled EDR Contact: 10/08/2018  
Data Release Frequency: Quarterly

## STANISLAUS COUNTY:

### CUPA STANISLAUS: CUPA Facility List

Cupa facility list

Date of Government Version: 08/14/2018  
Date Data Arrived at EDR: 08/16/2018  
Date Made Active in Reports: 08/24/2018  
Number of Days to Update: 8

Source: Stanislaus County Department of Environmental Protection  
Telephone: 209-525-6751  
Last EDR Contact: 07/16/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Varies

## SUTTER COUNTY:

### UST SUTTER: Underground Storage Tanks

Underground storage tank sites located in Sutter county.

Date of Government Version: 06/04/2018  
Date Data Arrived at EDR: 06/08/2018  
Date Made Active in Reports: 07/11/2018  
Number of Days to Update: 33

Source: Sutter County Department of Agriculture  
Telephone: 530-822-7500  
Last EDR Contact: 09/17/2018  
Next Scheduled EDR Contact: 12/17/2018  
Data Release Frequency: Semi-Annually

## TEHAMA COUNTY:

### CUPA TEHAMA: CUPA Facility List

Cupa facilities

Date of Government Version: 07/17/2018  
Date Data Arrived at EDR: 08/02/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 36

Source: Tehama County Department of Environmental Health  
Telephone: 530-527-8020  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Varies

## TRINITY COUNTY:

### CUPA TRINITY: CUPA Facility List

Cupa facility list

Date of Government Version: 07/17/2018  
Date Data Arrived at EDR: 07/24/2018  
Date Made Active in Reports: 09/07/2018  
Number of Days to Update: 45

Source: Department of Toxic Substances Control  
Telephone: 760-352-0381  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## TULARE COUNTY:



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CUPA TULARE: CUPA Facility List Cupa program facilities

Date of Government Version: 03/19/2018  
Date Data Arrived at EDR: 03/22/2018  
Date Made Active in Reports: 04/17/2018  
Number of Days to Update: 26

Source: Tulare County Environmental Health Services Division  
Telephone: 559-624-7400  
Last EDR Contact: 09/13/2018  
Next Scheduled EDR Contact: 11/19/2018  
Data Release Frequency: Varies

## TUOLUMNE COUNTY:

### CUPA TUOLUMNE: CUPA Facility List Cupa facility list

Date of Government Version: 04/23/2018  
Date Data Arrived at EDR: 04/25/2018  
Date Made Active in Reports: 06/25/2018  
Number of Days to Update: 61

Source: Divison of Environmental Health  
Telephone: 209-533-5633  
Last EDR Contact: 07/17/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Varies

## VENTURA COUNTY:

### BWT VENTURA: Business Plan, Hazardous Waste Producers, and Operating Underground Tanks

The BWT list indicates by site address whether the Environmental Health Division has Business Plan (B), Waste Producer (W), and/or Underground Tank (T) information.

Date of Government Version: 07/02/2018  
Date Data Arrived at EDR: 07/26/2018  
Date Made Active in Reports: 09/05/2018  
Number of Days to Update: 41

Source: Ventura County Environmental Health Division  
Telephone: 805-654-2813  
Last EDR Contact: 07/23/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Quarterly

### LF VENTURA: Inventory of Illegal Abandoned and Inactive Sites

Ventura County Inventory of Closed, Illegal Abandoned, and Inactive Sites.

Date of Government Version: 12/01/2011  
Date Data Arrived at EDR: 12/01/2011  
Date Made Active in Reports: 01/19/2012  
Number of Days to Update: 49

Source: Environmental Health Division  
Telephone: 805-654-2813  
Last EDR Contact: 06/27/2018  
Next Scheduled EDR Contact: 10/15/2018  
Data Release Frequency: Annually

### LUST VENTURA: Listing of Underground Tank Cleanup Sites

Ventura County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 05/29/2008  
Date Data Arrived at EDR: 06/24/2008  
Date Made Active in Reports: 07/31/2008  
Number of Days to Update: 37

Source: Environmental Health Division  
Telephone: 805-654-2813  
Last EDR Contact: 08/07/2018  
Next Scheduled EDR Contact: 11/26/2018  
Data Release Frequency: Quarterly

### MED WASTE VENTURA: Medical Waste Program List

To protect public health and safety and the environment from potential exposure to disease causing agents, the Environmental Health Division Medical Waste Program regulates the generation, handling, storage, treatment and disposal of medical waste throughout the County.

Date of Government Version: 07/02/2018  
Date Data Arrived at EDR: 07/26/2018  
Date Made Active in Reports: 08/24/2018  
Number of Days to Update: 29

Source: Ventura County Resource Management Agency  
Telephone: 805-654-2813  
Last EDR Contact: 07/23/2018  
Next Scheduled EDR Contact: 11/05/2018  
Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## UST VENTURA: Underground Tank Closed Sites List

Ventura County Operating Underground Storage Tank Sites (UST)/Underground Tank Closed Sites List.

Date of Government Version: 04/26/2018	Source: Environmental Health Division
Date Data Arrived at EDR: 06/13/2018	Telephone: 805-654-2813
Date Made Active in Reports: 07/11/2018	Last EDR Contact: 09/12/2018
Number of Days to Update: 28	Next Scheduled EDR Contact: 12/24/2018
	Data Release Frequency: Quarterly

## YOLO COUNTY:

### UST YOLO: Underground Storage Tank Comprehensive Facility Report

Underground storage tank sites located in Yolo county.

Date of Government Version: 06/20/2018	Source: Yolo County Department of Health
Date Data Arrived at EDR: 07/03/2018	Telephone: 530-666-8646
Date Made Active in Reports: 07/12/2018	Last EDR Contact: 06/27/2018
Number of Days to Update: 9	Next Scheduled EDR Contact: 10/15/2018
	Data Release Frequency: Annually

## YUBA COUNTY:

### CUPA YUBA: CUPA Facility List

CUPA facility listing for Yuba County.

Date of Government Version: 05/10/2018	Source: Yuba County Environmental Health Department
Date Data Arrived at EDR: 05/15/2018	Telephone: 530-749-7523
Date Made Active in Reports: 06/15/2018	Last EDR Contact: 08/07/2018
Number of Days to Update: 31	Next Scheduled EDR Contact: 11/12/2018
	Data Release Frequency: Varies

## OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

### CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 08/10/2018	Source: Department of Energy & Environmental Protection
Date Data Arrived at EDR: 08/10/2018	Telephone: 860-424-3375
Date Made Active in Reports: 09/10/2018	Last EDR Contact: 08/09/2018
Number of Days to Update: 31	Next Scheduled EDR Contact: 11/26/2018
	Data Release Frequency: No Update Planned

### NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2017	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/13/2018	Telephone: N/A
Date Made Active in Reports: 08/01/2018	Last EDR Contact: 07/13/2018
Number of Days to Update: 19	Next Scheduled EDR Contact: 10/22/2018
	Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 07/01/2018  
Date Data Arrived at EDR: 08/01/2018  
Date Made Active in Reports: 08/31/2018  
Number of Days to Update: 30

Source: Department of Environmental Conservation  
Telephone: 518-402-8651  
Last EDR Contact: 08/01/2018  
Next Scheduled EDR Contact: 11/12/2018  
Data Release Frequency: Quarterly

## PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2016  
Date Data Arrived at EDR: 07/25/2017  
Date Made Active in Reports: 09/25/2017  
Number of Days to Update: 62

Source: Department of Environmental Protection  
Telephone: 717-783-8990  
Last EDR Contact: 07/12/2018  
Next Scheduled EDR Contact: 10/29/2018  
Data Release Frequency: Annually

## RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2017  
Date Data Arrived at EDR: 02/23/2018  
Date Made Active in Reports: 04/09/2018  
Number of Days to Update: 45

Source: Department of Environmental Management  
Telephone: 401-222-2797  
Last EDR Contact: 08/21/2018  
Next Scheduled EDR Contact: 12/03/2018  
Data Release Frequency: Annually

## WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2017  
Date Data Arrived at EDR: 06/15/2018  
Date Made Active in Reports: 07/09/2018  
Number of Days to Update: 24

Source: Department of Natural Resources  
Telephone: N/A  
Last EDR Contact: 09/06/2018  
Next Scheduled EDR Contact: 12/24/2018  
Data Release Frequency: Annually

## Oil/Gas Pipelines

Source: PennWell Corporation

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by PennWell Corporation. This information is provided on a best effort basis and PennWell Corporation does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of PennWell.

## Electric Power Transmission Line Data

Source: PennWell Corporation

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**Sensitive Receptors:** There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

## AHA Hospitals:

Source: American Hospital Association, Inc.  
Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

## Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services  
Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

## Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

## Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

## Daycare Centers: Licensed Facilities

Source: Department of Social Services

Telephone: 916-657-4041

**Flood Zone Data:** This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

## State Wetlands Data: Wetland Inventory

Source: Department of Fish and Wildlife

Telephone: 916-445-0411

## Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

## **STREET AND ADDRESS INFORMATION**

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## GEOCHECK<sup>®</sup> - PHYSICAL SETTING SOURCE ADDENDUM

### TARGET PROPERTY ADDRESS

3175 AIRWAY AVENUE  
3175 AIRWAY AVENUE  
COSTA MESA, CA 92626

### TARGET PROPERTY COORDINATES

Latitude (North):	33.679849 - 33° 40' 47.46"
Longitude (West):	117.871283 - 117° 52' 16.62"
Universal Tranverse Mercator:	Zone 11
UTM X (Meters):	419235.3
UTM Y (Meters):	3726806.2
Elevation:	47 ft. above sea level

### USGS TOPOGRAPHIC MAP

Target Property Map:	5640942 TUSTIN, CA
Version Date:	2012

West Map:	5640950 NEWPORT BEACH, CA
Version Date:	2012

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.



# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

## **FEMA FLOOD ZONE**

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
06059C0286J	FEMA FIRM Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
06059C0259J	FEMA FIRM Flood data
06059C0278J	FEMA FIRM Flood data
06059C0267J	FEMA FIRM Flood data

## **NATIONAL WETLAND INVENTORY**

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
TUSTIN	YES - refer to the Overview Map and Detail Map

## **HYDROGEOLOGIC INFORMATION**

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

### ***Site-Specific Hydrogeological Data\*:***

Search Radius:	1.25 miles
Location Relative to TP:	1/4 - 1/2 Mile WSW
Site Name:	Western Digital Corporation
Site EPA ID Number:	CAD051983567
Surficial Aquifer Flow Dir.:	South
Measured Depth to Water:	35.5 feet.
Hydraulic Connection:	Aquifers underlying the site are hydraulically connected.
Sole Source Aquifer:	No information about a sole source aquifer is available
Data Quality:	Information based on site-specific subsurface investigations is documented in the CERCLIS investigation report(s)

## **AQUIFLOW®**

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
---------------	-------------------------	---

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
1	1/4 - 1/2 Mile WSW	SSW
4	1/2 - 1 Mile WSW	NNE
5	1/2 - 1 Mile SSE	WNW
6	1/2 - 1 Mile SW	S
9	1/2 - 1 Mile SSE	E
10	1/2 - 1 Mile WSW	Not Reported
11	1/2 - 1 Mile WNW	Not Reported
12	1/2 - 1 Mile SSE	WSW
C13	1/2 - 1 Mile WNW	SE
C14	1/2 - 1 Mile WNW	SE
16	1/2 - 1 Mile South	W
17	1/2 - 1 Mile West	Not Reported
20	1/2 - 1 Mile NNE	Not Reported
1G	1/2 - 1 Mile NNE	Not Reported
2G	1/2 - 1 Mile WNW	SE
3G	1/2 - 1 Mile WNW	SE
4G	1/2 - 1 Mile WNW	Not Reported
5G	1/2 - 1 Mile West	Not Reported
6G	1/2 - 1 Mile WSW	NNE
7G	1/4 - 1/2 Mile WSW	SSW
8G	1/2 - 1 Mile WSW	Not Reported
9G	1/2 - 1 Mile SSE	WNW
10G	1/2 - 1 Mile SW	S
11G	1/2 - 1 Mile SSE	E
12G	1/2 - 1 Mile SSE	WSW
13G	1/2 - 1 Mile South	W

For additional site information, refer to Physical Setting Source Map Findings.



## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

### GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

#### **ROCK STRATIGRAPHIC UNIT**

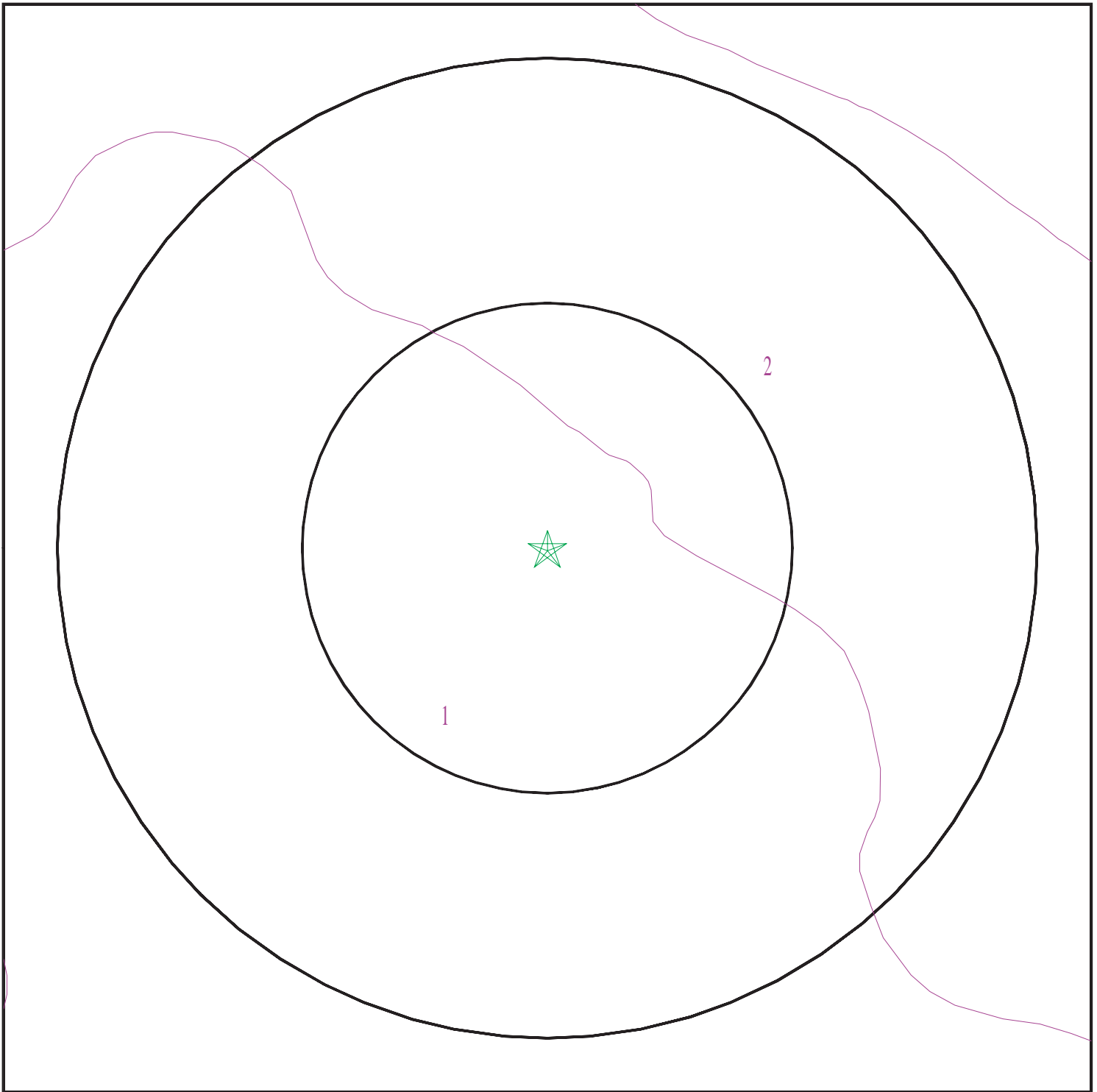
Era:	Cenozoic
System:	Quaternary
Series:	Quaternary
Code:	Q ( <i>decoded above as Era, System &amp; Series</i> )

#### **GEOLOGIC AGE IDENTIFICATION**

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

# SSURGO SOIL MAP - 5427551.2s



- ★ Target Property
- ∩ SSURGO Soil
- ∩ Water



SITE NAME: 3175 Airway Avenue  
ADDRESS: 3175 Airway Avenue  
Costa Mesa CA 92626  
LAT/LONG: 33.679849 / 117.871283

CLIENT: AES Due Diligence, Inc  
CONTACT: Rick Darwicki  
INQUIRY #: 5427551.2s  
DATE: September 18, 2018 1:15 pm

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

### Soil Map ID: 1

Soil Component Name: MYFORD

Soil Surface Texture: sandy loam

Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.

Soil Drainage Class: Moderately well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	22 inches	sandy loam	Not reported	Not reported	Max: 14 Min: 4	Max: 6.5 Min: 6.1
2	22 inches	27 inches	sandy clay	Not reported	Not reported	Max: 14 Min: 4	Max: 6.5 Min: 6.1
3	27 inches	38 inches	sandy clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 6.5 Min: 6.1
4	38 inches	70 inches	sandy loam	Not reported	Not reported	Max: 14 Min: 4	Max: 6.5 Min: 6.1
5	70 inches	79 inches	sandy loam	Not reported	Not reported	Max: 14 Min: 4	Max: 6.5 Min: 6.1

### Soil Map ID: 2

Soil Component Name: MYFORD

Soil Surface Texture: sandy loam

Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.

Soil Drainage Class: Moderately well drained

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	11 inches	sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay. FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6.5 Min: 6.1
2	11 inches	18 inches	sandy clay	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay. FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6.5 Min: 6.1
3	18 inches	27 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay. FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6.5 Min: 6.1
4	27 inches	70 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay. FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6.5 Min: 6.1

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
5	70 inches	79 inches	sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay. FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6.5 Min: 6.1

## LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

## WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

## **FEDERAL USGS WELL INFORMATION**

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A3	USGS40000136669	1/2 - 1 Mile West
B8	USGS40000136687	1/2 - 1 Mile West
D15	USGS40000136820	1/2 - 1 Mile NNE
D21	USGS40000136830	1/2 - 1 Mile NNE

## **FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION**

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## STATE DATABASE WELL INFORMATION

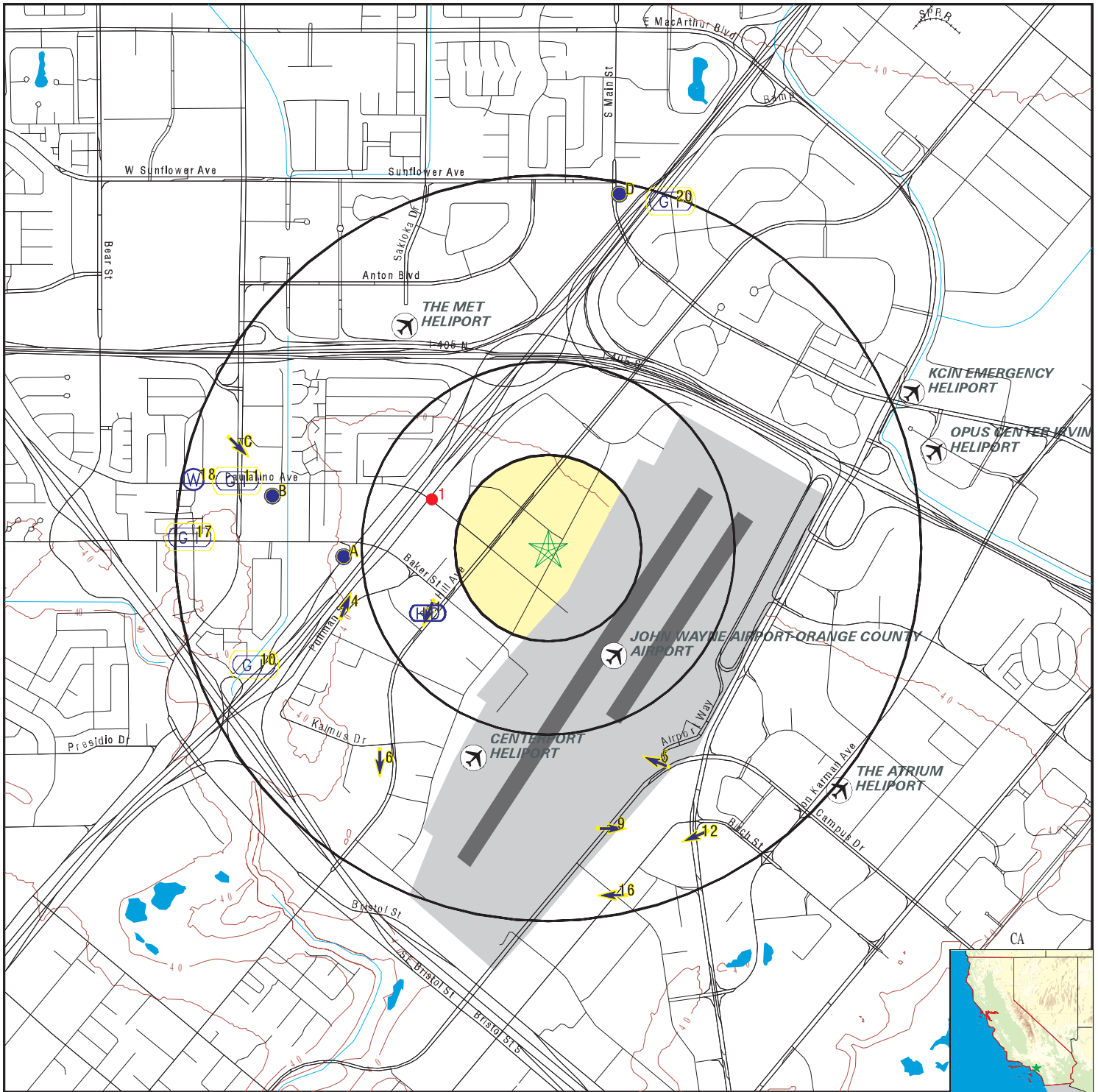
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A2	CADW60000021931	1/2 - 1 Mile West
B7	CADW60000021930	1/2 - 1 Mile West
18	7058	1/2 - 1 Mile West
D19	CADW60000034153	1/2 - 1 Mile North

## OTHER STATE DATABASE INFORMATION

## STATE OIL/GAS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	CAOG11000217945	1/4 - 1/2 Mile WNW

# PHYSICAL SETTING SOURCE MAP - 5427551.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake Fault Lines
- Airports
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons

- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells

SITE NAME: 3175 Airway Avenue  
 ADDRESS: 3175 Airway Avenue  
 Costa Mesa CA 92626  
 LAT/LONG: 33.679849 / 117.871283

CLIENT: AES Due Diligence, Inc  
 CONTACT: Rick Darwicki  
 INQUIRY #: 5427551.2s  
 DATE: September 18, 2018 1:15 pm

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Database      EDR ID Number

<b>1</b> <b>WSW</b> <b>1/4 - 1/2 Mile</b> <b>Lower</b>	Site ID: 083000442T Groundwater Flow: SSW Shallow Water Depth: 35 ft Deep Water Depth: 70 ft Average Water Depth: Not Reported Date: 12/1996	<b>AQUIFLOW</b>	<b>69459</b>
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<b>A2</b> <b>West</b> <b>1/2 - 1 Mile</b> <b>Lower</b>		<b>CA WELLS</b>	<b>CADW60000021931</b>
Objectid:	21931	Latitude:	33.6793
Longitude:	-117.8807	Site code:	336793N1178807W001
State well numbe:	06S10W01L001S	Local well name:	"
Well use id:	6	Well use descrip:	Unknown
County id:	30	County name:	Orange
Basin code:	'8-1'	Basin desc:	Coastal Plain Of Orange County
Dwr region id:	80238	Dwr region:	Southern Region Office
Site id:	CADW60000021931		

<b>A3</b> <b>West</b> <b>1/2 - 1 Mile</b> <b>Lower</b>		<b>FED USGS</b>	<b>USGS40000136669</b>
Organization ID:	USGS-CA		
Organization Name:	USGS California Water Science Center		
Monitor Location:	006S010W01L001S	Type:	Well
Description:	Not Reported	HUC:	18070204
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Unts:	Not Reported
Aquifer:	California Coastal Basin aquifers		
Formation Type:	Not Reported	Aquifer Type:	Not Reported
Construction Date:	Not Reported	Well Depth:	Not Reported
Well Depth Units:	Not Reported	Well Hole Depth:	Not Reported
Well Hole Depth Units:	Not Reported		

<b>4</b> <b>WSW</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID: 083000135T Groundwater Flow: NNE Shallow Water Depth: Not Reported Deep Water Depth: Not Reported Average Water Depth: 26 Date: 02/22/1995	<b>AQUIFLOW</b>	<b>64529</b>
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<b>5</b> <b>SSE</b> <b>1/2 - 1 Mile</b> <b>Higher</b>	Site ID: 083000209T Groundwater Flow: WNW Shallow Water Depth: Not Reported Deep Water Depth: Not Reported Average Water Depth: 33 Date: 05/09/1994	<b>AQUIFLOW</b>	<b>33998</b>
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## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Database      EDR ID Number

<b>6</b> <b>SW</b> <b>1/2 - 1 Mile</b> <b>Higher</b>	Site ID: 083000468T	<b>AQUIFLOW</b>	<b>34270</b>
	Groundwater Flow: S		
	Shallow Water Depth: 6.81		
	Deep Water Depth: 9.35		
	Average Water Depth: Not Reported		
	Date: 04/24/1997		

<b>B7</b> <b>West</b> <b>1/2 - 1 Mile</b> <b>Lower</b>		<b>CA WELLS</b>	<b>CADW60000021930</b>
Objectid: 21930	Latitude: 33.6818		
Longitude: -117.884	Site code: 336818N1178840W001		
State well numbe: 06S10W01E002S	Local well name: "		
Well use id: 6	Well use descrip: Unknown		
County id: 30	County name: Orange		
Basin code: '8-1'	Basin desc: Coastal Plain Of Orange County		
Dwr region id: 80238	Dwr region: Southern Region Office		
Site id: CADW60000021930			

<b>B8</b> <b>West</b> <b>1/2 - 1 Mile</b> <b>Lower</b>		<b>FED USGS</b>	<b>USGS40000136687</b>
Organization ID: USGS-CA			
Organization Name: USGS California Water Science Center			
Monitor Location: 006S010W01E002S	Type: Well		
Description: Not Reported	HUC: 18070204		
Drainage Area: Not Reported	Drainage Area Units: Not Reported		
Contrib Drainage Area: Not Reported	Contrib Drainage Area Unts: Not Reported		
Aquifer: California Coastal Basin aquifers			
Formation Type: Not Reported	Aquifer Type: Not Reported		
Construction Date: Not Reported	Well Depth: Not Reported		
Well Depth Units: Not Reported	Well Hole Depth: Not Reported		
Well Hole Depth Units: Not Reported			

<b>9</b> <b>SSE</b> <b>1/2 - 1 Mile</b> <b>Higher</b>	Site ID: 083000403T	<b>AQUIFLOW</b>	<b>66483</b>
	Groundwater Flow: E		
	Shallow Water Depth: 21.9		
	Deep Water Depth: 24.2		
	Average Water Depth: Not Reported		
	Date: 12/1997		

<b>10</b> <b>WSW</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID: 083002072T	<b>AQUIFLOW</b>	<b>38855</b>
	Groundwater Flow: Not Reported		
	Shallow Water Depth: 25		
	Deep Water Depth: 26		
	Average Water Depth: Not Reported		
	Date: 03/31/1998		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Database      EDR ID Number

<b>11</b> <b>WNW</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	083001510T Not Reported Not Reported Not Reported 23.5 10/15/1992	<b>AQUIFLOW</b>	<b>65353</b>
--	---	--	-----------------	--------------

<b>12</b> <b>SSE</b> <b>1/2 - 1 Mile</b> <b>Higher</b>	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	083002982T WSW 8.58 8.95 Not Reported 11/03/1997	<b>AQUIFLOW</b>	<b>51934</b>
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<b>C13</b> <b>WNW</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	083000430T SE 22.15 25.6 Not Reported 03/31/1999	<b>AQUIFLOW</b>	<b>68226</b>
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<b>C14</b> <b>WNW</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	083000430T SE 22.15 25.6 Not Reported 03/31/1999	<b>AQUIFLOW</b>	<b>68227</b>
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<b>D15</b> <b>NNE</b> <b>1/2 - 1 Mile</b> <b>Lower</b>			<b>FED USGS</b>	<b>USGS40000136820</b>
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Organization ID:	USGS-CA			
Organization Name:	USGS California Water Science Center			
Monitor Location:	005S009W31M003S	Type:	Well	
Description:	Not Reported	HUC:	18070204	
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported	
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Unts:	Not Reported	
Aquifer:	California Coastal Basin aquifers			
Formation Type:	Not Reported	Aquifer Type:	Not Reported	
Construction Date:	Not Reported	Well Depth:	Not Reported	
Well Depth Units:	Not Reported	Well Hole Depth:	Not Reported	
Well Hole Depth Units:	Not Reported			

<b>16</b> <b>South</b> <b>1/2 - 1 Mile</b> <b>Higher</b>	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	083001459T W 22 24 Not Reported 12/21/1998	<b>AQUIFLOW</b>	<b>34293</b>
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## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Database      EDR ID Number

<b>17</b> <b>West</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID: 083000637T		<b>AQUIFLOW</b>	<b>66542</b>
	Groundwater Flow: Not Reported			
	Shallow Water Depth: Not Reported			
	Deep Water Depth: Not Reported			
	Average Water Depth: 25.27			
	Date: 01/1987			

<b>18</b> <b>West</b> <b>1/2 - 1 Mile</b> <b>Lower</b>			<b>CA WELLS</b>	<b>7058</b>
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Seq:	7058	Prim sta c:	06S/10W-02H03 S
Frds no:	3000572001	County:	30
District:	08	User id:	TEE
System no:	3000572	Water type:	G
Source nam:	WELL 01 PAULARINO ST WELL - DESTROYED		
Station ty:	WELL/AMBNT/MUN/INTAKE	Latitude:	334057.0
Longitude:	1175313.0	Precision:	3
Status:	DS	Comment 1:	722 BAKER STREET COSTA MESA
Comment 2:	Not Reported	Comment 3:	Not Reported
Comment 4:	Not Reported	Comment 5:	Not Reported
Comment 6:	Not Reported	Comment 7:	Not Reported
System no:	3000572	System nam:	PAULARINO WATER ASSOCIATION
Hqname:	Not Reported	Address:	Not Reported
City:	Not Reported	State:	Not Reported
Zip:	Not Reported	Zip ext:	Not Reported
Pop serv:	0	Connection:	0
Area serve:	Not Reported		

<b>D19</b> <b>North</b> <b>1/2 - 1 Mile</b> <b>Lower</b>			<b>CA WELLS</b>	<b>CADW60000034153</b>
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Objectid:	34153	Latitude:	33.6939
Longitude:	-117.8685	Site code:	336939N1178685W001
State well numbe:	05S09W31M002S	Local well name:	"
Well use id:	6	Well use descrip:	Unknown
County id:	30	County name:	Orange
Basin code:	'8-1'	Basin desc:	Coastal Plain Of Orange County
Dwr region id:	80238	Dwr region:	Southern Region Office
Site id:	CADW60000034153		

<b>20</b> <b>NNE</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID: 083002207T		<b>AQUIFLOW</b>	<b>69447</b>
	Groundwater Flow: Not Reported			
	Shallow Water Depth: Not Reported			
	Deep Water Depth: Not Reported			
	Average Water Depth: 12 ft			
	Date: 09/29/1993			

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Database      EDR ID Number

**D21**  
**NNE**  
**1/2 - 1 Mile**  
**Lower**

**FED USGS      USGS40000136830**

Organization ID:	USGS-CA		
Organization Name:	USGS California Water Science Center		
Monitor Location:	005S009W31M002S	Type:	Well
Description:	Not Reported	HUC:	18070204
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	California Coastal Basin aquifers		
Formation Type:	Not Reported	Aquifer Type:	Not Reported
Construction Date:	Not Reported	Well Depth:	Not Reported
Well Depth Units:	Not Reported	Well Hole Depth:	458
Well Hole Depth Units:	ft		

Ground water levels,Number of Measurements:	60	Level reading date:	1986-08-19
Feet below surface:	55.72	Feet to sea level:	Not Reported
Note:	Not Reported		

Level reading date:	1986-04-29	Feet below surface:	45.08
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1986-03-04	Feet below surface:	42.97
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1985-11-05	Feet below surface:	45.65
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1985-08-19	Feet below surface:	59.13
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1985-05-14	Feet below surface:	33.79
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1985-02-14	Feet below surface:	30.12
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1984-10-30	Feet below surface:	43.73
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1984-08-07	Feet below surface:	41.50
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1984-05-10	Feet below surface:	32.00
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1984-02-06	Feet below surface:	25.05
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1983-11-07	Feet below surface:	32.99
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1983-08-12	Feet below surface:	42.80
Feet to sea level:	Not Reported	Note:	Not Reported

Level reading date:	1983-05-13	Feet below surface:	31.29
Feet to sea level:	Not Reported	Note:	Not Reported

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Level reading date:	1983-02-09	Feet below surface:	32.74
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1982-11-04	Feet below surface:	37.80
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1982-08-04	Feet below surface:	42.09
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1982-05-07	Feet below surface:	30.11
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1982-01-29	Feet below surface:	30.40
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1981-11-04	Feet below surface:	39.90
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1981-07-31	Feet below surface:	40.31
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1981-05-12	Feet below surface:	22.84
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1981-02-09	Feet below surface:	26.35
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1980-11-03	Feet below surface:	30.94
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1980-08-27	Feet below surface:	35.22
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1980-06-13	Feet below surface:	31.10
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1980-02-08	Feet below surface:	34.79
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1979-11-13	Feet below surface:	37.67
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1979-08-02	Feet below surface:	42.87
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1979-05-02	Feet below surface:	32.14
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1979-02-08	Feet below surface:	33.92
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1978-11-02	Feet below surface:	42.24
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1978-09-29	Feet below surface:	41.77
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1976-03-20	Feet below surface:	46.70
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1976-02-27	Feet below surface:	45.80
Feet to sea level:	Not Reported	Note:	Not Reported

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Level reading date:	1975-06-26	Feet below surface:	39.10
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1975-05-01	Feet below surface:	36.20
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1975-03-04	Feet below surface:	46.80
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1974-12-30	Feet below surface:	35.50
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1974-10-25	Feet below surface:	43.60
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1974-09-04	Feet below surface:	50.90
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1974-03-19	Feet below surface:	35.90
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1974-01-28	Feet below surface:	37.70
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1973-11-02	Feet below surface:	40.10
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1973-08-30	Feet below surface:	47.70
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1973-07-09	Feet below surface:	53.60
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1973-05-10	Feet below surface:	39.90
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1973-03-05	Feet below surface:	32.90
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1973-01-11	Feet below surface:	39.00
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1972-11-02	Feet below surface:	42.30
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1972-09-06	Feet below surface:	47.50
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1972-07-11	Feet below surface:	47.40
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1972-05-04	Feet below surface:	46.00
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1972-03-01	Feet below surface:	38.60
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1972-01-12	Feet below surface:	24.30
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1971-11-05	Feet below surface:	29.90
Feet to sea level:	Not Reported	Note:	Not Reported

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Level reading date:	1971-08-31	Feet below surface:	36.30
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1971-06-14	Feet below surface:	25.80
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1971-05-04	Feet below surface:	27.20
Feet to sea level:	Not Reported	Note:	Not Reported
Level reading date:	1971-03-04	Feet below surface:	19.10
Feet to sea level:	Not Reported	Note:	Not Reported

<b>1G</b>	Site ID:	083002207T		
<b>NNE</b>	Groundwater Flow:	Not Reported	<b>AQUIFLOW</b>	<b>69447</b>
<b>1/2 - 1 Mile</b>	Shallow Water Depth:	Not Reported		
<b>Lower</b>	Deep Water Depth:	Not Reported		
	Average Water Depth:	12 ft		
	Date:	09/29/1993		

<b>2G</b>	Site ID:	083000430T		
<b>WNW</b>	Groundwater Flow:	SE	<b>AQUIFLOW</b>	<b>68226</b>
<b>1/2 - 1 Mile</b>	Shallow Water Depth:	22.15		
<b>Lower</b>	Deep Water Depth:	25.6		
	Average Water Depth:	Not Reported		
	Date:	03/31/1999		

<b>3G</b>	Site ID:	083000430T		
<b>WNW</b>	Groundwater Flow:	SE	<b>AQUIFLOW</b>	<b>68227</b>
<b>1/2 - 1 Mile</b>	Shallow Water Depth:	22.15		
<b>Lower</b>	Deep Water Depth:	25.6		
	Average Water Depth:	Not Reported		
	Date:	03/31/1999		

<b>4G</b>	Site ID:	083001510T		
<b>WNW</b>	Groundwater Flow:	Not Reported	<b>AQUIFLOW</b>	<b>65353</b>
<b>1/2 - 1 Mile</b>	Shallow Water Depth:	Not Reported		
<b>Lower</b>	Deep Water Depth:	Not Reported		
	Average Water Depth:	23.5		
	Date:	10/15/1992		

<b>5G</b>	Site ID:	083000637T		
<b>West</b>	Groundwater Flow:	Not Reported	<b>AQUIFLOW</b>	<b>66542</b>
<b>1/2 - 1 Mile</b>	Shallow Water Depth:	Not Reported		
<b>Lower</b>	Deep Water Depth:	Not Reported		
	Average Water Depth:	25.27		
	Date:	01/1987		

<b>6G</b>	Site ID:	083000135T		
<b>WSW</b>	Groundwater Flow:	NNE	<b>AQUIFLOW</b>	<b>64529</b>
<b>1/2 - 1 Mile</b>	Shallow Water Depth:	Not Reported		
<b>Lower</b>	Deep Water Depth:	Not Reported		
	Average Water Depth:	26		
	Date:	02/22/1995		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID	Direction	Distance	Elevation	Database	EDR ID Number
<b>7G</b> <b>WSW</b> <b>1/4 - 1/2 Mile</b> <b>Lower</b>	Site ID:	083000442T		<b>AQUIFLOW</b>	<b>69459</b>
	Groundwater Flow:	SSW			
	Shallow Water Depth:	35 ft			
	Deep Water Depth:	70 ft			
	Average Water Depth:	Not Reported			
	Date:	12/1996			
<b>8G</b> <b>WSW</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID:	083002072T		<b>AQUIFLOW</b>	<b>38855</b>
	Groundwater Flow:	Not Reported			
	Shallow Water Depth:	25			
	Deep Water Depth:	26			
	Average Water Depth:	Not Reported			
	Date:	03/31/1998			
<b>9G</b> <b>SSE</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID:	083000209T		<b>AQUIFLOW</b>	<b>33998</b>
	Groundwater Flow:	WNW			
	Shallow Water Depth:	Not Reported			
	Deep Water Depth:	Not Reported			
	Average Water Depth:	33			
	Date:	05/09/1994			
<b>10G</b> <b>SW</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID:	083000468T		<b>AQUIFLOW</b>	<b>34270</b>
	Groundwater Flow:	S			
	Shallow Water Depth:	6.81			
	Deep Water Depth:	9.35			
	Average Water Depth:	Not Reported			
	Date:	04/24/1997			
<b>11G</b> <b>SSE</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID:	083000403T		<b>AQUIFLOW</b>	<b>66483</b>
	Groundwater Flow:	E			
	Shallow Water Depth:	21.9			
	Deep Water Depth:	24.2			
	Average Water Depth:	Not Reported			
	Date:	12/1997			
<b>12G</b> <b>SSE</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID:	083002982T		<b>AQUIFLOW</b>	<b>51934</b>
	Groundwater Flow:	WSW			
	Shallow Water Depth:	8.58			
	Deep Water Depth:	8.95			
	Average Water Depth:	Not Reported			
	Date:	11/03/1997			
<b>13G</b> <b>South</b> <b>1/2 - 1 Mile</b> <b>Lower</b>	Site ID:	083001459T		<b>AQUIFLOW</b>	<b>34293</b>
	Groundwater Flow:	W			
	Shallow Water Depth:	22			
	Deep Water Depth:	24			
	Average Water Depth:	Not Reported			
	Date:	12/21/1998			



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
 Direction  
 Distance

Database      EDR ID Number

**1**

**WNW**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000217945**

Districtnu:	1	Apinumber:	05901162
Blmwell:	N	Redrillcan:	Not Reported
Dryhole:	Y	Wellstatus:	P
Operatorna:	Chevron U.S.A. Inc.	Countyname:	Orange
Fieldname:	Any Field	Areaname:	Any Area
Section:	1	Township:	06S
Range:	10W	Basemeridi:	SB
Elevation:	Not Reported	Locationde:	Not Reported
Gissourcec:	hud	Comments:	Not Reported
Leasename:	Irvine	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	Not Reported
Welldeptha:	0	Redrillfoo:	0
Abandonedd:	Not Reported	Completion:	Not Reported
Directiona:	Unknown	Gissymbol:	PDH
Site id:	CAOG11000217945		

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

## AREA RADON INFORMATION

State Database: CA Radon

### Radon Test Results

Zipcode	Num Tests	> 4 pCi/L
92626	70	5

Federal EPA Radon Zone for ORANGE County: 3

- Note: Zone 1 indoor average level > 4 pCi/L.  
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.  
 : Zone 3 indoor average level < 2 pCi/L.

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### Federal Area Radon Information for ORANGE COUNTY, CA

Number of sites tested: 30

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	0.763 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	Not Reported	Not Reported	Not Reported	Not Reported

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## TOPOGRAPHIC INFORMATION

### USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

### Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

## HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

### State Wetlands Data: Wetland Inventory

Source: Department of Fish and Wildlife

Telephone: 916-445-0411

## HYDROGEOLOGIC INFORMATION

### AQUIFLOW<sup>R</sup> Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

## GEOLOGIC INFORMATION

### Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

### STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

### SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## LOCAL / REGIONAL WATER AGENCY RECORDS

### FEDERAL WATER WELLS

#### PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

#### PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

#### USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

### STATE RECORDS

#### Water Well Database

Source: Department of Water Resources

Telephone: 916-651-9648

#### California Drinking Water Quality Database

Source: Department of Public Health

Telephone: 916-324-2319

The database includes all drinking water compliance and special studies monitoring for the state of California since 1984. It consists of over 3,200,000 individual analyses along with well and water system information.

## OTHER STATE DATABASE INFORMATION

#### California Oil and Gas Well Locations

Source: Department of Conservation

Telephone: 916-323-1779

Oil and Gas well locations in the state.

### RADON

#### State Database: CA Radon

Source: Department of Health Services

Telephone: 916-324-2208

Radon Database for California

#### Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

#### EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

## PHYSICAL SETTING SOURCE RECORDS SEARCHED

### OTHER

Airport Landing Facilities: Private and public use landing facilities  
Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater  
Source: Department of Commerce, National Oceanic and Atmospheric Administration

California Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary fault lines, prepared in 1975 by the United State Geological Survey. Additional information (also from 1975) regarding activity at specific fault lines comes from California's Preliminary Fault Activity Map prepared by the California Division of Mines and Geology.

### STREET AND ADDRESS INFORMATION

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3175 Airway Avenue

3175 Airway Avenue

Costa Mesa, CA 92626

Inquiry Number: 5427551.3

September 18, 2018

## Certified Sanborn® Map Report



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

# Certified Sanborn® Map Report

09/18/18

**Site Name:**

3175 Airway Avenue  
3175 Airway Avenue  
Costa Mesa, CA 92626  
EDR Inquiry # 5427551.3

**Client Name:**

AES Due Diligence, Inc  
9089 Clairemont Mesa Blvd  
San Diego, CA 92123  
Contact: Rick Darwicki



The Sanborn Library has been searched by EDR and maps covering the target property location as provided by AES Due Diligence, Inc were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn).

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

## Certified Sanborn Results:

**Certification #** 876D-4470-A458  
**PO #** NA  
**Project** 18004139

### UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.



Sanborn® Library search results

Certification #: 876D-4470-A458

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

*The Sanborn Library LLC Since 1866™*

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**3175 Airway Avenue**

3175 Airway Avenue  
Costa Mesa, CA 92626

Inquiry Number: 5427551.5  
September 18, 2018

# The EDR-City Directory Abstract



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Executive Summary

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*Thank you for your business.*  
Please contact EDR at 1-800-352-0050  
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## EXECUTIVE SUMMARY

### DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Abstract is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Abstract includes a search and abstract of available city directory data. For each address, the directory lists the name of the corresponding occupant at five year intervals.

Business directories including city, cross reference and telephone directories were reviewed, if available, at approximately five year intervals for the years spanning 1920 through 2014. This report compiles information gathered in this review by geocoding the latitude and longitude of properties identified and gathering information about properties within 660 feet of the target property.

A summary of the information obtained is provided in the text of this report.

### RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

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### RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
2014	EDR Digital Archive	-	X	X	-
2010	EDR Digital Archive	X	X	X	-
2005	EDR Digital Archive	X	X	X	-
2002	Haines Company	-	X	X	-
	Haines Company	X	X	X	-
2001	Pacific Telephone	-	-	-	-
1997	Pacific Telephone	-	-	-	-
1995	Pacific Bell	-	X	X	-
	Pacific Bell	X	X	X	-
1992	Pacific Bell	-	-	-	-
1991	Pacific Bell	-	X	X	-
	Pacific Bell	X	X	X	-

## EXECUTIVE SUMMARY

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
1986	Pacific Bell	-	X	X	-
	Pacific Bell	X	X	X	-
1980	Pacific Telephone	-	X	X	-
	Pacific Telephone	X	X	X	-
1975	Luskey Brothers & Co., Inc.	-	X	X	-
	Luskey Brothers & Co., Inc.	X	X	X	-
1971	Luskey Brothers Co., Inc.	-	-	-	-
1970	Ross Publications	-	-	-	-
1966	Pacific Telephone	-	-	-	-
1965	Luskey Brothers	-	-	-	-
1961	Luskey Brothers & Co.,	-	-	-	-
1960	Unknown	-	-	-	-
1956	Luskey Brothers & Co., Inc.	-	-	-	-
1955	The Pacific Telephone and Telegraph Co.	-	-	-	-
1952	Luskeys Directory Service Co.	-	-	-	-
1950	West Directory Co.	-	-	-	-
1946	Southern California Telephone Co.	-	-	-	-
1945	McCutcheon & Bragonier	-	-	-	-
1941	Southern California Telephone Co.	-	-	-	-
1936	Western Directory Co.	-	-	-	-
1930	Western Directory Co.	-	-	-	-
1926	Pacific Telephone	-	-	-	-
1925	Western Directory Co.	-	-	-	-
1922	Kaasen Directory Co.	-	-	-	-
1921	Western Directory Co.	-	-	-	-
1920	Santa Ana Directory Co.	-	-	-	-

# FINDINGS

## TARGET PROPERTY INFORMATION

### ADDRESS

3175 Airway Avenue  
Costa Mesa, CA 92626

### FINDINGS DETAIL

Target Property research detail.

### AIRWAY

#### 3175 AIRWAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Alex Moving & Storage	Pacific Bell

### Airway Ave

#### 3175 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	GOLDEN WEST FUNDING INC	EDR Digital Archive
	NETDIRECT MORTGAGE CORP	EDR Digital Archive
2005	ALL COAST TRADING CO INC	EDR Digital Archive
	GOLDEN WEST FUNDING INC	EDR Digital Archive
	GW FINANCIAL SERVICES INC	EDR Digital Archive
	NETDIRECT MORTGAGE CORP	EDR Digital Archive

### AIRWAY AVE

#### 3175 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	FUNDING	Haines Company
	GOLDENWEST	Haines Company
	MANUFACTURING	Haines Company
	MILLEN Stephen	Haines Company
	MORTGAGE STREETSCENE	Haines Company
	NET DIRECT	Haines Company
1995	Alex Moving & Storage	Pacific Bell
	North American Van Lines Agent	Pacific Bell
1991	Alex Moving & Storage	Pacific Bell
1986	CorO Van Moving & Storage	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	CorOVan Moving And Storage Co	Pacific Bell
	North American Van Lines	Pacific Bell
1980	All Coast Trading	Pacific Telephone
	flare In aports	Pacific Telephone
1975	All Coast Trading	Luskey Brothers & Co., Inc.
	Flare Imports	Luskey Brothers & Co., Inc.

## FINDINGS

### ADJOINING PROPERTY DETAIL

The following Adjoining Property addresses were researched for this report. Detailed findings are provided for each address.

#### A AIRWAY AVE

##### 3183 A AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Inteta Cive Computer Systems Inc	Pacific Telephone

##### 3184 A AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Decision Planning Corp	Pacific Telephone

#### AIRWAY

##### 3183 AIRWAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Synte Xt	Pacific Bell

##### 3184 AIRWAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Newport Coast Financial	Pacific Bell
	Newport Financial	Pacific Bell
	Sports Lifestyles Associates	Pacific Bell
	Newport Financial Associates Inc	Pacific Bell
	Newport Financial Group Inc	Pacific Bell

##### 3185 AIRWAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Fell Meyer & Mc Carthy A Professional Corp	Pacific Bell
	Fell Sheila Fell Moyer & Mc Carthy A Professional Corp	Pacific Bell
	Mc Carthy Bonnie Fell Meyer B Mc Carthy A Professional Corp	Pacific Bell

##### 3186 AIRWAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Shamrock Exterminating Co 7612232	Pacific Bell
	Shamrock Exterminating Co 7612232	Pacific Bell
	Shamrock Exterminating Co 7612232	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Shamrock Exterminating Co 7612232	Pacific Bell
	Shamrock Exterminating Co 7612232	Pacific Bell

### AIRWAY AVE

#### 3152 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	XXXX	Haines Company
1991	Christensen James FCPA	Pacific Bell

#### 3153 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	AN DRE W S PE TROLE UM IN C	Pacific Bell
	American Realty Advisors	Pacific Bell

### Airway Ave

#### 3160 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	JOHN WAYNE AIRPORT-ORANGE CNTY	EDR Digital Archive
	ORANGE COUNTY OF	EDR Digital Archive
2010	ORANGE COUNTY OF	EDR Digital Archive
2005	JOHN WAYNE AIRPORT-ORANGE COUN	EDR Digital Archive
	APD ACQUISITION INC	EDR Digital Archive

### AIRWAY AVE

#### 3160 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Specialized Management Support Inc	Pacific Bell
	SMS Inc	Pacific Bell
1991	SMS Inc	Pacific Bell
1986	Sms Technical Support	Pacific Bell
	Specialized Management Support Inc	Pacific Bell
1980	Conoco Chemicals Co Division Of Conoco Inc	Pacific Telephone
	Conoco Inc	Pacific Telephone
1975	Conoc Chemicals	Luskey Brothers & Co., Inc.
	Continental Oil Company	Luskey Brothers & Co., Inc.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1975	General Offices	Luskey Brothers & Co., Inc.

### Airway Ave

#### 3168 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	1928 COMPANY A CAL LTD PARTN	EDR Digital Archive
2010	1928 COMPANY A CAL LTD PARTN	EDR Digital Archive
	BACK BEAT INC	EDR Digital Archive
2005	WORLD WIDE PARTS AND ACC	EDR Digital Archive
	PEARSON BROADWELL A CAL LTD	EDR Digital Archive
	1928 COMPANY A CAL LTD PARTN	EDR Digital Archive

### AIRWAY AVE

#### 3168 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	WORLD WIDE PARTS	Haines Company
	AND ACCESSORY WORLD PAC	Haines Company
1986	Pierce Associates	Pacific Bell
	Colonel Video Inc	Pacific Bell

### Airway Ave

#### 3170 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	HAJOCA CORPORATION	EDR Digital Archive
2010	DANA CREATH DESIGNS LTD	EDR Digital Archive
2005	DANA CREATH DESIGNS LTD	EDR Digital Archive
	PACIFIC COIN INC	EDR Digital Archive

### AIRWAY AVE

#### 3170 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	DANACREATH DESIGN	Haines Company
	r ARAB Duane	Haines Company
1986	ElectroSport Inc	Pacific Bell
	Electro Sport Ie	Pacific Bell
1980	Andierson Meta Fireplace Co	Pacific Telephone



## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Rohm Sales Inc	Pacific Telephone
	Anderso Michael. .542 302.	Pacific Telephone
	Fashionable Furniture	Pacific Telephone
1975	Trabaca Products Of California Inc	Luskey Brothers & Co., Inc.

### Airway Ave

#### 3176 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	STEVE MILLEN SPORTPARTS INC	EDR Digital Archive
	TUBE SOLUTIONS INCORPORATED	EDR Digital Archive
	SMR INCORPORATED	EDR Digital Archive
	PERFORMANCE MARKETING	EDR Digital Archive
2010	PERFORMANCE MARKETING	EDR Digital Archive
	SMR INCORPORATED	EDR Digital Archive
	TUBE SOLUTIONS INCORPORATED	EDR Digital Archive
	MILLEN STEVE SPORTPARTS INC	EDR Digital Archive
2005	MILLEN STEVE SPORTPARTS	EDR Digital Archive
	TUBE SOLUTIONS INCORPORATED	EDR Digital Archive
	SMR INCORPORATED	EDR Digital Archive
	PERFRMNC MARKETING	EDR Digital Archive

### AIRWAY AVE

#### 3176 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	STEVE MILLEN	Haines Company
	SPORTPARTSINC STILLEN	Haines Company
	SUPERTRUCKS	Haines Company
1995	Milfen Steve Sports Cars	Pacific Bell
	Millen Steve Sportparts Inc	Pacific Bell
	Stillen	Pacific Bell
1991	Insulectro	Pacific Bell
	Quintec	Pacific Bell
1986	Insulectro	Pacific Bell
	Quintec	Pacific Bell
1980	Westglas	Pacific Telephone
	Quintec	Pacific Telephone
	No Charge To Calling Party	Pacific Telephone

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	From los Angeles Telephones CII	Pacific Telephone
	Insulectro	Pacific Telephone

### Airway Ave

#### 3178 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2005	CAREY ASSOC	EDR Digital Archive

### AIRWAY AVE

#### 3180 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	XXXX	Haines Company
1995	Rogers Photo & Frame	Pacific Bell
1991	Crab Hideout	Pacific Bell
	RWs Crab Hideout	Pacific Bell
1986	Me Cormicks Landing	Pacific Bell
1980	le Cormicks Landing	Pacific Telephone
	Mc Cormish K	Pacific Telephone

#### 3181 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	XXXX	Haines Company
1975	TEXAS INSTRUMENTS INC	Luskey Brothers & Co., Inc.

### Airway Ave

#### 3183 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	LAUREL ELECTRONICS INC	EDR Digital Archive
	KIERTRON INC	EDR Digital Archive
	AERIAL MEDIA PROS	EDR Digital Archive
	KBW CAPITAL INC	EDR Digital Archive
	BREWER RENTALS LLC	EDR Digital Archive
	BREWER AND BREWER	EDR Digital Archive
	CURTIS ALAN W ATTORNEY AT LAW	EDR Digital Archive
	BLUE C ADVERTISING INC	EDR Digital Archive
	ALL PRO RESTORATION CNSTR INC	EDR Digital Archive
	MILLENNIUM HEALTH INSUR INC	EDR Digital Archive

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	KASHVIK BAY HOLDING LLC	EDR Digital Archive
	NUSHAGAK HOLDING LLC	EDR Digital Archive
	LAGUNA INVESTMENT INC	EDR Digital Archive
	M SQUARED MEDICAL LLC	EDR Digital Archive
	BREWER INTERNATIONAL INC	EDR Digital Archive
	BACK TO BASICS	EDR Digital Archive
	YALE ENTITY SERVICES CORP	EDR Digital Archive
	EPOS BUSINESS SOLUTIONS	EDR Digital Archive
	JUDY VENN & ASSOCIATES INC	EDR Digital Archive
	INTERIOR DESIGN GROUP LLC	EDR Digital Archive
	NOELS TAX SERVICE	EDR Digital Archive
	MAG CONSTRUCTION	EDR Digital Archive
	CLRS TECHNOLOGY CORPORATION	EDR Digital Archive
	VANTAGE AEROSPACE INC	EDR Digital Archive
MARJACK LLC	EDR Digital Archive	
2010	MARJACK LLC	EDR Digital Archive
	DISCOUNT SCIENTIFIC LLC	EDR Digital Archive
	GENERAL PROJECT USA LLC	EDR Digital Archive
	SCULTURA CORP	EDR Digital Archive
	APTERA COMMUNICATIONS LLC	EDR Digital Archive
	DWELLINGLIVE	EDR Digital Archive
	NOELS TAX SERVICE	EDR Digital Archive
	AKINSPARKER CREATIVE LLC	EDR Digital Archive
	FABIAN FINANCIAL SERVICES	EDR Digital Archive
	C R E S CORPORATION	EDR Digital Archive
	ASSURED CAPITAL CORPORATI	EDR Digital Archive
	INTERIOR DESIGN GROUP LLC	EDR Digital Archive
	JOHN HOWENSTINE INC	EDR Digital Archive
	CONSULTING SERVICES INTL	EDR Digital Archive
	JASICH & BEAUCHAMP FIRE ANL B2	EDR Digital Archive
	A & E SOLUTION	EDR Digital Archive
	PROSPICE GROUP INC	EDR Digital Archive
	BACK TO BASICS	EDR Digital Archive
	ELEGANT SHOPPING	EDR Digital Archive
	SAGER & ASSOCIATES	EDR Digital Archive
WEST-PAC PETROLEUM	EDR Digital Archive	
LAGUNA INVESTMENT INC	EDR Digital Archive	
BLUE C ADVERTISING INC	EDR Digital Archive	

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	DETAILS INTERIOR DESIGN LLC	EDR Digital Archive
	TOP SPIN COMMUNICATIONS	EDR Digital Archive
	CURTIS ALAN W ATTORNEY AT LAW	EDR Digital Archive
	BREWER RENTALS LLC	EDR Digital Archive
	VENTURE-NET PARTNERS	EDR Digital Archive
	KBW CAPITAL INC	EDR Digital Archive
	KIERTRON INC	EDR Digital Archive
	LAUREL ELECTRONICS INC	EDR Digital Archive
2005	LAUREL ELECTRONICS INC	EDR Digital Archive
	BONNIE TOTH ADVG & DESIGN	EDR Digital Archive
	ACM WEST	EDR Digital Archive
	BB COLLECTIONS INC	EDR Digital Archive
	MERIDIAN HEALTH & NUTRITION	EDR Digital Archive
	JERALD L KRICHMAR INC	EDR Digital Archive
	MICRO-TEC WEST	EDR Digital Archive
	CHINO HILLS PARKWAY LLC	EDR Digital Archive
	AKUA CORPORATION	EDR Digital Archive
	TRADEMARK GRAPHIC SUPPORT FIRM	EDR Digital Archive
	FIDELITY FAMILY HOLDINGS INC	EDR Digital Archive
	BRIDGEWORKS COMMERCIAL MGT	EDR Digital Archive
	THRASH DEBRA	EDR Digital Archive
	ELEGANT SHOPPING	EDR Digital Archive
	TERRY KATHRYN E ATTY	EDR Digital Archive
	A & E SOLUTION	EDR Digital Archive
	JASICH & BEAUCHAMP FIRE ANL B2	EDR Digital Archive
	EMPLOYMENTWORKS	EDR Digital Archive
	MARJACK LLC	EDR Digital Archive
	SADDLEHILL TRAILS FARM INC	EDR Digital Archive
	MARCHETTI & ASSOCIATES	EDR Digital Archive
	ENCOMPASS MECHANICAL SERVICES	EDR Digital Archive
	PACIFIC RIM MECHANICAL CONTRS	EDR Digital Archive
	HILTON ENGINEERING INCORPORATE	EDR Digital Archive
AKINSPARKER CREATIVE LLC	EDR Digital Archive	
RYAN IMPORTS	EDR Digital Archive	
SCULTURA CORP	EDR Digital Archive	

## FINDINGS

### AIRWAY AVE

#### 3183 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	BUILDING CALRIO	Haines Company
	ELEGANTSHOPPING	Haines Company
	ELEGANTSHOPPING	Haines Company
	KBRTRADIO	Haines Company
	MARJACKLLC	Haines Company
	MICROTEC WEST	Haines Company
	PACIFIC RIM	Haines Company
	MECHANICAL PRISCOMMING	Haines Company
	TOTH STAUFER	Haines Company
	ADVERTISINGADSGN VOSITECHNOLOGIES	Haines Company
	CORPORATION	Haines Company
1995	Cancun Color Productions	Pacific Bell
	Construction Architects Inc	Pacific Bell
	Development Group The	Pacific Bell
	Foley R L & Associates	Pacific Bell
	Hancock Development Co	Pacific Bell
	Jasich & Beauchamp Fire Analysis	Pacific Bell
	Johnee Bee Show The	Pacific Bell
	KB R T Radio	Pacific Bell
	K & S Development Co	Pacific Bell
	Klyotoki Associates	Pacific Bell
	Marchetti & Associates	Pacific Bell
	Page Works The Service Bureau	Pacific Bell
	R L Foley & Associates	Pacific Bell
	Ransom Group Inc The	Pacific Bell
	San Antonio Development Co	Pacific Bell
	Stapp Michael Inc	Pacific Bell
	Synte Xt	Pacific Bell
	Trade Mark The Graphic Support Firm	Pacific Bell
	Urban Planning Resources See U P R Land Planning	Pacific Bell
	Westwerke Automotive	Pacific Bell
YES Computer Processing	Pacific Bell	
Yeakel Electronic Software	Pacific Bell	
Yeakel Electronic Systems	Pacific Bell	

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	A E C Associates	Pacific Bell
	A E C French Language Services Translation & Tutoring	Pacific Bell
	B I S Sales Service Division	Pacific Bell
	B I S Sales Service Division	Pacific Bell
	BISS	Pacific Bell
	Beauchamp Fire Analysis	Pacific Bell
1991	A E C Associates	Pacific Bell
	Alpine Group The	Pacific Bell
	BIS Sales	Pacific Bell
	California Professional Computing Inc	Pacific Bell
	Cancun Color Productions	Pacific Bell
	Construction Architects Inc	Pacific Bell
	Construction Business Systems	Pacific Bell
	From Newport Bunch Telephaons Call	Pacific Bell
	Design Star Consultants Inc	Pacific Bell
	Development Group The	Pacific Bell
	Foley R L & Associates	Pacific Bell
	Glenmart Company Inc	Pacific Bell
	Hancock Development Co	Pacific Bell
	Hancock Diana	Pacific Bell
	Janis Kerr & Associates	Pacific Bell
	K BRT Radio	Pacific Bell
	K C Air Conditioning PO Box 503 @Cypress@	Pacific Bell
	KC & Associates	Pacific Bell
	K & S Development Co	Pacific Bell
	Kato Arlene Design	Pacific Bell
	Kerr Janis & Associates	Pacific Bell
	Nationwide Lease Associates Inc	Pacific Bell
	Northwood Design Company	Pacific Bell
	R L Foley & Associates	Pacific Bell
	San Antonio Development Co	Pacific Bell
	Sanantonio Jose	Pacific Bell
	San Antonio Rigid Pole Construction	Pacific Bell
	Southwestern Composites Inc	Pacific Bell
	Southwestern Network Systems Corp	Pacific Bell
	Spectrum Design Commercial Interiors	Pacific Bell
	Westwerke Automotive	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Architectural Development Services	Pacific Bell
	B I S Sales	Pacific Bell
	Business Information Systems Sales	Pacific Bell
	California Professional Computing Inc	Pacific Bell
	Dal Cal International	Pacific Bell
	Delta Data Systems	Pacific Bell
	Development Group The	Pacific Bell
	Foley Building	Pacific Bell
	Foley R L & Associates	Pacific Bell
	Glenmart Company Inc	Pacific Bell
	International Audio	Pacific Bell
	Jakelis Rolls & Raoclyffe Inc	Pacific Bell
	Janis Kerr interior Color	Pacific Bell
	K & S Development Co	Pacific Bell
	Ken Jans Interior Color	Pacific Bell
	Med Tech Engineering Inc	Pacific Bell
	Orange County Acoustics	Pacific Bell
	Main Ofc	Pacific Bell
	R L Foley & Associates	Pacific Bell
	Respiratory Support Products Inc	Pacific Bell
S S P Associates	Pacific Bell	
San Antonio Development Co	Pacific Bell	
Stapp Michael Inc	Pacific Bell	
1980	international Audio	Pacific Telephone
	Action Communication Systems	Pacific Telephone
	ACTION CON TAIN E R CORPORATION	Pacific Telephone
	Architectural Development Services	Pacific Telephone
	Foiey Building	Pacific Telephone
	Foley R & Associates	Pacific Telephone
	Hallisey & Tichey Contract Interiors	Pacific Telephone
	Industrial And Commercial Marketing Inc	Pacific Telephone
	Logan Computer	Pacific Telephone
	Logan M D	Pacific Telephone
	Optical Business Machines	Pacific Telephone
	Optical Data Forms	Pacific Telephone
	Thoracel Corp	Pacific Telephone
	Tronomed international	Pacific Telephone

## FINDINGS

### Airway Ave

#### 3184 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2014	FOCUS REAL ESTATE GROUP LLC	EDR Digital Archive	
	WRG INC	EDR Digital Archive	
	SMOKY HOLLOW PARTNERS LLC	EDR Digital Archive	
	HR FACTOR INC	EDR Digital Archive	
	NEWPORT REAL ESTATE SVCS INC	EDR Digital Archive	
	DELTA PARTNERS LLC	EDR Digital Archive	
	TOUCHPOINTE SOLUTIONS LLC	EDR Digital Archive	
	SOCIAL MEDIA CAMPAIGNS	EDR Digital Archive	
	GALLARDO ERNIE	EDR Digital Archive	
	GREEN CHIP ELECTRONICS	EDR Digital Archive	
	GROVES INVESTMENT COMPANY	EDR Digital Archive	
	CITATION CAPITAL PARTNERS INC	EDR Digital Archive	
	HELI-MART SERVICES INC	EDR Digital Archive	
	HELI-MART INC	EDR Digital Archive	
	CALIFORNIA AERO COMPONENTS	EDR Digital Archive	
	ROALF CRAIG R E	EDR Digital Archive	
	CHM LLC	EDR Digital Archive	
	HOWARD BUILDING CORPORATION	EDR Digital Archive	
	JASON MALECKA	EDR Digital Archive	
	OKTOS SURGICAL CORPORATION	EDR Digital Archive	
	DON P NICHOLS FOUNDATION INC	EDR Digital Archive	
	ORANGE COUNTY COMPONENTS INC	EDR Digital Archive	
	PROFORMA PLUS REAL ESTATE SVC	EDR Digital Archive	
	BKM CAPITAL PARTNERS LLC	EDR Digital Archive	
	POPE SPINDLE SVC	EDR Digital Archive	
	2010	POPE SPINDLE SVC	EDR Digital Archive
		EGO FACTORY	EDR Digital Archive
GETINGE USA INC		EDR Digital Archive	
VALLEY PLZ INV LLC A CALIFORN		EDR Digital Archive	
BEREAN COMMUNITY CHURCH		EDR Digital Archive	
DON P NICHOLS FOUNDATION INC		EDR Digital Archive	
ROALF CRAIG R E		EDR Digital Archive	
HOLBROOK & CO		EDR Digital Archive	
ELECTRONIC DESIGN	EDR Digital Archive		
OKTOS SURGICAL CORPORATION	EDR Digital Archive		



## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	DCI PACIFIC	EDR Digital Archive
	HOWARD BUILDING CORPORATION	EDR Digital Archive
	HELI-MART SERVICES INC	EDR Digital Archive
	HELI-MART INC	EDR Digital Archive
	CALIFORNIA AERO COMPONENTS	EDR Digital Archive
	CITATION CAPITAL PARTNERS INC	EDR Digital Archive
	GROVES INVESTMENT COMPANY	EDR Digital Archive
	GALLARDO ERNIE	EDR Digital Archive
	NEWPORT REAL ESTATE SVCS INC	EDR Digital Archive
	WRG INC	EDR Digital Archive
	TOUCHPOINTE SOLUTIONS LLC	EDR Digital Archive
	FOCUS REDLANDS LLC	EDR Digital Archive
	FOCUS REAL ESTATE GROUP LLC	EDR Digital Archive
2005	WRG INC	EDR Digital Archive
	A C LEMON LLC	EDR Digital Archive
	ALEXANDER COMMUNITIES INC	EDR Digital Archive
	CITRUS CLLECTN AT REDLANDS LLC	EDR Digital Archive
	GCA INVESTMENTS LP	EDR Digital Archive
	AZUSA RIDGE 26 A CAL LTD PA	EDR Digital Archive
	GALLARDO ERNIE	EDR Digital Archive
	GEORGE SMITH PARTNERS INC	EDR Digital Archive
	GROVES INVESTMENT COMPANY	EDR Digital Archive
	RICHARDS BOULEVARD PARTNERS	EDR Digital Archive
	DME/GOLF LLC	EDR Digital Archive
	CONTINENTAL PLAZA PHASE 4 LLC	EDR Digital Archive
	HELI-MART INC	EDR Digital Archive
	CALIFORNIA AERO COMPONENTS	EDR Digital Archive
	HELI-MART SERVICES INC	EDR Digital Archive
	HOWARD BUILDING CORPORATION	EDR Digital Archive
	MICHAEL HOWARD COMPANY INC	EDR Digital Archive
	BENSON PARTNERS	EDR Digital Archive
	LOANQUBE LLC	EDR Digital Archive
	PARK MANOR MH PK	EDR Digital Archive
CAPORICCI & LARSON	EDR Digital Archive	
BLANCO INVESTMENTS & LAND LTD	EDR Digital Archive	
VALLEY PLZ INV LLC A CALIFORN	EDR Digital Archive	
REGAL HC LIMITED PARTNERSHIP	EDR Digital Archive	
MAXIM BUSINESS SYSTEMS INC	EDR Digital Archive	

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2005	CORPORATE MOTIVATORS INC	EDR Digital Archive
	UMCI INTERNATIONAL INC	EDR Digital Archive
	NEWPORT FILM PRODUCERS INC	EDR Digital Archive
	LENDERHOST INC	EDR Digital Archive
	DIEDRICH COFFEE INC	EDR Digital Archive

### AIRWAY AVE

#### 3184 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	BUILDING	Haines Company
	ASSET MANGMNT	Haines Company
	CONSULTANTS INC BENSON PARTNERS	Haines Company
	BLANCO INVESTMENTS	Haines Company
	CAPPELTi MOTHYR	Haines Company
	All Y CENTER GROUP	Haines Company
	CENTER GROUPTHE	Haines Company
	COOKFRED	Haines Company
	ARCHITECTS DMEGOLF	Haines Company
	DMEGOLF	Haines Company
	ELECTRONICDESIGN	Haines Company
	ASSOCIATES FINISTERRACORP	Haines Company
	GALLARDOERNIE	Haines Company
	QEORGESMITH	Haines Company
	PARTNERS INC GROVE INVESTMENT	Haines Company
	HBCHOWARD	Haines Company
	BUILDING HANNA SUSANJ	Haines Company
	HELIMART	Haines Company
	HELIMART	Haines Company
	INTERGAME	Haines Company
	JELINEKHOWARD PHD	Haines Company
	MISSIONPAGEANT	Haines Company
	FOUNDATION J NOTTBRUCEE	Haines Company
	PIDAGROUP	Haines Company
	POPESPINDLESERV	Haines Company
1995	Avcenter Aircraft Supply	Pacific Bell
	Benson Partners	Pacific Bell
	Bradford Building Services	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	DME Golf	Pacific Bell
	Davin & Associates	Pacific Bell
	Electronic Design Associates	Pacific Bell
	Gallardo Ernie	Pacific Bell
	Goldivan Inc	Pacific Bell
	Grove Investment Co	Pacific Bell
	Hall Richard A Co	Pacific Bell
	Heli Mart	Pacific Bell
	Howard Building Corp	Pacific Bell
	Jelinek Howard Ph D Electronic Design Associates	Pacific Bell
	Lewis Richard D AIA	Pacific Bell
	Newport Coast Financial	Pacific Bell
	Newport Financial	Pacific Bell
	Newport Financial Group Inc	Pacific Bell
	Newport Financial Associates Inc	Pacific Bell
	Nott Bruce E	Pacific Bell
	Pacific Housing Management	Pacific Bell
	Pida Group	Pacific Bell
	Royal Aviation Flying Club	Pacific Bell
	Sidawl & Associates Consulting Engineers	Pacific Bell
So Cal Sweeping	Pacific Bell	
Sports Lifestyles Associates	Pacific Bell	
1991	A Plus Bookkeeping Services	Pacific Bell
	Associated Design Studios Inc	Pacific Bell
	AVCENTER AIRCRAFT SUPPLY	Pacific Bell
	Decision Planning Corp	Pacific Bell
	Electronic Design Associates	Pacific Bell
	Gallardo Ernie	Pacific Bell
	Gallardo Francisco	Pacific Bell
	Hodgson Maryann	Pacific Bell
	Lasarray Asic Center	Pacific Bell
	Musser & Cox Architects	Pacific Bell
	Nott Bruce E	Pacific Bell
	Pzazz	Pacific Bell
	Regal Homes	Pacific Bell
	Sidawi & Associates Consulting Engineers	Pacific Bell
Somers James Co	Pacific Bell	
1986	ACS DIVE RS IFIE D IN C	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Arcon Engineers	Pacific Bell
	Associated Design Studios Inc	Pacific Bell
	AVCE N TE R AIRCRAFT S UPPLY	Pacific Bell
	Born Barrett & Associates constltn g engnrs	Pacific Bell
	CPM Research West	Pacific Bell
	Campbell Richard W consulting structrl engnr	Pacific Bell
	Decision Planning Corp	Pacific Bell
	Professional Positioners Inc	Pacific Bell
	Reedcorp Engineering	Pacific Bell
	Reliable Maintenance Service	Pacific Bell
1980	Alpha Set	Pacific Telephone
	Alpha Sierra Inc S OOC Newport Center Dr @Newport Beach@	Pacific Telephone
	Associated Design Studios Inc	Pacific Telephone
	Avcenter Aircraft Supply	Pacific Telephone
	Filet	Pacific Telephone
	HOLLE N BE CK DE VE LOPME N T CO S	Pacific Telephone
	From Los Anaeles Telephones Call	Pacific Telephone
	L D Plastic Tool & Die	Pacific Telephone
	Lee Douglas H AI A	Pacific Telephone
	ee & Sakahara Associates A I A	Pacific Telephone
	Willer Robert R Productions	Pacific Telephone
	Protessional Positioners Inc	Pacific Telephone
	RDA Enterpr Ises	Pacific Telephone
	Sails Construction	Pacific Telephone
	Sails Development	Pacific Telephone
Saka ara Ronald A IA	Pacific Telephone	

### Airway Ave

#### 3185 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	KINGS SEAFOOD COMPANY LLC	EDR Digital Archive
	UNIVERSITY RESTAURANT GROUP	EDR Digital Archive
	KINGS FISH HOUSE	EDR Digital Archive
	CMM PRODUCTS CO LLC	EDR Digital Archive
	DIGITAL SERVICES COMPANY	EDR Digital Archive
	KKPI PROPERTIES II LLC	EDR Digital Archive

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	ATLAS ENVIRONMENTAL ENGRG INC	EDR Digital Archive
	FLYING KIWIS INCORPORATED	EDR Digital Archive
	J P INSTRUMENTS INC	EDR Digital Archive
	JADE HOMES	EDR Digital Archive
	TUTTLE DEVELOPMENT COMPANY	EDR Digital Archive
	SKINNER WILLIAM E ARCHITECTS	EDR Digital Archive
	VODEX COMMUNICATIONS CORP	EDR Digital Archive
	ACCOUNTING RESOURCE SOFTWARE	EDR Digital Archive
	SANTE FE MEMBERS LLC	EDR Digital Archive
	PEORIA MEMBERS LLC	EDR Digital Archive
	SITE CREW INC	EDR Digital Archive
	STEPHENS COMPANY	EDR Digital Archive
	CCC RESTAURANT ENTERPRISES LLC	EDR Digital Archive
2010	ALLIANCE DIRECT LENDING INC	EDR Digital Archive
	PALOMAR DISC TECHNOLOGY	EDR Digital Archive
	STEPHENS COMPANY	EDR Digital Archive
	PETRA GEOTECHNICAL INC	EDR Digital Archive
	SANTE FE MEMBERS LLC	EDR Digital Archive
	PEORIA MEMBERS LLC	EDR Digital Archive
	MELINDA S ALASKA	EDR Digital Archive
	MARTIN CHOW NAKABARA INC	EDR Digital Archive
	ACCOUNTING RESOURCE SOFTWARE	EDR Digital Archive
	MICRO-TEC WEST	EDR Digital Archive
	INTELIO TECHNOLOGIES	EDR Digital Archive
	RESPONSE MARKETING	EDR Digital Archive
	GUTHRIE SAN DIMAS LLC	EDR Digital Archive
	JD ELDEN LLC	EDR Digital Archive
	OLIPHANT LAMPSON INDUS LLC	EDR Digital Archive
	AMERICAN TAX INSTITUTE	EDR Digital Archive
	BERRY STREET MAINTENANCE CORP	EDR Digital Archive
	SKINNER WILLIAM E ARCHITECTS	EDR Digital Archive
	GDC TUSTIN FREEWAY LLC	EDR Digital Archive
	ALAMEDA CMMERCE CTR MAINT CORP	EDR Digital Archive
	MEATS AVE BUS CTR MAINT CORP	EDR Digital Archive
	ROBERT & DEBRA GUTHRIE TRUST	EDR Digital Archive
	GCA LAND HOLDINGS	EDR Digital Archive
TUTTLE DEVELOPMENT COMPANY	EDR Digital Archive	
JADE HOMES	EDR Digital Archive	

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	J P INSTRUMENTS INC	EDR Digital Archive
	ATLAS ENVIRONMENTAL ENGRG INC	EDR Digital Archive
	DIGITAL SERVICES COMPANY	EDR Digital Archive
	CMM PRODUCTS CO LLC	EDR Digital Archive
	DIGITAL SERVICE COMPANY	EDR Digital Archive
	KINGS SEAFOOD COMPANY LLC	EDR Digital Archive
	UNIVERSITY RESTAURANT GROUP	EDR Digital Archive
2005	CONGRESS LIFE CORPORATION	EDR Digital Archive
	KS 1958	EDR Digital Archive
	AMERICAN CONSULTING GROUP	EDR Digital Archive
	AMERICAN CONSULTING GROUP INC	EDR Digital Archive
	DIGITAL SERVICE COMPANY	EDR Digital Archive
	DIGITAL SERVICES COMPANY	EDR Digital Archive
	CMM PRODUCTS CO LLC	EDR Digital Archive
	SUN MAPS INC	EDR Digital Archive
	UNIVERSITY RESTAURANT GROUP	EDR Digital Archive
	BOJORQUEZ & ANDERSON INC	EDR Digital Archive
	J P INSTRUMENTS INC	EDR Digital Archive
	SC RAMADA INC A CORP	EDR Digital Archive
	JRW REALTY SERVICES INC	EDR Digital Archive
	M & C ENTERPRISES LLC	EDR Digital Archive
	TUTTLE DEVELOPMENT COMPANY	EDR Digital Archive
	GREEN RIVER SYSTEMS LLC	EDR Digital Archive
	ROBERT & DEBRA GUTHRIE TRUST	EDR Digital Archive
	ORANGE INDUSTRIAL PARK LLC	EDR Digital Archive
	SKINNER WILLIAM E ARCHITECTS	EDR Digital Archive
	AMERICAN LENDING ALLIANCE INC	EDR Digital Archive
	ENCORE VOCALS FOR ALL OCCAS IO	EDR Digital Archive
	RESPONSE MARKETING	EDR Digital Archive
	PALOMAR DISC TECHNOLOGY	EDR Digital Archive
	NATIONAL SECURITY PATROL	EDR Digital Archive
	MELINDA S ALASKA	EDR Digital Archive
	SANTE FE MEMBERS LLC	EDR Digital Archive
	PEORIA MEMBERS LLC	EDR Digital Archive
PETRA GEOTECHNICAL INC	EDR Digital Archive	
ASSOCIATION OF GRAPHIC COMM	EDR Digital Archive	
PROLAB IMAGING SERVICES INC	EDR Digital Archive	
STEPHENS COMPANY	EDR Digital Archive	

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2005	GUTHRIE LOS NIETOS LLC	EDR Digital Archive
	IMPRESSIONS MFG INC	EDR Digital Archive

### AIRWAY AVE

#### 3185 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	INC SKINNERWM E 4 ASSC	Haines Company
	TUTTLEDEVELPMNT	Haines Company
	6 0 BUILDING AMERICAN	Haines Company
	CONSULTING GROUP	Haines Company
	INC APPLIED WHOLESALE	Haines Company
	MORTGAGE BOJOROUENZ&ANDERS	Haines Company
	ON CMM PRODUCTS	Haines Company
	CAUFORNIOSTHE	Haines Company
	CLASSIC	Haines Company
	COLORAPREPRESS CLASSIC EDITIONS	Haines Company
	DIGITALSERVICES	Haines Company
	ENCORE VOCALS FOR	Haines Company
	ALL OCCSNS GLPKARJALA	Haines Company
	ASSOCIATES INC	Haines Company
	HANLON ENGINEERING	Haines Company
	INC JPINSTRUMENTS	Haines Company
	KLEIN	Haines Company
	JAMES&ASSOCIATES NEXGEN DIGITALINC	Haines Company
	OCCUPTNLHEALTH	Haines Company
	SERVICES OHSHEALTHASAFETY	Haines Company
	SERVICES INC ORANGECOUNTY	Haines Company
	LIGHT OPERA CO	Haines Company
	PETRAGEOTECHNICAL	
1995	American Consulting Group Inc	Pacific Bell
	Classic Type & Prepress	Pacific Bell
	Enviro Pacific	Pacific Bell
	Fell Meyer & Mc Carthy A Professional Corp	Pacific Bell
	Fell Sheila Fell Moyer & Mc Carthy A Professional Corp	Pacific Bell
	Financial Logistic Group	Pacific Bell
	Kokusai Trading	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Maxim Business Systems	Pacific Bell
	Mc Carthy Bonnie Fell Meyer B Mc Carthy A Professional Corp	Pacific Bell
	Meyer Keith Fell Meyer & Mc Carthy A Professional Corp	Pacific Bell
	Petra Geotechnical Inc	Pacific Bell
	Reid Advertising & Public Relations	Pacific Bell
	Skinner Wm E & Associates	Pacific Bell
	Soranzo Internatl	Pacific Bell
	Star West	Pacific Bell
	Tuttle Development Co	Pacific Bell
	Venture Holdings	Pacific Bell
	Yeary & Associates	Pacific Bell
	Yeary & Associates Inc	Pacific Bell
1991	Bas Microtech	Pacific Bell
	Business Application Sources	Pacific Bell
	Business Automation Associates	Pacific Bell
	BUSINESSAUTOMATIONINC	Pacific Bell
	Center For Human Resources The	Pacific Bell
	Composing Room The	Pacific Bell
	Genesis Business Services	Pacific Bell
	Grafcomm	Pacific Bell
	Griffith Group The	Pacific Bell
	Jostens Publications	Pacific Bell
	KARJALA DALE & ASSOCIATES INC	Pacific Bell
	MaxIm Business Systems	Pacific Bell
	Maxim M @Garden Grove@	Pacific Bell
	Mortgage Consultants Group	Pacific Bell
	Petra Geotechncal Inc	Pacific Bell
	Realty Asset Management Group	Pacific Bell
	Reid Advertising & Public Relations	Pacific Bell
	Skinner Wm E& Associates	Pacific Bell
	Tuttle Development Co	Pacific Bell
	West Coast Industrial Relations Assn Inc	Pacific Bell
	Yeary & Associates	Pacific Bell
	Yeary & Associates Inc	Pacific Bell
	Yeary & Associates Inc	Pacific Bell
Yeary Communications	Pacific Bell	
1986	Allied Education Inc	Pacific Bell



## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Balzer Wolf Associates	Pacific Bell
	Center For Human Resources The	Pacific Bell
	Compro Electronics Inc	Pacific Bell
	Compro Electronics Inc	Pacific Bell
	Electrotek International Inc	Pacific Bell
	Graphic Scan Service	Pacific Bell
	Green William & Associates	Pacific Bell
	Mirth Works The	Pacific Bell
	Mortgage Consultants	Pacific Bell
	Realty Asset Management Group	Pacific Bell
	Reid Advertising & Public Relations	Pacific Bell
	Service Concepts International Inc	Pacific Bell
	Skinner Wm E & Associates	Pacific Bell
1980	AIM MBS	Pacific Telephone
	Amerea International Inc	Pacific Telephone
	DMS OIJTH IMPORTS IN C	Pacific Telephone
	Fine Arts	Pacific Telephone
	Skinner Wm E & Associates	Pacific Telephone
	Thermax Systems Inc	Pacific Telephone
	Yeary & Associates	Pacific Telephone
	From @Long Beach@ Telephones Call	Pacific Telephone

### Airway Ave

#### **3186 Airway Ave**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	WARRIOR PETROLEUM LLC	EDR Digital Archive
	MJ INVESTMENTS LLC	EDR Digital Archive
	WHITENER GRAPHICS	EDR Digital Archive
	KEN OKAMOTO ASSOCIATES INC	EDR Digital Archive
	FSA DESIGN	EDR Digital Archive
	NATIONAL APPRAISAL GUIDES INC	EDR Digital Archive
	DC AIRWAY PROPERTIES LLC	EDR Digital Archive
	NAVITAS UTILITY CORPORATION	EDR Digital Archive
	STREETMASTER	EDR Digital Archive
	CAMPUS COMMNS-BRNCHS ASSOC VEN	EDR Digital Archive
	SAMMIS LEE AND ASSOCIATES	EDR Digital Archive
	RALEIGH LAND & FARMING II LLC	EDR Digital Archive

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	H R STEEL INC	EDR Digital Archive
	3195 AIRPORT LOOP PARTNERS LLC	EDR Digital Archive
	FINTON ASSOCIATES	EDR Digital Archive
	MAI COUTURE	EDR Digital Archive
	NEWLAND DESIGN & ASSOC INC	EDR Digital Archive
	A&K GRAAFMANS PROPERTIES LLC	EDR Digital Archive
2010	A&K GRAAFMANS PROPERTIES LLC	EDR Digital Archive
	NEWLAND DESIGN & ASSOC INC	EDR Digital Archive
	PHOTO CENTER INC	EDR Digital Archive
	LSA-SUTTON INC	EDR Digital Archive
	CYBERTECH DESIGNS INC	EDR Digital Archive
	JIM DAY COMMUNICATIONS	EDR Digital Archive
	MD REEVES TRUST U/D/T OCTO	EDR Digital Archive
	3195 AIRPORT LOOP PARTNERS LLC	EDR Digital Archive
	FINTON CONSTRUCTION INC	EDR Digital Archive
	RALEIGH LAND & FARMING II LLC	EDR Digital Archive
	SAMMIS LEE ASSOCIATES	EDR Digital Archive
	DESIGN DYNAMICS	EDR Digital Archive
	CAMPUS COMMNS-BRNCHS ASSOC VEN	EDR Digital Archive
	CALIFORNIA READING ASSOCIATION	EDR Digital Archive
	DC AIRWAY PROPERTIES LLC	EDR Digital Archive
	DDC MARINE LLC	EDR Digital Archive
	NATIONAL APPRAISAL GUIDES INC	EDR Digital Archive
	FSA DESIGN	EDR Digital Archive
	JUDY VENN & ASSOCIATES INC	EDR Digital Archive
	VANTAGE AEROSPACE INC	EDR Digital Archive
	WHITENER GRAPHICS	EDR Digital Archive
	KEN OKAMOTO ASSOCIATES INC	EDR Digital Archive
	MJ INVESTMENTS LLC	EDR Digital Archive
	CROWNPOINT LLC	EDR Digital Archive
2005	CROWNPOINT LLC	EDR Digital Archive
	OKAMOTO KEN ASSOCIATES INC	EDR Digital Archive
	WHITENER GRAPHICS	EDR Digital Archive
	VENN JUDY & ASSOCIATES INC	EDR Digital Archive
	M SANBONMATSU & CO	EDR Digital Archive
	FESSEL INTERNATIONAL INC	EDR Digital Archive
	NATIONAL APPRAISAL GUIDES	EDR Digital Archive
CALIFORNIA READING ASSOCIATION	EDR Digital Archive	

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2005	DESIGN DYNAMICS	EDR Digital Archive
	SAMMIS LEE ASSOCIATES	EDR Digital Archive
	RALEIGH LAND & FARMING II LLC	EDR Digital Archive
	MAUI BABE	EDR Digital Archive
	CYBERTECH DESIGNS INC	EDR Digital Archive
	PHOTO CENTER INC	EDR Digital Archive
	QUATREFOIL SERVICES INC	EDR Digital Archive
	LUGGAGETURE LLC	EDR Digital Archive

### AIRWAY AVE

#### 3186 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	BUILDING CALIFORNIA READING ASSOCIATION CUESTA	Haines Company
	CONSTRUCTION DESIGN DYNAMICS	Haines Company
	FRIEDEMANNFK	Haines Company
	VENN&ASSOCIATES LEE	Haines Company
	SAMMIS&ASSOCIATES NADA 714 U	Haines Company
	PM GRAPHICS	Haines Company
	PM GRAPHICS	Haines Company
	PHOTO CENTER INC	Haines Company
	PM GRAPHICS	Haines Company
	PM GRAPHICS	Haines Company
	PM GRAPHICS	Haines Company
	PM GRAPHICS	Haines Company
	PM GRAPHICS	Haines Company
	SMITHRWACO	Haines Company
	WESTEC	Haines Company
	COMMUNICATIONS	Haines Company
1995	Blaketon Group The	Pacific Bell
	Cunningham Group the	Pacific Bell
	Max Co The	Pacific Bell
	Maxsenti Michael	Pacific Bell
	Mesa Energy Systems Inc	Pacific Bell
	N AD A Appraisal Guides	Pacific Bell
	PMGraphics	Pacific Bell
	Shamrock Equipment Company	Pacific Bell
	Smith Greg Communications	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Smith R W & Co	Pacific Bell
1991	Abitibi Corp West Coast Sales District	Pacific Bell
	Deepwater Chemical Co	Pacific Bell
	Deer Canyon Enhancement Group	Pacific Bell
	German Auto Works	Pacific Bell
	Hayes Company The	Pacific Bell
	Hayes Martin Associates	Pacific Bell
	International Parking Design	Pacific Bell
	Knowlton Fernald AIA	Pacific Bell
	N A D A Appraisal Guides	Pacific Bell
	Odle & Associates	Pacific Bell
	Oxford Merger & Acquisitions Inc	Pacific Bell
	PM Graphics	Pacific Bell
	Pacific Pro Motion Services	Pacific Bell
	Roberts Mealer & Emerson Inc	Pacific Bell
	SMITH R W & CO	Pacific Bell
	Westlake Graphics	Pacific Bell
	Westmark & Associates	Pacific Bell
1986	Beam William Design	Pacific Bell
	Data Chron Inc	Pacific Bell
	Deepwater Chemical Co	Pacific Bell
	Georgian Reproductions Div Lama Enterprises US A Inc	Pacific Bell
	Georgian Reproductions Inc	Pacific Bell
	HALL & FORE MAN IN C	Pacific Bell
	Hurtado Richard Design	Pacific Bell
	Lama Enterprises US A Inc	Pacific Bell
	N A D A Appraisal Guides	Pacific Bell
	Omega Controls Corp	Pacific Bell
	PM Graphics	Pacific Bell
	S MITH R W & CO	Pacific Bell
1980	Deepwater Chemical Co	Pacific Telephone
	Durex Products Div Of Deepwater Chemical Co	Pacific Telephone
	HALL & FORE MAN IN C	Pacific Telephone
	Mealer & Emerson Inc	Pacific Telephone
	From @Whittier@ Telephones Call	Pacific Telephone
	PM Graphics	Pacific Telephone
	S MITH R W & CO	Pacific Telephone

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Digital Systems Sales	Pacific Telephone
	Digital Systems Service	Pacific Telephone
	Ecological Services Dallas Tex	Pacific Telephone
	Industrial Controls	Pacific Telephone
	Metallurgical Materials	Pacific Telephone
	Semiconductors	Pacific Telephone
	TE XAS IN S TRUME N TS S UPPLY COMPANZ	Pacific Telephone
	THOMPS ON BLUE PRIN T	Pacific Telephone
	Watanabe Instruments Corp	Pacific Telephone

### Airway Ave

#### 3187 Airway Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BRANDOPTIMAL	EDR Digital Archive
	SHINY SQUIRREL	EDR Digital Archive
	ION ME LLC	EDR Digital Archive
	CARELOFT INC	EDR Digital Archive
	HELPIO INC	EDR Digital Archive
	A-TEAM PROPERTY MANAGEMENT INC	EDR Digital Archive
	MOBO MEDIA INC	EDR Digital Archive
	UPPERVIEW DEVELOPMENTS INC	EDR Digital Archive
	PAUL DEXTER CREATIVE LLC	EDR Digital Archive
	ART FOR ART SAKE/JB STUDIOS	EDR Digital Archive
	MITCHELL JAMES E ATTORNEY	EDR Digital Archive
	MITCHELL CAPITAL MANAGEMENT	EDR Digital Archive
	J WILLIAMS CARS INC	EDR Digital Archive
	CANTARA DESIGN GROUP INC	EDR Digital Archive
	SIGNS BY CHRISTY	EDR Digital Archive
	CURTIS & ASSOCIATES	EDR Digital Archive
	RSI GROUP INC	EDR Digital Archive
	MIDNITE AIR CORP	EDR Digital Archive
	RESOURCE SOLUTIONS INC	EDR Digital Archive
	BATIDA INC	EDR Digital Archive
2010	BATIDA INC	EDR Digital Archive
	MEDICAL INTERMEDIARIES	EDR Digital Archive
	ENDEAVOR FINANCIAL SERVICES	EDR Digital Archive
	APPEL BUSINESS MACHINES INC	EDR Digital Archive

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	CURTIS & ASSOCIATES	EDR Digital Archive
	SIGNS BY CHRISTY	EDR Digital Archive
	MC DANIEL BUILDERS INC	EDR Digital Archive
	SOUTHCOAST DRYWALL INC	EDR Digital Archive
	DEVELOPMENT SUPPORT SVCS INC	EDR Digital Archive
	J WILLIAMS CARS INC	EDR Digital Archive
	ELSINORE HOMES INCORPORATED	EDR Digital Archive
	PRESENTATION SYSTEMS INC	EDR Digital Archive
	MITCHELL CAPITAL MANAGEMENT	EDR Digital Archive
	MITCHELL JAMES E ATTORNEY	EDR Digital Archive
	UPPERVIEW DEVELOPMENTS INC	EDR Digital Archive
	NEUFELD SAUL	EDR Digital Archive
	GRAPHIX DIRECT	EDR Digital Archive
	ORANGE COUNTY REAL ESTATE	EDR Digital Archive
	CPS SIGNAGE MARKETING	EDR Digital Archive
	OFFICE SPACE CONNECTION	EDR Digital Archive
	HICOR FUNDING	EDR Digital Archive
MIDNITE EXPRESS	EDR Digital Archive	
2005	SCANVEC AMIABLE	EDR Digital Archive
	SOLID POI KLAV 1230AM	EDR Digital Archive
	A T CONTROLS	EDR Digital Archive
	HICOR FUNDING	EDR Digital Archive
	JF RACING	EDR Digital Archive
	HERBERT ADVERTISING INC	EDR Digital Archive
	UPPERVIEW DEVELOPMENTS INC	EDR Digital Archive
	MITCHELL JAMES E ATTORNEY	EDR Digital Archive
	MITCHELL CAPITAL MANAGEMENT	EDR Digital Archive
	MITCHELL PARTNERS LTD	EDR Digital Archive
	PETER KUYKENDALL INC	EDR Digital Archive
	PRESENTATION SYSTEMS INC	EDR Digital Archive
	AIRPORT GRAPHICS INC	EDR Digital Archive
	MC DANIEL BUILDERS INC	EDR Digital Archive
	OKI SHIKA USA LTD	EDR Digital Archive
	SIGNS BY CHRISTY	EDR Digital Archive
	CURTIS & ASSOCIATES	EDR Digital Archive
APPEL BUSINESS MACHINES INC	EDR Digital Archive	
PLAZA BUILDERS INC	EDR Digital Archive	
BATIDA INC	EDR Digital Archive	

## FINDINGS

### AIRWAY AVE

#### 3188 AIRWAY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Smart Audio Products Inc	Pacific Bell

### AIRWW OY AVE

#### 3183 AIRWW OY AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Your Own Special Plac	Pacific Telephone
	Your Personal Assistants	Pacific Telephone

### E PAULARINO AVE

#### 350 E PAULARINO AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Rays Apparel	Pacific Bell

#### 361 E PAULARINO AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	South Coast Helicopters	Pacific Bell
	Iler Gordon Jr	Pacific Bell
	Continental Avionics Inc	Pacific Bell
	Broders Lanny	Pacific Bell
	Baldwin Flight Department	Pacific Bell
	Spring Mountain Enterprises	Pacific Bell

#### 390 E PAULARINO AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	Aircraft Service International Inc	Pacific Bell

### MC COMILCK AVE

#### 200 MC COMILCK AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	National Education Credit Corporation	Pacific Telephone

## FINDINGS

### **MCCORMICK**

#### **350 MCCORMICK**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1995	3 R Custom Coachwork	Pacific Bell

### **MCCORMICK AVE**

#### **325 MCCORMICK AVE**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	XXXX	Haines Company

### **McCormick Ave**

#### **333 McCormick Ave**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	FALKOR PARTNERS LLC	EDR Digital Archive
	SEMICOA CORPORATION	EDR Digital Archive
2010	SEMICOA CORPORATION	EDR Digital Archive
	LUMINOUS INTENT INC	EDR Digital Archive
	ESTEPHNY BIE	EDR Digital Archive
2005	JGSM PARTNERS LLC	EDR Digital Archive
	LUMINOUS INTENT INC	EDR Digital Archive

### **MCCORMICK AVE**

#### **333 MCCORMICK AVE**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	SEMIC	Haines Company
1995	Semicoa	Pacific Bell
1991	Semicoa	Pacific Bell
1986	Semicoa	Pacific Bell
1980	Semlcoa	Pacific Telephone
1975	Semicoa	Luskey Brothers & Co., Inc.

#### **345 MCCORMICK AVE**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	XXXX	Haines Company
1986	Market Standards Inc	Pacific Bell
	Pro Water Systems Inc	Pacific Bell
1975	Hoffman Fabrics	Luskey Brothers & Co., Inc.



## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1975	HOFFMAN CALIF FABRICS	Luskey Brothers & Co., Inc.

### McCormick Ave

#### 350 McCormick Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	NEW VENTURE MOTORS LLC	EDR Digital Archive
	CAMINO REAL ENTERPRISES INC	EDR Digital Archive
	NEWPORT BEACH FERRARI/MASERATI	EDR Digital Archive
2010	RT GROUP HOLDINGS USA INC	EDR Digital Archive
	MERCEDES BRUCE STRUSS AUTOCARE	EDR Digital Archive
	OC SCOOTERS INC	EDR Digital Archive
2005	AMERICAN FINANCIAL SOLUTIONS I	EDR Digital Archive
	STRAUSS BRUCE AUTOCARE INC	EDR Digital Archive
	BELLE AUTO BODY WERKS INC	EDR Digital Archive

### MCCORMICK AVE

#### 350 MCCORMICK AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	STRAUSS AUTOCRE e 3 RCUSTOM	Haines Company
	AUTOCARE INC MERCEDESBRUCE	Haines Company
	AUTOBODYWERKS BRUCESTRAUSS	Haines Company
	SOLUTIONS INC BELL STRAUSS	Haines Company
	AMER FINANCIAL	Haines Company
	COACHWORK	Haines Company
1995	Strauss Bruce Autocare Inc	Pacific Bell
1991	Straman R Company	Pacific Bell
1986	Avnet Electronics Inc	Pacific Bell
1980	Avnet Electronic Inc	Pacific Telephone
	I Sales	Pacific Telephone
	I Customeir Serice	Pacific Telephone
1975	TOWNE ADVERTISERS MAILING SERVICE INC	Luskey Brothers & Co., Inc.
	Avco Systems Division	Luskey Brothers & Co., Inc.
	AVCO THRIFT	Luskey Brothers & Co., Inc.

## FINDINGS

### McCormick Ave

#### 365 McCormick Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	STREET SCENE MANUFACTURING INC	EDR Digital Archive
2010	STREET SCENE MANUFACTURING INC	EDR Digital Archive
2005	STREET SCENE MANUFACTURING	EDR Digital Archive

### MCCORMICK AVE

#### 365 MCCORMICK AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	XXXX	Haines Company
1975	Fainbarg Allan Properties S & A Properties	Luskey Brothers & Co., Inc. Luskey Brothers & Co., Inc.

### Paularino Ave

#### 350 Paularino Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	WESTAR NUTRITION CORP	EDR Digital Archive
2005	BISTRO	EDR Digital Archive
	ONE DISTRIBUTION CO INC	EDR Digital Archive
	JACK AND SPIKE	EDR Digital Archive
	SCUSA	EDR Digital Archive

### PAULARINO AVE

#### 350 PAULARINO AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Augustine Roger	Pacific Telephone

### Paularino Ave

#### 361 Paularino Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	REGENCY AIR LLC	EDR Digital Archive
	WAVE EQUITY PARTNERS LLC	EDR Digital Archive
2010	WAVE EQUITY PARTNERS LLC	EDR Digital Archive
	KJ AIR	EDR Digital Archive
	COSTA MESA AERO BUREAU	EDR Digital Archive

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	REGENCY AIR LLC	EDR Digital Archive
2005	COSTA MESA AERO BUREAU	EDR Digital Archive
	ORANGE COUNTY/SUNBIRD LTD	EDR Digital Archive

### 366 Paularino Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	ORANGE COUNTY FIRE AUTHORITY	EDR Digital Archive
2010	ORANGE COUNTY FIRE AUTHORITY	EDR Digital Archive

### 370 Paularino Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	FEDERAL AVIATION ADM	EDR Digital Archive
	FEDERAL AVIATION ADM	EDR Digital Archive
2010	FEDERAL AVIATION ADM	EDR Digital Archive
	FEDERAL AVIATION ADM	EDR Digital Archive
2005	FEDERAL AVIATION ADM	EDR Digital Archive
	FEDERAL AVIATION ADM	EDR Digital Archive

## PAULARINO AVE E

### 330 PAULARINO AVE E

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	LEE George	Haines Company
	SPECIALTYBDY	Haines Company
	WORKS	Haines Company
1991	Bruce Strauss Autocare Inc	Pacific Bell
	Lee George	Pacific Bell
1986	Lee Geo & Associates Inc tanidrmsts	Pacific Bell
1975	LEE GEO & ASSOCIATES INC taxidrmsts	Luskey Brothers & Co., Inc.

### 345 PAULARINO AVE E

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Rijkschroeff Addy H	Pacific Telephone

### 350 PAULARINO AVE E

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	UHOH SPORTSWEAR	Haines Company
	RAYS APPAREL	Haines Company
	MUNSON Chsnline	Haines Company
1986	MUN S ON S PORTIN G GOODS CO IN C	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Munson Sporting Goods Co Inc	Pacific Telephone
1975	MUNSON SPORTING GOODS CO INC	Luskey Brothers & Co., Inc.

### 361 PAULARINO AVE E

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	HELICOPTERS	Haines Company
	HELIMART	Haines Company
	SOUTHCOAST	Haines Company
1991	Los Angeles Aircraft Exchange	Pacific Bell
	L A Aircraft Exchange	Pacific Bell
	Continental Avionics Inc	Pacific Bell

### 390 PAULARINO AVE E

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	AIRCRAFTSERVINTL	Haines Company

### RED HILL AVE

#### 3170 RED HILL AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2002	GRACE FELLOWSHIP	Haines Company
1995	Oceanview Financial	Pacific Bell
	Mariners Christian School	Pacific Bell
	Grace Fellowship Church	Pacific Bell
1991	HALL& FOREMAN INC	Pacific Bell
1980	Product Development Center	Pacific Telephone
1975	Technology Marketing Inc	Luskey Brothers & Co., Inc.

## FINDINGS

### TARGET PROPERTY: ADDRESS NOT IDENTIFIED IN RESEARCH SOURCE

The following Target Property addresses were researched for this report, and the addresses were not identified in the research source.

#### Address Researched

3175 Airway Avenue

#### Address Not Identified in Research Source

2014, 2001, 1997, 1992, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

### ADJOINING PROPERTY: ADDRESSES NOT IDENTIFIED IN RESEARCH SOURCE

The following Adjoining Property addresses were researched for this report, and the addresses were not identified in research source.

#### Address Researched

200 MC COMILCK AVE

#### Address Not Identified in Research Source

2014, 2010, 2005, 2002, 2001, 1997, 1995, 1992, 1991, 1986, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3152 AIRWAY AVE  
2014, 2010, 2005, 2001, 1997, 1995, 1992, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3153 AIRWAY AVE  
2014, 2010, 2005, 2002, 2001, 1997, 1995, 1992, 1991, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3160 AIRWAY AVE  
2014, 2010, 2005, 2002, 2001, 1997, 1992, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3160 Airway Ave  
2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3168 Airway Ave  
2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3168 AIRWAY AVE  
2014, 2010, 2005, 2001, 1997, 1995, 1992, 1991, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3170 AIRWAY AVE  
2014, 2010, 2005, 2001, 1997, 1995, 1992, 1991, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3170 Airway Ave  
2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3170 RED HILL AVE  
2014, 2010, 2005, 2001, 1997, 1992, 1986, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

3176 Airway Ave  
2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920



## FINDINGS

### Address Researched

### Address Not Identified in Research Source

3186 AIRWAY AVE	2014, 2010, 2005, 2001, 1997, 1992, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
3186 Airway Ave	2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
3187 Airway Ave	2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
3188 AIRWAY AVE	2014, 2010, 2005, 2002, 2001, 1997, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
325 MCCORMICK AVE	2014, 2010, 2005, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
330 PAULARINO AVE E	2014, 2010, 2005, 2001, 1997, 1995, 1992, 1980, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
333 MCCORMICK AVE	2014, 2010, 2005, 2001, 1997, 1992, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
333 McCormick Ave	2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
345 MCCORMICK AVE	2014, 2010, 2005, 2001, 1997, 1995, 1992, 1991, 1980, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
345 PAULARINO AVE E	2014, 2010, 2005, 2002, 2001, 1997, 1995, 1992, 1991, 1986, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
350 E PAULARINO AVE	2014, 2010, 2005, 2002, 2001, 1997, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
350 MCCORMICK	2014, 2010, 2005, 2002, 2001, 1997, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
350 McCormick Ave	2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
350 MCCORMICK AVE	2014, 2010, 2005, 2001, 1997, 1992, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
350 PAULARINO AVE	2014, 2010, 2005, 2002, 2001, 1997, 1995, 1992, 1991, 1986, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
350 Paularino Ave	2010, 2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
350 PAULARINO AVE E	2014, 2010, 2005, 2001, 1997, 1995, 1992, 1991, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920
361 E PAULARINO AVE	2014, 2010, 2005, 2002, 2001, 1997, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

## FINDINGS

### **Address Researched**

361 Paularino Ave

361 PAULARINO AVE E

365 MCCORMICK AVE

365 McCormick Ave

366 Paularino Ave

370 Paularino Ave

390 E PAULARINO AVE

390 PAULARINO AVE E

### **Address Not Identified in Research Source**

2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

2014, 2010, 2005, 2001, 1997, 1995, 1992, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

2014, 2010, 2005, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

2005, 2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

2002, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

2014, 2010, 2005, 2002, 2001, 1997, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920

2014, 2010, 2005, 2001, 1997, 1995, 1992, 1991, 1986, 1980, 1975, 1971, 1970, 1966, 1965, 1961, 1960, 1956, 1955, 1952, 1950, 1946, 1945, 1941, 1936, 1930, 1926, 1925, 1922, 1921, 1920



**3175 Airway Avenue**  
3175 Airway Avenue  
Costa Mesa, CA 92626  
Inquiry Number: 5427551.2s  
September 18, 2018

## EDR Vapor Encroachment Screen

Prepared using EDR's Vapor Encroachment Worksheet

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***Thank you for your business.***  
 Please contact EDR at 1-800-352-0050  
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## EXECUTIVE SUMMARY

A search of available environmental records was conducted by EDR. The report was designed to assist parties seeking to meet the search requirements of the ASTM Standard Practice for Assessment of Vapor Encroachment into Structures on Property Involved in Real Estate Transactions (E 2600).

<b>STANDARD ENVIRONMENTAL RECORDS</b>	<b>Default Area of Concern (Miles)*</b>	<b>property</b>	<b>1/10</b>	<b>&gt; 1/10</b>
Federal NPL site list	1.0	0	0	0
Federal Delisted NPL site list	1.0	0	0	0
Federal CERCLIS list	0.5	0	0	1
Federal CERCLIS NFRAP site list	0.5	0	0	1
Federal RCRA CORRACTS facilities list	1.0	0	0	0
Federal RCRA non-CORRACTS TSD facilities list	0.5	0	0	0
Federal RCRA generators list	0.25	0	0	2
Federal institutional controls / engineering controls registries	0.5	0	0	0
Federal ERNS list	property	0	-	-
State- and tribal - equivalent NPL	1.0	0	0	0
State- and tribal - equivalent CERCLIS	1.0	0	0	0
State and tribal landfill and/or solid waste disposal site lists	0.5	0	0	0
State and tribal leaking storage tank lists	0.5	0	1	8
State and tribal registered storage tank lists	0.25	0	0	1
State and tribal institutional control / engineering control registries	not searched	-	-	-
State and tribal voluntary cleanup sites	0.5	0	0	0
State and tribal Brownfields sites	0.5	0	0	0

### ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists	0.5	0	0	0
Local Lists of Landfill / Solid Waste Disposal Sites	0.5	0	0	0
Local Lists of Hazardous waste / Contaminated Sites	1.0	0	0	0
Local Lists of Registered Storage Tanks	0.25	0	0	4
Local Land Records	0.5	0	0	0
Records of Emergency Release Reports	0.5	0	0	1
Other Ascertainable Records	1.0	0	0	6

### EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records	1.0	0	1	0
Exclusive Recovered Govt. Archives	not searched	-	-	-

## EXECUTIVE SUMMARY

### EDR RECOVERED GOVERNMENT ARCHIVES

EDR Exclusive Records	1.0	0	1	0
Exclusive Recovered Govt. Archives	not searched	-	-	-

\*The Default Area of Concern may be adjusted by the environmental professional using experience and professional judgement. Each category may include several databases, and each database may have a different distance. A list of individual databases is provided at the back of this report.

# EXECUTIVE SUMMARY

## TARGET PROPERTY INFORMATION

### ADDRESS

3175 AIRWAY AVENUE  
3175 AIRWAY AVENUE  
COSTA MESA, CA 92626

### COORDINATES

Latitude (North):	33.679849 - 33° 40' 47.451782"
Longitude (West):	117.871283 - 117° 52' 16.624146"
Elevation:	47 ft. above sea level

# EXECUTIVE SUMMARY

## SEARCH RESULTS

Unmappable (orphan) sites are not considered in the foregoing analysis.

## STANDARD ENVIRONMENTAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
JOHN WAYNE AIRPORT/FIRE STATION LUST: LUST	366 PAULARINO RD	<1/10 S	▲ D2	10
JOHN WAYNE AIRPORT WEST AIRFIE SWEEPS UST: SWEEPS UST CIWQS: CIWQS ENF: ENF CA FID UST: CA FID UST WDS: WDS HAZNET: HAZNET CPS-SLIC: CPS-SLIC Cortese: CORTESE Orange Co. Industrial Site: Orange Co. Industrial Site	3151 AIRWAY AVE	1/10 - 1/3 SW	▲ H3	13
MSI DATA CORP RCRA-SQG: RCRA-SQG SEMS-ARCHIVE: SEMS-ARCHIVE	335 BAKER AVE	1/10 - 1/3 SW	▲ H5	22
SANTA ANA TOWER FAA/AFSFO-8525 UST: UST SWEEPS UST: SWEEPS UST CPS-SLIC: CPS-SLIC HIST UST: HIST UST	18990 IKE JONES RD	1/10 - 1/3 SSW	▲ K6	27
SANTA ANA TOWER FAA/AFSFO-8525 LUST: LUST CA FID UST: CA FID UST HIST CORTESE: HIST CORTESE	18990 IKE JONES RD	1/10 - 1/3 SSW	▲ K7	29
ORANGE COUNTY FIRE STATION #33 LUST: LUST	18992 IKE JONES RD	1/10 - 1/3 SSW	▲ K8	29
ORANGE COUNTY FIRE STATION #33 CPS-SLIC: CPS-SLIC	18992 IKE JONES RD	1/10 - 1/3 SSW	▲ K9	30
WESTERN DIGITAL CORPORATION ECHO: ECHO FINDS: FINDS RCRA-SQG: RCRA-SQG SEMS: SEMS HIST UST: HIST UST	3128 REDHILL AVE	1/10 - 1/3 WSW	▲ L10	30
WESTERN DIGITAL CORP EMI: EMI LUST: LUST HIST CORTESE: HIST CORTESE HAZNET: HAZNET	3128 RED HILL AV	1/10 - 1/3 WSW	▲ L11	35
WESTERN DIGITAL CORP LUST: LUST	3128 RED HILL AVE	1/10 - 1/3 WSW	▲ L12	39

## EXECUTIVE SUMMARY

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
THE ABBEY SCHERER COMPANY LUST: LUST HIST CORTESE: HIST CORTESE	3130 AIRWAY	1/10 - 1/3 SSW	▲ 13	39

### ADDITIONAL ENVIRONMENTAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
JOHN WAYNE AIRPORT WEST AIRFIE SWEEPS UST: SWEEPS UST CIWQS: CIWQS ENF: ENF CA FID UST: CA FID UST WDS: WDS HAZNET: HAZNET CPS-SLIC: CPS-SLIC Cortese: CORTESE Orange Co. Industrial Site: Orange Co. Industrial Site	3151 AIRWAY AVE	1/10 - 1/3 SW	▲ H3	13

ORANGE COUNTY FIRE STATIO HIST CORTESE: HIST CORTESE	18992	1/10 - 1/3 SW	▲ H4	22
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SANTA ANA TOWER FAA/AFSFO-8525 UST: UST SWEEPS UST: SWEEPS UST CPS-SLIC: CPS-SLIC HIST UST: HIST UST	18990 IKE JONES RD	1/10 - 1/3 SSW	▲ K6	27
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SANTA ANA TOWER FAA/AFSFO-8525 LUST: LUST CA FID UST: CA FID UST HIST CORTESE: HIST CORTESE	18990 IKE JONES RD	1/10 - 1/3 SSW	▲ K7	29
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WESTERN DIGITAL CORPORATION ECHO: ECHO FINDS: FINDS RCRA-SQG: RCRA-SQG SEMS: SEMS HIST UST: HIST UST	3128 REDHILL AVE	1/10 - 1/3 WSW	▲ L10	30
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WESTERN DIGITAL CORP EMI: EMI LUST: LUST HIST CORTESE: HIST CORTESE HAZNET: HAZNET	3128 RED HILL AV	1/10 - 1/3 WSW	▲ L11	35
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THE ABBEY SCHERER COMPANY LUST: LUST HIST CORTESE: HIST CORTESE	3130 AIRWAY	1/10 - 1/3 SSW	▲ 13	39
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### EDR HIGH RISK HISTORICAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
DOUGLAS OIL COMPANY OF CAL* EDR Hist Auto: EDR Hist Auto	3160 AIRWAY AVE	<1/10 S	▲ D1	10

# EXECUTIVE SUMMARY

## EDR RECOVERED GOVERNMENT ARCHIVES

Name

Address

Dist/Dir

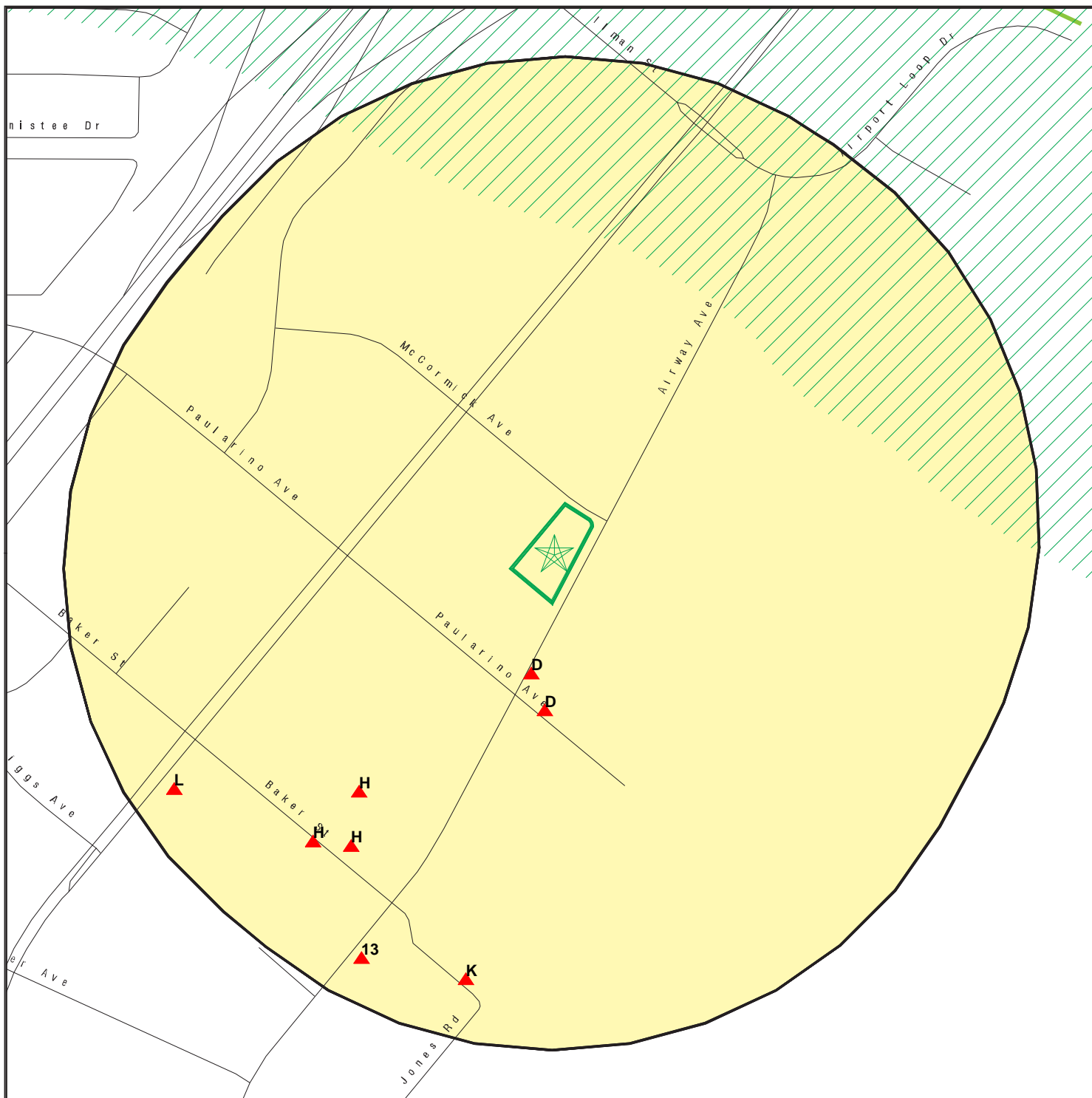
Map ID







Page

Not Reported









# PRIMARY MAP - 5427551.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites



-  Indian Reservations BIA
-  100-year flood zone
-  500-year flood zone
-  National Wetland Inventory
-  State Wetlands
-  Areas of Concern

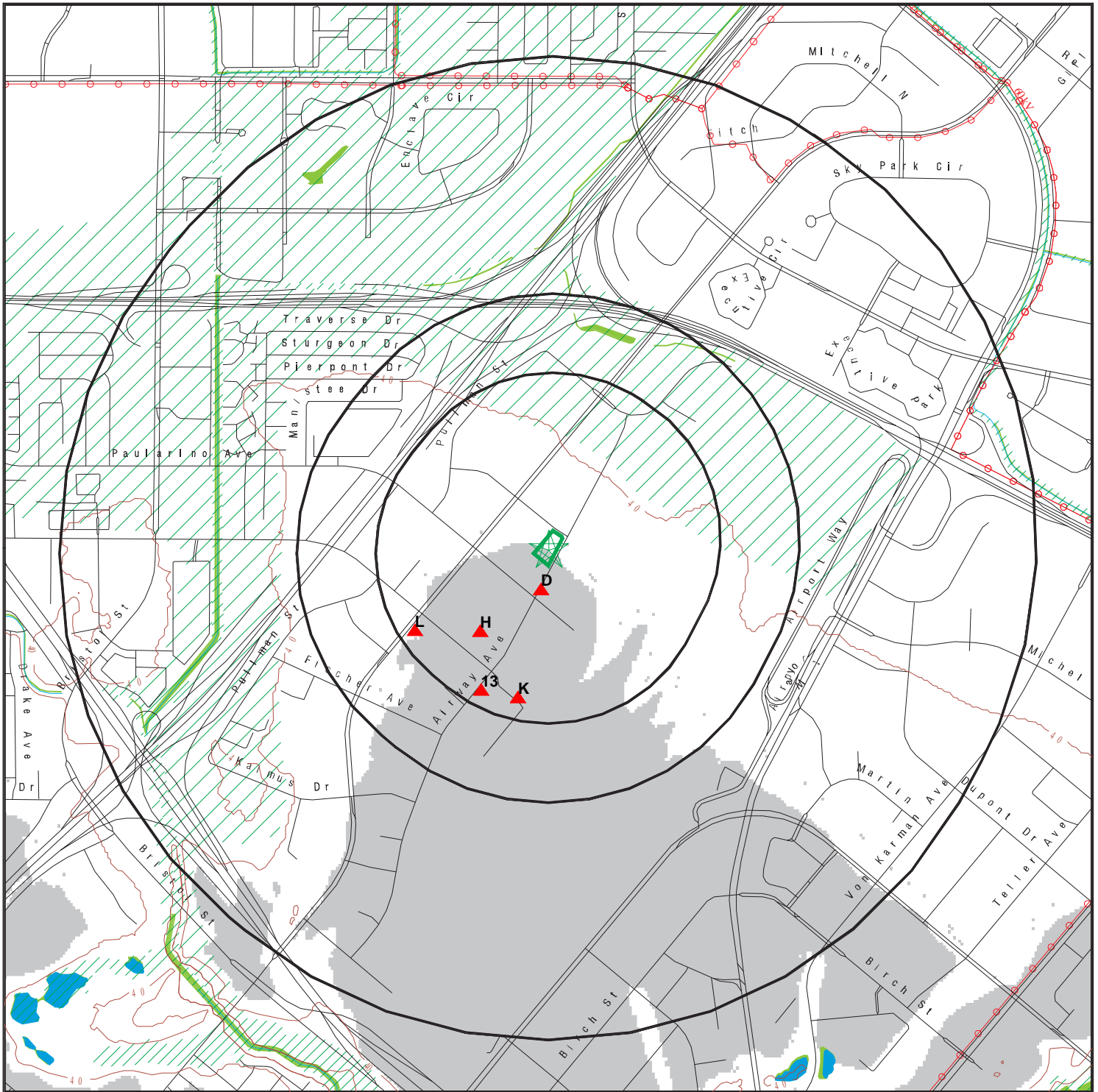


This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 3175 Airway Avenue  
 ADDRESS: 3175 Airway Avenue  
 Costa Mesa CA 92626  
 LAT/LONG: 33.679849 / 117.871283

CLIENT: AES Due Diligence, Inc  
 CONTACT: Rick Darwicki  
 INQUIRY #: 5427551.2s  
 DATE: September 18, 2018 1:13 pm

# SECONDARY MAP - 5427551.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

100-year flood zone

500-year flood zone

National Wetland Inventory

State Wetlands

Upgradient Area

Areas of Concern

0 1/3 1/2 1 Miles

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 3175 Airway Avenue  
 ADDRESS: 3175 Airway Avenue  
 Costa Mesa CA 92626  
 LAT/LONG: 33.679849 / 117.871283

CLIENT: AES Due Diligence, Inc  
 CONTACT: Rick Darwicki  
 INQUIRY #: 5427551.2s  
 DATE: September 18, 2018 1:11 pm

MAP FINDINGS

LEGEND

FACILITY NAME FACILITY ADDRESS, CITY, ST, ZIP		EDR SITE ID NUMBER
◆ MAP ID#	Direction Distance Range (Distance feet / miles)	ASTM 2600 Record Sources found in this report. Each database searched has been assigned to one or more categories. For detailed information about categorization, see the section of the report Records Searched and Currency.
	Relative Elevation Feet Above Sea Level	
<b>Worksheet:</b>		
<b>Comments:</b> Comments may be added on the online Vapor Encroachment Worksheet.		

DATABASE ACRONYM: Applicable categories (A hoverbox with database description).

DOUGLAS OIL COMPANY OF CAL* 3160 AIRWAY AVE, COSTA MESA, CA, 92626		1020536238
▲ D1	S <1/10 (298 ft. / 0.056 mi.)	EDR Exclusive Records
	3 ft. Higher Elevation 50 ft. Above Sea Level	

Worksheet:

EDR Hist Auto: EDR Exclusive Records

Year:	Name: / Type:
1975:	DOUGLAS OIL COMPANY OF CAL* / Petroleum Refining
1976:	DOUGLAS OIL COMPANY OF CAL* / Petroleum Refining
1977:	DOUGLAS OIL COMPANY OF CAL* / Petroleum Refining
1978:	DOUGLAS OIL COMPANY OF CAL* / Petroleum Refining
1979:	DOUGLAS OIL COMPANY OF CAL* / Petroleum Refining
1980:	DOUGLAS OIL COMPANY OF CAL* / Petroleum Refining
1982:	DOUGLAS OIL COMPANY OF CAL* / Petroleum Refining

JOHN WAYNE AIRPORT/FIRE STATION 366 PAULARINO RD, SANTA ANA, CA, 92707		S106387332
▲ D2	S <1/10 (431 ft. / 0.082 mi.)	State and tribal leaking storage tank lists
	4 ft. Higher Elevation 51 ft. Above Sea Level	

Worksheet:

Impact on Target Property: VEC does not exist

LUST: State and tribal leaking storage tank lists

Lead Agency:	SANTA ANA RWQCB (REGION 8)
Case Type:	LUST Cleanup Site
Geo Track:	<a href="http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605901723">http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605901723</a>

MAP FINDINGS

**JOHN WAYNE AIRPORT/FIRE STATION, 366 PAULARINO RD, SANTA ANA, CA 92707 (Continued)**

Global Id: T0605901723  
 Latitude: 33.6771220582174  
 Longitude: -117.870104312897  
 Status: Completed - Case Closed  
 Status Date: 03/22/2010  
 Case Worker: RS  
 RB Case Number: 083002411T  
 Local Agency: Not Reported  
 File Location: Not Reported  
 Local Case Number: 93UT093  
 Potential Media Affect: Aquifer used for drinking water supply  
 Potential Contaminants of Concern: Gasoline  
 Site History: Not Reported

**LUST:**

Global Id: T0605901723  
 Contact Type: Regional Board Caseworker  
 Contact Name: ROSE SCOTT  
 Organization Name: SANTA ANA RWQCB (REGION 8)  
 Address: 3737 MAIN STREET, SUITE 500  
 City: RIVERSIDE  
 Email: rose.scott@waterboards.ca.gov  
 Phone Number: 9513206375

**LUST:**

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 05/12/2008  
 Action: Verbal Enforcement

Global Id: T0605901723  
 Action Type: RESPONSE  
 Date: 09/30/2005  
 Action: Monitoring Report - Quarterly

Global Id: T0605901723  
 Action Type: RESPONSE  
 Date: 05/30/2004  
 Action: Soil and Water Investigation Report

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 08/01/2003  
 Action: Staff Letter

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 01/10/2003  
 Action: Staff Letter

Global Id: T0605901723  
 Action Type: RESPONSE

MAP FINDINGS

**JOHN WAYNE AIRPORT/FIRE STATION, 366 PAULARINO RD, SANTA ANA, CA 92707 (Continued)**

Date: 05/30/2004  
 Action: Soil and Water Investigation Workplan

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 03/16/2010  
 Action: Closure/No Further Action Letter

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 10/07/2005  
 Action: \* No Action

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 08/21/2002  
 Action: \* Verbal Communication

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 05/12/2008  
 Action: Site Visit / Inspection / Sampling

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 04/10/2003  
 Action: Staff Letter

Global Id: T0605901723  
 Action Type: RESPONSE  
 Date: 07/17/2003  
 Action: Soil and Water Investigation Report

Global Id: T0605901723  
 Action Type: Other  
 Date: 01/06/1994  
 Action: Leak Reported

Global Id: T0605901723  
 Action Type: RESPONSE  
 Date: 03/14/2003  
 Action: Soil and Water Investigation Workplan

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 03/03/2010  
 Action: Technical Correspondence / Assistance / Other

Global Id: T0605901723  
 Action Type: ENFORCEMENT  
 Date: 02/03/2009  
 Action: File review

Global Id: T0605901723  
 Action Type: ENFORCEMENT

MAP FINDINGS

**JOHN WAYNE AIRPORT/FIRE STATION, 366 PAULARINO RD, SANTA ANA, CA 92707 (Continued)**

Date: 07/28/2009  
 Action: Staff Letter  
 Global Id: T0605901723  
 Action Type: RESPONSE  
 Date: 10/30/2002  
 Action: Other Workplan  
 Global Id: T0605901723  
 Action Type: RESPONSE  
 Date: 02/28/2003  
 Action: Other Report / Document

**LUST:**

Global Id: T0605901723  
 Status: Open - Case Begin Date  
 Status Date: 01/06/1994  
 Global Id: T0605901723  
 Status: Completed - Case Closed  
 Status Date: 03/08/1994  
 Global Id: T0605901723  
 Status: Open - Reopen Case  
 Status Date: 08/20/2002  
 Global Id: T0605901723  
 Status: Open - Site Assessment  
 Status Date: 08/21/2002  
 Global Id: T0605901723  
 Status: Open - Site Assessment  
 Status Date: 09/30/2002  
 Global Id: T0605901723  
 Status: Open - Site Assessment  
 Status Date: 01/02/2003  
 Global Id: T0605901723  
 Status: Open - Site Assessment  
 Status Date: 05/17/2004  
 Global Id: T0605901723  
 Status: Open - Verification Monitoring  
 Status Date: 09/30/2005  
 Global Id: T0605901723  
 Status: Completed - Case Closed  
 Status Date: 03/22/2010

JOHN WAYNE AIRPORT WEST AIRFIE  
 3151 AIRWAY AVE, COSTA MESA, CA, 92627

S101631297

MAP FINDINGS

▲ H3	SW 1/10 - 1/3	(1063 ft. / 0.201 mi.)	State and tribal leaking storage tank lists Local Lists of Registered Storage Tanks Records of Emergency Release Reports Other Ascertainable Records
	3 ft. Higher Elevation	50 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**CPS-SLIC: State and tribal leaking storage tank lists**

Region: STATE

**Facility Status:** **Open - Site Assessment**

Status Date: 02/03/2009

Global Id: SL208013856

Lead Agency: SANTA ANA RWQCB (REGION 8)

Lead Agency Case Number: Not Reported

Latitude: 33.6664788951059

Longitude: -117.872722148895

Case Type: Cleanup Program Site

Case Worker: RS

Local Agency: Not Reported

RB Case Number: SL208013856

File Location: Regional Board Warehouse

Potential Media Affected: Other Groundwater (uses other than drinking water), Soil

Potential Contaminants of Concern: Trichloroethylene (TCE), Aviation, Diesel, MTBE / TBA / Other Fuel Oxygenates, Gasoline, Waste Oil / Motor / Hydraulic / Lubricating

Site History: Large petrochemical storage for fueling airplanes and vehicles at the facility. Several releases and discharges.

Click here to access the California GeoTracker records for this facility: [http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR\\_CA\\_SLIC\\_ST&global\\_id=SL208013856](http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR_CA_SLIC_ST&global_id=SL208013856)

**SWEEPS UST: Local Lists of Registered Storage Tanks**

Status: Active

Comp Number: 9158

Number: 9

Board Of Equalization: Not Reported

Referral Date: 09-30-92

Action Date: 09-15-92

Created Date: 02-29-88

Owner Tank Id: Not Reported

SWRCB Tank Id: 30-000-009158-000001

Tank Status: A

Capacity: 1000

Active Date: Not Reported

Tank Use: M.V. FUEL

STG: P

Content: DIESEL

Number Of Tanks: 2

Status: Active

Comp Number: 9158

Number: 9

MAP FINDINGS

**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Board Of Equalization: Not Reported  
Referral Date: 09-30-92  
Action Date: 09-15-92  
Created Date: 02-29-88  
Owner Tank Id: Not Reported  
SWRCB Tank Id: 30-000-009158-000002  
Tank Status: A  
Capacity: 1000  
Active Date: Not Reported  
Tank Use: PETROLEUM  
STG: P  
Content: Not Reported  
Number Of Tanks: 2

**CA FID UST: Local Lists of Registered Storage Tanks**

Facility ID: 30017621  
Regulated By: UTNKA  
Regulated ID: Not Reported  
Cortese Code: Not Reported  
SIC Code: Not Reported  
Facility Phone: Not Reported  
Mail To: Not Reported  
Mailing Address: 3151 AIRWAY BLDG M3 ATTN:  
Mailing Address 2: Not Reported  
Mailing City,St,Zip: COSTA MESA 92627  
Contact: Not Reported  
Contact Phone: Not Reported  
DUNs Number: Not Reported  
NPDES Number: Not Reported  
EPA ID: Not Reported  
Comments: Not Reported  
Status: Active

**Orange Co. Industrial Site: Records of Emergency Release Reports**

Case ID: 89IC049  
Record ID: RO0000226  
Current Status: CLOSED 3/16/1990  
Closure Type: Closed pre 1994, file review required to determine closure type  
Released Chemical: TRICHLOROETHYLENE

**CORTESE: Other Ascertainable Records**

Region: CORTESE  
Envirostor Id: Not Reported  
Site/Facility Type: Not Reported  
Cleanup Status: Not Reported  
Status Date: Not Reported  
Site Code: Not Reported  
Latitude: Not Reported



MAP FINDINGS
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**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Longitude:	Not Reported
Owner:	Not Reported
Enf Type:	Not Reported
Swat R:	Not Reported
Flag:	CORTESE
Order No:	Not Reported
Waste Discharge System No:	Not Reported
Effective Date:	Not Reported
Region 2:	8
WID Id:	8 302562N01
Solid Waste Id No:	Not Reported
Waste Management Uit Name:	Not Reported
File Name:	Cease Desist Orders & Cleanup Abatement Orders

**ENF: Other Ascertainable Records**

Region:	8
Facility Id:	233949
Agency Name:	John Wayne Airport
Place Type:	Service/Commercial
Place Subtype:	Service/Commercial Site, NEC
Facility Type:	All other facilities
Agency Type:	Other
# Of Agencies:	1
Place Latitude:	Not Reported
Place Longitude:	Not Reported
SIC Code 1:	4581
SIC Desc 1:	Airports, Flying Fields, and Airport Terminal Services
SIC Code 2:	Not Reported
SIC Desc 2:	Not Reported
SIC Code 3:	Not Reported
SIC Desc 3:	Not Reported
NAICS Code 1:	Not Reported
NAICS Desc 1:	Not Reported
NAICS Code 2:	Not Reported
NAICS Desc 2:	Not Reported
NAICS Code 3:	Not Reported
NAICS Desc 3:	Not Reported
# Of Places:	1
Source Of Facility:	Reg Meas
Design Flow:	Not Reported
Threat To Water Quality:	Not Reported
Complexity:	Not Reported
Pretreatment:	Not Reported
Facility Waste Type:	Not Reported
Facility Waste Type 2:	Not Reported
Facility Waste Type 3:	Not Reported
Facility Waste Type 4:	Not Reported
Program:	UNREGS
Program Category1:	UNREGS

MAP FINDINGS
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**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Program Category2:	Not Reported
# Of Programs:	1
WDID:	8 302562N01
Reg Measure Id:	158760
Reg Measure Type:	Unregulated
Region:	8
Order #:	Not Reported
Npdes# CA#:	Not Reported
Major-Minor:	Not Reported
Npdes Type:	Not Reported
Reclamation:	Not Reported
Dredge Fill Fee:	Not Reported
301H:	Not Reported
Application Fee Amt Received:	Not Reported
Status:	Never Active
Status Date:	02/21/2013
Effective Date:	Not Reported
Expiration/Review Date:	Not Reported
Termination Date:	Not Reported
WDR Review - Amend:	Not Reported
WDR Review - Revise/Renew:	Not Reported
WDR Review - Rescind:	Not Reported
WDR Review - No Action Required:	Not Reported
WDR Review - Pending:	Not Reported
WDR Review - Planned:	Not Reported
Status Enrollee:	N
Individual/General:	I
Fee Code:	Not Reported
Direction/Voice:	Passive
Enforcement Id(EID):	225060
Region:	8
Order / Resolution Number:	88-123
Enforcement Action Type:	Clean-up and Abatement Order
Effective Date:	09/09/1988
Adoption/Issuance Date:	Not Reported
Achieve Date:	Not Reported
Termination Date:	Not Reported
ACL Issuance Date:	Not Reported
EPL Issuance Date:	Not Reported
Status:	Active
Title:	CAO 88-123 for John Wayne Airport
Description:	GROUND WATER CLEAN UP
Program:	UNREGS
Latest Milestone Completion Date:	Not Reported
# Of Programs1:	1
Total Assessment Amount:	0
Initial Assessed Amount:	0
Liability \$ Amount:	0
Project \$ Amount:	0
Liability \$ Paid:	0

MAP FINDINGS
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**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Project \$ Completed:	0
Total \$ Paid/Completed Amount:	0
Region:	8
Facility Id:	259061
Agency Name:	John Wayne Airport
Place Type:	Facility
Place Subtype:	Not Reported
Facility Type:	Industrial
Agency Type:	Other
# Of Agencies:	1
Place Latitude:	Not Reported
Place Longitude:	Not Reported
SIC Code 1:	4581
SIC Desc 1:	Airports, Flying Fields, and Airport Terminal Services
SIC Code 2:	Not Reported
SIC Desc 2:	Not Reported
SIC Code 3:	Not Reported
SIC Desc 3:	Not Reported
NAICS Code 1:	Not Reported
NAICS Desc 1:	Not Reported
NAICS Code 2:	Not Reported
NAICS Desc 2:	Not Reported
NAICS Code 3:	Not Reported
NAICS Desc 3:	Not Reported
# Of Places:	1
Source Of Facility:	Reg Meas
Design Flow:	1
Threat To Water Quality:	2
Complexity:	C
Pretreatment:	X - Facility is not a POTW
Facility Waste Type:	Stormwater runoff
Facility Waste Type 2:	Not Reported
Facility Waste Type 3:	Not Reported
Facility Waste Type 4:	Not Reported
Program:	NPDNONMUNIPRCS
Program Category1:	NPDESWW
Program Category2:	Not Reported
# Of Programs:	1
WDID:	8 302654001
Reg Measure Id:	205955
Reg Measure Type:	Enrollee
Region:	8
Order #:	90-067
Npdes# CA#:	Not Reported
Major-Minor:	Not Reported
Npdes Type:	Not Reported
Reclamation:	N - No
Dredge Fill Fee:	Not Reported
301H:	Not Reported

MAP FINDINGS
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**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Application Fee Amt Received:	Not Reported
Status:	Historical
Status Date:	06/08/1990
Effective Date:	06/08/1990
Expiration/Review Date:	Not Reported
Termination Date:	07/01/2008
WDR Review - Amend:	Not Reported
WDR Review - Revise/Renew:	Not Reported
WDR Review - Rescind:	Not Reported
WDR Review - No Action Required:	Not Reported
WDR Review - Pending:	Not Reported
WDR Review - Planned:	Not Reported
Status Enrollee:	Y
Individual/General:	I
Fee Code:	Not Reported
Direction/Voice:	Passive
Enforcement Id(EID):	222981
Region:	8
Order / Resolution Number:	96-078
Enforcement Action Type:	Admin Civil Liability
Effective Date:	09/06/1996
Adoption/Issuance Date:	Not Reported
Achieve Date:	1996-11-15
Termination Date:	Not Reported
ACL Issuance Date:	Not Reported
EPL Issuance Date:	Not Reported
Status:	Historical
Title:	Enforcement - 8 302654001
Description:	13385 - FAILURE TO SUBMIT NPDES RENEWAL APPLICATION. SUSPENSION OF \$1000 CONTINGENT UPON SUBMISSION OF THE APPLICATION WITHIN 30 DAYS.
Program:	NPDNONMUNIPRCS
Latest Milestone Completion Date:	1996-11-15
# Of Programs1:	1
Total Assessment Amount:	4000
Initial Assessed Amount:	0
Liability \$ Amount:	4000
Project \$ Amount:	0
Liability \$ Paid:	4000
Project \$ Completed:	0
Total \$ Paid/Completed Amount:	4000

**HAZNET: Other Ascertainable Records**

envid:	S101631297
Year:	2016
GEPaid:	CAC002853895
Contact:	RAYMOND HIEMSTRA
Telephone:	7148501965
Mailing Name:	Not Reported

MAP FINDINGS

**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Mailing Address: 3151 AIRWAY AVE STE F110  
Mailing City,St,Zip: COSTA MESA, CA 926264621  
Gen County: Orange  
TSD EPA ID: CAD028409019  
TSD County: Los Angeles  
Waste Category: Laboratory waste chemicals  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.0075  
Cat Decode: Laboratory waste chemicals  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Facility County: Orange

envid: S101631297  
Year: 2016  
GEPaid: CAC002853895  
Contact: RAYMOND HIEMSTRA  
Telephone: 7148501965  
Mailing Name: Not Reported  
Mailing Address: 3151 AIRWAY AVE STE F110  
Mailing City,St,Zip: COSTA MESA, CA 926264621  
Gen County: Orange  
TSD EPA ID: CAD028409019  
TSD County: Los Angeles  
Waste Category: Off-specification, aged or surplus inorganics  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.0025  
Cat Decode: Off-specification, aged or surplus inorganics  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Facility County: Orange

envid: S101631297  
Year: 2016  
GEPaid: CAC002853895  
Contact: RAYMOND HIEMSTRA  
Telephone: 7148501965  
Mailing Name: Not Reported  
Mailing Address: 3151 AIRWAY AVE STE F110  
Mailing City,St,Zip: COSTA MESA, CA 926264621  
Gen County: Orange  
TSD EPA ID: CAD982444481  
TSD County: San Bernardino  
Waste Category: Off-specification, aged or surplus organics  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Tons: 0.0025  
Cat Decode: Off-specification, aged or surplus organics  
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
Facility County: Orange

**WDS: Other Ascertainable Records**

Facility ID: Santa Ana River 30I005741

MAP FINDINGS

**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.

Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.

NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board

Subregion: 8

Facility Telephone: 9492525269

Facility Contact: CHRIS CALIENDO

Agency Name: ORANGE CO. DEPT. OF AIRPORTS

Agency Address: 3151 AIRWAY AVENUE

Agency City,St,Zip: COSTA MESA 92626

Agency Contact: ALAN L. MURPHY

Agency Telephone: Not Reported

Agency Type: County

SIC Code: 0

SIC Code 2: Not Reported

Primary Waste Type: Not Reported

Primary Waste: Not Reported

Waste Type2: Not Reported

Waste2: Not Reported

Primary Waste Type: Not Reported

Secondary Waste: Not Reported

Secondary Waste Type: Not Reported

Design Flow: 0

Baseline Flow: 0

Reclamation: Not Reported

POTW: Not Reported

Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.

Complexity: Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

**CIWQS: Other Ascertainable Records**

Agency: John Wayne Airport

Agency Address: 3160 Airway Avenue, Costa Mesa, CA 92626

Place/Project Type: Other

SIC/NAICS: 4581

Region: 8

Program: INDSTW, NPDNONMUNIPRCS

Regulatory Measure Status: Historical

Regulatory Measure Type: Enrollee

Order Number: 90-067

WDID: 8 302654001

NPDES Number: Not Reported

Adoption Date: Not Reported

Effective Date: 06/08/1990

Termination Date: 07/01/2008

MAP FINDINGS

**JOHN WAYNE AIRPORT WEST AIRFIE, 3151 AIRWAY AVE, COSTA MESA, CA 92627 (Continued)**

Expiration/Review Date: Not Reported  
 Design Flow: 1  
 Major/Minor: Minor  
 Complexity: B  
 TTWQ: 0  
 Enforcement Actions within 5 years: 0  
 Violations within 5 years: 0  
 Latitude: Not Reported  
 Longitude: Not Reported

ORANGE COUNTY FIRE STATIO 18992, SANTA ANA, CA, 92707			S103065508
▲ H4	SW 1/10 - 1/3	(1247 ft. / 0.236 mi.)	Other Ascertainable Records
	4 ft. Higher Elevation	51 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**HIST CORTESE: Other Ascertainable Records**

Region: CORTESE  
 Facility County Code: 30  
 Reg By: LTNKA  
 Reg Id: 083000548T

MSI DATA CORP 335 BAKER AVE, COSTA MESA, CA, 92626			1015732745
▲ H5	SW 1/10 - 1/3	(1329 ft. / 0.252 mi.)	Federal CERCLIS NFRAP site list Federal RCRA generators list
	3 ft. Higher Elevation	50 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**SEMS Archive: Federal CERCLIS NFRAP site list**

Site ID: 900312  
 EPA ID: CAD053853644  
 Cong District: 40  
 FIPS Code: 6059  
 FF: N  
 NPL: Not on the NPL  
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

**SEMS Archive Detail:**

Region: 9  
 Site ID: 900312  
 EPA ID: CAD053853644  
 Site Name: MSI DATA CORP

MAP FINDINGS

**MSI DATA CORP, 335 BAKER AVE, COSTA MESA, CA 92626 (Continued)**

NPL: N  
 FF: N  
 OU: 0  
 Action Code: VS  
 Action Name: ARCH SITE  
 SEQ: 1  
 Start Date: Not Reported  
 Finish Date: 1992-03-31 00:00:00  
 Qual: Not Reported  
 Current Action Lead: EPA Perf In-Hse  
  
 Region: 9  
 Site ID: 900312  
 EPA ID: CAD053853644  
 Site Name: MSI DATA CORP  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: PA  
 Action Name: PA  
 SEQ: 1  
 Start Date: Not Reported  
 Finish Date: 1992-03-31 00:00:00  
 Qual: N  
 Current Action Lead: EPA Perf  
  
 Region: 9  
 Site ID: 900312  
 EPA ID: CAD053853644  
 Site Name: MSI DATA CORP  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: DS  
 Action Name: DISCVRY  
 SEQ: 1  
 Start Date: 1991-01-01 00:00:00  
 Finish Date: 1991-01-01 00:00:00  
 Qual: Not Reported  
 Current Action Lead: EPA Perf

**RCRA-SQG: Federal RCRA generators list**

Date form received by agency: 03/11/2002  
 Facility name: TOYOTA RACING DEVELOPMENT USA INC  
 Facility address: 335 E BAKER ST  
 COSTA MESA, CA 92626  
  
 EPA ID: CAD053853644  
 Mailing address: E BAKER ST  
 COSTA MESA, CA 92626



MAP FINDINGS

**MSI DATA CORP, 335 BAKER AVE, COSTA MESA, CA 92626 (Continued)**

Contact:	FRANK LOPEZ
Contact address:	Not Reported
Contact country:	US
Contact telephone:	714-444-1188
Contact email:	Not Reported
EPA Region:	09
Land type:	Private
Classification:	Small Small Quantity Generator
Description:	Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name:	MSI DATA CORPORATION
Owner/operator address:	340 FISCHER AVE CITY NOT REPORTED, CA 99999
Owner/operator country:	Not Reported
Owner/operator telephone:	714-549-6000
Owner/operator email:	Not Reported
Owner/operator fax:	Not Reported
Owner/operator extension:	Not Reported
Legal status:	Private
Owner/Operator Type:	Operator
Owner/Op start date:	Not Reported
Owner/Op end date:	Not Reported
Owner/operator name:	TRD USA INC
Owner/operator address:	335 E BAKER COSTA MESA, CA 92626
Owner/operator country:	Not Reported
Owner/operator telephone:	714-444-1188
Owner/operator email:	Not Reported
Owner/operator fax:	Not Reported
Owner/operator extension:	Not Reported
Legal status:	Private
Owner/Operator Type:	Owner
Owner/Op start date:	Not Reported
Owner/Op end date:	Not Reported

**Handler Activities Summary:**

U.S. importer of hazardous waste:	No
Mixed waste (haz. and radioactive):	No
Recycler of hazardous waste:	No
Transporter of hazardous waste:	No
Treater, storer or disposer of HW:	No
Underground injection activity:	No
On-site burner exemption:	No
Furnace exemption:	No
Used oil fuel burner:	No

MAP FINDINGS

**MSI DATA CORP, 335 BAKER AVE, COSTA MESA, CA 92626 (Continued)**

Used oil processor:	No
User oil refiner:	No
Used oil fuel marketer to burner:	No
Used oil Specification marketer:	No
Used oil transfer facility:	No
Used oil transporter:	No

**Historical Generators:**

Date form received by agency:	03/11/2002
Site name:	TOYOTA RACING DEVELOPMENT USA INC
Classification:	Large Quantity Generator
Date form received by agency:	04/03/1995
Site name:	TRD USA INC
Classification:	Small Quantity Generator

**Facility Has Received Notices of Violations:**

Regulation violated:	FR - 262.50-60
Area of violation:	Generators - General
Date violation determined:	03/22/1989
Date achieved compliance:	08/21/1989
Violation lead agency:	State
Enforcement action:	Not Reported
Enforcement action date:	Not Reported
Enf. disposition status:	Not Reported
Enf. disp. status date:	Not Reported
Enforcement lead agency:	Not Reported
Proposed penalty amount:	Not Reported
Final penalty amount:	Not Reported
Paid penalty amount:	Not Reported
Regulation violated:	FR - 264.110-120.G
Area of violation:	TSD - Closure/Post-Closure
Date violation determined:	03/22/1989
Date achieved compliance:	08/21/1989
Violation lead agency:	State
Enforcement action:	Not Reported
Enforcement action date:	Not Reported
Enf. disposition status:	Not Reported
Enf. disp. status date:	Not Reported
Enforcement lead agency:	Not Reported
Proposed penalty amount:	Not Reported
Final penalty amount:	Not Reported
Paid penalty amount:	Not Reported
Regulation violated:	FR - 264.140-150.H
Area of violation:	TSD - Financial Requirements
Date violation determined:	09/29/1987
Date achieved compliance:	10/22/1987
Violation lead agency:	State

MAP FINDINGS

**MSI DATA CORP, 335 BAKER AVE, COSTA MESA, CA 92626 (Continued)**

Enforcement action: WRITTEN INFORMAL  
 Enforcement action date: 09/14/1987  
 Enf. disposition status: Not Reported  
 Enf. disp. status date: Not Reported  
 Enforcement lead agency: State  
 Proposed penalty amount: Not Reported  
 Final penalty amount: Not Reported  
 Paid penalty amount: Not Reported

Regulation violated: F - 262.50-60  
 Area of violation: Generators - General  
 Date violation determined: 04/28/1987  
 Date achieved compliance: 03/22/1989

Violation lead agency: State  
 Enforcement action: WRITTEN INFORMAL  
 Enforcement action date: 06/05/1987  
 Enf. disposition status: Not Reported  
 Enf. disp. status date: Not Reported  
 Enforcement lead agency: State  
 Proposed penalty amount: Not Reported  
 Final penalty amount: Not Reported  
 Paid penalty amount: Not Reported

Regulation violated: F - 262.20-23.B  
 Area of violation: Generators - General  
 Date violation determined: 04/28/1987  
 Date achieved compliance: 03/22/1989  
 Violation lead agency: State  
 Enforcement action: WRITTEN INFORMAL  
 Enforcement action date: 06/05/1987  
 Enf. disposition status: Not Reported  
 Enf. disp. status date: Not Reported  
 Enforcement lead agency: State  
 Proposed penalty amount: Not Reported  
 Final penalty amount: Not Reported  
 Paid penalty amount: Not Reported

**Evaluation Action Summary:**

Evaluation date: 04/07/2006  
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: Not Reported  
 Date achieved compliance: Not Reported  
 Evaluation lead agency: Local

Evaluation date: 02/22/2005  
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: Not Reported  
 Date achieved compliance: Not Reported  
 Evaluation lead agency: State Contractor/Grantee

Evaluation date: 03/22/1989

MAP FINDINGS

**MSI DATA CORP, 335 BAKER AVE, COSTA MESA, CA 92626 (Continued)**

Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: TSD - Closure/Post-Closure  
 Date achieved compliance: 08/21/1989  
 Evaluation lead agency: State

Evaluation date: 03/22/1989  
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: Generators - General  
 Date achieved compliance: 08/21/1989  
 Evaluation lead agency: State

Evaluation date: 03/14/1989  
 Evaluation: FINANCIAL RECORD REVIEW  
 Area of violation: Not Reported  
 Date achieved compliance: Not Reported  
 Evaluation lead agency: State

Evaluation date: 09/29/1987  
 Evaluation: FINANCIAL RECORD REVIEW  
 Area of violation: TSD - Financial Requirements  
 Date achieved compliance: 10/22/1987  
 Evaluation lead agency: State

Evaluation date: 04/28/1987  
 Evaluation: NON-FINANCIAL RECORD REVIEW  
 Area of violation: Generators - General  
 Date achieved compliance: 03/22/1989  
 Evaluation lead agency: State

Evaluation date: 04/28/1987  
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
 Area of violation: Generators - General  
 Date achieved compliance: 03/22/1989  
 Evaluation lead agency: State

SANTA ANA TOWER FAA/AFSFO-8525 18990 IKE JONES RD, SANTA ANA, CA, 92707		U001578334
▲ K6	SSW 1/10 - 1/3 (1526 ft. / 0.289 mi.)	State and tribal leaking storage tank lists State and tribal registered storage tank lists
	5 ft. Higher Elevation 52 ft. Above Sea Level	Local Lists of Registered Storage Tanks

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**CPS-SLIC: State and tribal leaking storage tank lists**

Region: STATE  
**Facility Status:** **Open - Site Assessment**  
 Status Date: 01/01/2013  
 Global Id: T0605900442  
 Lead Agency: SANTA ANA RWQCB (REGION 8)  
 Lead Agency Case Number: Not Reported  
 Latitude: 33.6766203101665

MAP FINDINGS

**SANTA ANA TOWER FAA/AFSFO-8525, 18990 IKE JONES RD, SANTA ANA, CA 92707 (Continued)**

Longitude: -117.87058050744  
Case Type: Cleanup Program Site  
Case Worker: RS  
Local Agency: Not Reported  
RB Case Number: 083000556T  
File Location: Regional Board  
Potential Media Affected: Aquifer used for drinking water supply  
Potential Contaminants of Concern: Heating Oil / Fuel Oil  
Site History: Part of larger John Wayne Airport facility investigation.  
Click here to access the California GeoTracker records for this facility: [http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR\\_CA\\_SLIC\\_ST&global\\_id=T0605900442](http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR_CA_SLIC_ST&global_id=T0605900442)

**UST: State and tribal registered storage tank lists**

Facility ID: 6663  
Permitting Agency: ORANGE COUNTY  
Latitude: 33.67527  
Longitude: -117.87268

**SWEEPS UST: Local Lists of Registered Storage Tanks**

Status: Active  
Comp Number: 6663  
Number: 9  
Board Of Equalization: 44-016512  
Referral Date: 09-30-92  
Action Date: 09-15-92  
Created Date: 02-29-88  
Owner Tank Id: Not Reported  
SWRCB Tank Id: 30-000-006663-000001  
Tank Status: A  
Capacity: 1000  
Active Date: Not Reported  
Tank Use: M.V. FUEL  
STG: P  
Content: DIESEL  
Number Of Tanks: 1

**HIST UST: Local Lists of Registered Storage Tanks**

File Number: 0002E8F9  
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/0002E8F9.pdf>  
Region: STATE  
Facility ID: 00000059017  
Facility Type: Other  
Other Type: STANDBY POWER  
Contact Name: MATTHEW KING  
Telephone: 6192935271  
Owner Name: FEDERAL AVIATION ADMINISTRATIO  
Owner Address: 8575 GIBBS DRIVE, SUITE 101  
Owner City,St,Zip: SAN DIEGO, CA 92123  
Total Tanks: 0001

MAP FINDINGS

**SANTA ANA TOWER FAA/AFSFO-8525, 18990 IKE JONES RD, SANTA ANA, CA 92707 (Continued)**

Tank Num: 001  
 Container Num: 1  
 Year Installed: Not Reported  
 Tank Capacity: 00000515  
 Tank Used for: PRODUCT  
 Type of Fuel: DIESEL  
 Container Construction Thickness: Not Reported  
 Leak Detection: None

Click here for Geo Tracker PDF: [http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR\\_CA\\_HISTUST\\_PDF&img\\_id=0002E8F9](http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR_CA_HISTUST_PDF&img_id=0002E8F9)

SANTA ANA TOWER FAA/AFSFO-8525 18990 IKE JONES RD, SANTA ANA, CA, 92707		S101619826
▲ K7	SSW 1/10 - 1/3 (1526 ft. / 0.289 mi.)	State and tribal leaking storage tank lists Local Lists of Registered Storage Tanks Other Ascertainable Records
	5 ft. Higher Elevation 52 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**CA FID UST: Local Lists of Registered Storage Tanks**

Facility ID: 30000644  
 Regulated By: UTNKA  
 Regulated ID: Not Reported  
 Cortese Code: Not Reported  
 SIC Code: Not Reported  
 Facility Phone: 7145575696  
 Mail To: Not Reported  
 Mailing Address: MONTGOMERY FLD ATTN:  
 Mailing Address 2: Not Reported  
 Mailing City,St,Zip: SANTA ANA 92707  
 Contact: Not Reported  
 Contact Phone: Not Reported  
 DUNs Number: Not Reported  
 NPDES Number: Not Reported  
 EPA ID: Not Reported  
 Comments: Not Reported  
 Status: Active

**HIST CORTESE: Other Ascertainable Records**

Region: CORTESE  
 Facility County Code: 30  
 Reg By: LTNKA  
 Reg Id: 083000556T

ORANGE COUNTY FIRE STATION #33 18992 IKE JONES RD, SANTA ANA, CA, 92707	S101300014
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MAP FINDINGS

▲ K8	SSW 1/10 - 1/3	(1530 ft. / 0.29 mi.)	State and tribal leaking storage tank lists
	5 ft. Higher Elevation	52 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

ORANGE COUNTY FIRE STATION #33 18992 IKE JONES RD, SANTA ANA, CA, 92707			S118504609
▲ K9	SSW 1/10 - 1/3	(1530 ft. / 0.29 mi.)	State and tribal leaking storage tank lists
	5 ft. Higher Elevation	52 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**CPS-SLIC: State and tribal leaking storage tank lists**

Region: STATE  
**Facility Status:** Open - Site Assessment  
 Status Date: 07/11/2003  
 Global Id: T0605900437  
 Lead Agency: SANTA ANA RWQCB (REGION 8)  
 Lead Agency Case Number: Not Reported  
 Latitude: 33.677514901447  
 Longitude: -117.87003993988  
 Case Type: Cleanup Program Site  
 Case Worker: RS  
 Local Agency: Not Reported  
 RB Case Number: 083000548T  
 File Location: Regional Board  
 Potential Media Affected: Aquifer used for drinking water supply  
 Potential Contaminants of Concern: Alcohols, Heating Oil / Fuel Oil, Gasoline  
 Site History: Part of Larger John Wayne Airport Facility investigation. Fire retardant chemicals and ethanol of concern.

Click here to access the California GeoTracker records for this facility: [http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR\\_CA\\_SLIC\\_ST&global\\_id=T0605900437](http://www.web.edrnet.com/ordering/switchboard/redirect.aspx?s=GRR_CA_SLIC_ST&global_id=T0605900437)

WESTERN DIGITAL CORPORATION 3128 REDHILL AVE, COSTA MESA, CA, 92626			1000403002
▲ L10	WSW 1/10 - 1/3	(1588 ft. / 0.301 mi.)	Federal CERCLIS list Federal RCRA generators list Local Lists of Registered Storage Tanks Other Ascertainable Records
	Equal Elevation	47 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**SEMS: Federal CERCLIS list**

Site ID: 904275

MAP FINDINGS

**WESTERN DIGITAL CORPORATION, 3128 REDHILL AVE, COSTA MESA, CA 92626 (Continued)**

EPA ID: CAD051983567  
 Cong District: 40  
 FIPS Code: 6059  
 Latitude: Not Reported  
 Longitude: Not Reported  
 FF: N  
 NPL: Not on the NPL  
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

**SEMS Detail:**

Region: 9  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Site Name: WESTERN DIGITAL CORPORATION  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: DS  
 Action Name: DISCVRY  
 SEQ: 1  
 Start Date: 1992-01-13 00:00:00  
 Finish Date: 1/13/1992  
 Qual: Not Reported  
 Current Action Lead: EPA Perf

Region: 9  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Site Name: WESTERN DIGITAL CORPORATION  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: OO  
 Action Name: SITE REASS  
 SEQ: 1  
 Start Date: 2013-07-01 00:00:00  
 Finish Date: 10/1/2014  
 Qual: N  
 Current Action Lead: EPA Perf

Region: 9  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Site Name: WESTERN DIGITAL CORPORATION  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: SI  
 Action Name: SI  
 SEQ: 1  
 Start Date: 1992-04-16 00:00:00



MAP FINDINGS

**WESTERN DIGITAL CORPORATION, 3128 REDHILL AVE, COSTA MESA, CA 92626 (Continued)**

Finish Date: 5/18/1993  
 Qual: L  
 Current Action Lead: EPA Perf  
 Region: 9  
 Site ID: 904275  
 EPA ID: CAD051983567  
 Site Name: WESTERN DIGITAL CORPORATION  
 NPL: N  
 FF: N  
 OU: 0  
 Action Code: PA  
 Action Name: PA  
 SEQ: 1  
 Start Date: 1992-06-15 00:00:00  
 Finish Date: 6/15/1992  
 Qual: Not Reported  
 Current Action Lead: EPA Perf

**RCRA-SQG: Federal RCRA generators list**

Date form received by agency: 09/01/1996  
 Facility name: WESTERN DIGITAL CORPORATION  
 Facility address: 3128 REDHILL AVE  
 COSTA MESA, CA 92626  
 EPA ID: CAD051983567  
 Mailing address: 3128 RED HILL AVE BOX 2180  
 NEWPORT BEACH, CA 92663  
 Contact: Not Reported  
 Contact address: Not Reported  
 Contact country: US  
 Contact telephone: Not Reported  
 Contact email: Not Reported  
 EPA Region: 09  
 Land type: Facility is not located on Indian land. Additional information is not known.  
 Classification: Small Small Quantity Generator  
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: NOT REQUIRED  
 Owner/operator address: NOT REQUIRED  
 NOT REQUIRED, ME 99999  
 Owner/operator country: Not Reported  
 Owner/operator telephone: 415-555-1212  
 Owner/operator email: Not Reported  
 Owner/operator fax: Not Reported  
 Owner/operator extension: Not Reported

MAP FINDINGS

**WESTERN DIGITAL CORPORATION, 3128 REDHILL AVE, COSTA MESA, CA 92626 (Continued)**

Legal status:	Private
Owner/Operator Type:	Operator
Owner/Op start date:	Not Reported
Owner/Op end date:	Not Reported
Owner/operator name:	WESTERN DIGITAL CORPORATION
Owner/operator address:	NOT REQUIRED NOT REQUIRED, ME 99999
Owner/operator country:	Not Reported
Owner/operator telephone:	415-555-1212
Owner/operator email:	Not Reported
Owner/operator fax:	Not Reported
Owner/operator extension:	Not Reported
Legal status:	Private
Owner/Operator Type:	Owner
Owner/Op start date:	Not Reported
Owner/Op end date:	Not Reported

**Handler Activities Summary:**

U.S. importer of hazardous waste:	No
Mixed waste (haz. and radioactive):	No
Recycler of hazardous waste:	No
Transporter of hazardous waste:	No
Treater, storer or disposer of HW:	No
Underground injection activity:	No
On-site burner exemption:	No
Furnace exemption:	No
Used oil fuel burner:	No
Used oil processor:	No
User oil refiner:	No
Used oil fuel marketer to burner:	No
Used oil Specification marketer:	No
Used oil transfer facility:	No
Used oil transporter:	No

**Historical Generators:**

Date form received by agency:	09/01/1996
Site name:	WESTERN DIGITAL CORPORATION
Classification:	Small Quantity Generator
Date form received by agency:	02/28/1992
Site name:	WESTERN DIGITAL CORPORATION
Classification:	Large Quantity Generator
Date form received by agency:	08/18/1980
Site name:	WESTERN DIGITAL CORPORATION
Classification:	Large Quantity Generator
Violation Status:	No violations found

**Evaluation Action Summary:**

MAP FINDINGS

**WESTERN DIGITAL CORPORATION, 3128 REDHILL AVE, COSTA MESA, CA 92626 (Continued)**

Evaluation date: 05/28/1993  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not Reported  
Date achieved compliance: Not Reported  
Evaluation lead agency: State

**HIST UST: Local Lists of Registered Storage Tanks**

File Number: Not Reported  
URL: Not Reported  
Region: STATE  
Facility ID: 00000014495  
Facility Type: Other  
Other Type: SEMICONDUCTOR MFGR.  
Contact Name: RICK ERNST FACILITIES MGR.  
Telephone: 7148630102  
Owner Name: WESTERN DIGITAL CORPORATION  
Owner Address: 2445 MCCABE WAY  
Owner City,St,Zip: IRVINE, CA 92714  
Total Tanks: 0001  
  
Tank Num: 001  
Container Num: #1  
Year Installed: 1970  
Tank Capacity: 00000500  
Tank Used for: WASTE  
Type of Fuel: Not Reported  
Container Construction Thickness: Not Reported  
Leak Detection: None

**FINDS: Other Ascertainable Records**

Registry ID: 110002144732

**Environmental Interest/Information System:**

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

SUPERFUND (NON-NPL)

STATE MASTER

The FINDS: database contains 0 additional records for this site. Please contact your EDR Account Executive for more information.

**ECHO: Other Ascertainable Records**

Envid: 1000403002  
Registry ID: 110002144732

MAP FINDINGS

**WESTERN DIGITAL CORPORATION, 3128 REDHILL AVE, COSTA MESA, CA 92626 (Continued)**

DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002144732>

WESTERN DIGITAL CORP 3128 RED HILL AV, COSTA MESA, CA, 92676		S101299473
▲ L11	WSW 1/10 - 1/3 (1588 ft. / 0.301 mi.)	State and tribal leaking storage tank lists Other Ascertainable Records
	Equal Elevation 47 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**LUST: State and tribal leaking storage tank lists**

Lead Agency: SANTA ANA RWQCB (REGION 8)  
Case Type: LUST Cleanup Site  
Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605900354](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605900354)  
Global Id: T0605900354  
Latitude: 33.6776107  
Longitude: -117.8761739  
Status: Completed - Case Closed  
Status Date: 04/25/2006  
Case Worker: CAB  
RB Case Number: 083000442T  
Local Agency: ORANGE COUNTY  
File Location: Not Reported  
Local Case Number: 92UT023  
Potential Media Affect: Other Groundwater (uses other than drinking water)  
Potential Contaminants of Concern: 1,1,1-Trichloroethane (TCA), Acetone, Dichloroethane (DCA), Dichloroethene (DCE), Other Solvent or Non-Petroleum Hydrocarbon, Tetrachloroethylene (PCE), Trichloroethylene (TCE), Freon, Toluene, Xylene  
Site History: Not Reported

**LUST:**

Global Id: T0605900354  
Contact Type: Regional Board Caseworker  
Contact Name: CARL BERNHARDT  
Organization Name: SANTA ANA RWQCB (REGION 8)  
Address: 3737 MAIN STREET, SUITE 500  
City: RIVERSIDE  
Email: [cbernhardt@waterboards.ca.gov](mailto:cbernhardt@waterboards.ca.gov)  
Phone Number: 9517824495

Global Id: T0605900354  
Contact Type: Local Agency Caseworker  
Contact Name: LUIS LODRIGUEZA  
Organization Name: ORANGE COUNTY  
Address: 2009 E. EDINGER AVE.  
City: SANTA ANA  
Email: Not Reported  
Phone Number: Not Reported

MAP FINDINGS

WESTERN DIGITAL CORP, 3128 RED HILL AV, COSTA MESA, CA 92676 (Continued)

LUST:

Global Id:	T0605900354
Action Type:	Other
Date:	04/22/1992
Action:	Leak Discovery
Global Id:	T0605900354
Action Type:	RESPONSE
Date:	02/14/2006
Action:	Monitoring Report - Quarterly
Global Id:	T0605900354
Action Type:	RESPONSE
Date:	04/13/2006
Action:	Unknown
Global Id:	T0605900354
Action Type:	RESPONSE
Date:	04/16/2006
Action:	Other Report / Document
Global Id:	T0605900354
Action Type:	ENFORCEMENT
Date:	04/25/2006
Action:	Closure/No Further Action Letter
Global Id:	T0605900354
Action Type:	REMEDIATION
Date:	04/01/1992
Action:	Excavation
Global Id:	T0605900354
Action Type:	ENFORCEMENT
Date:	03/15/2006
Action:	Notification - Fee Title Owners Notice
Global Id:	T0605900354
Action Type:	ENFORCEMENT
Date:	03/28/2006
Action:	Staff Letter
Global Id:	T0605900354
Action Type:	Other
Date:	07/07/1986
Action:	Leak Reported
Global Id:	T0605900354
Action Type:	ENFORCEMENT
Date:	01/12/2006
Action:	Meeting

LUST:

Global Id:	T0605900354
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MAP FINDINGS

**WESTERN DIGITAL CORP, 3128 RED HILL AV, COSTA MESA, CA 92676 (Continued)**

Status:	Open - Case Begin Date
Status Date:	07/07/1986
Global Id:	T0605900354
Status:	Open - Site Assessment
Status Date:	04/01/1992
Global Id:	T0605900354
Status:	Open - Site Assessment
Status Date:	05/01/1992
Global Id:	T0605900354
Status:	Open - Verification Monitoring
Status Date:	05/21/1993
Global Id:	T0605900354
Status:	Completed - Case Closed
Status Date:	04/25/2006

**EMI: Other Ascertainable Records**

Year:	1990
County Code:	30
Air Basin:	SC
Facility ID:	16727
Air District Name:	SC
SIC Code:	3674
Air District Name:	SOUTH COAST AQMD
Community Health Air Pollution Info System:	Not Reported
Consolidated Emission Reporting Rule:	Not Reported
Total Organic Hydrocarbon Gases Tons/Yr:	3
Reactive Organic Gases Tons/Yr:	0
Carbon Monoxide Emissions Tons/Yr:	0
NOX - Oxides of Nitrogen Tons/Yr:	0
SOX - Oxides of Sulphur Tons/Yr:	0
Particulate Matter Tons/Yr:	0
Part. Matter 10 Micrometers and Smllr Tons/Yr:	0

**HAZNET: Other Ascertainable Records**

envid:	S101299473
Year:	2016
GEPAID:	CAL000407292
Contact:	TERI RUDDLE
Telephone:	7146195135
Mailing Name:	Not Reported
Mailing Address:	3128 RED HILL AVE
Mailing City,St,Zip:	COSTA MESA, CA 92626
Gen County:	Orange
TSD EPA ID:	NVD980895338

MAP FINDINGS

**WESTERN DIGITAL CORP, 3128 RED HILL AV, COSTA MESA, CA 92676 (Continued)**

TSD County: 99  
 Waste Category: Laboratory waste chemicals  
 Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
 Tons: 0.02  
 Cat Decode: Laboratory waste chemicals  
 Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
 Facility County: Orange

envid: S101299473  
 Year: 2016  
 GEPAID: CAL000407292  
 Contact: TERI RUDDLE  
 Telephone: 7146195135  
 Mailing Name: Not Reported  
 Mailing Address: 3128 RED HILL AVE  
 Mailing City,St,Zip: COSTA MESA, CA 92626  
 Gen County: Orange  
 TSD EPA ID: CAD008364432

TSD County: Los Angeles  
 Waste Category: Laboratory waste chemicals  
 Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
 Tons: 0.5087  
 Cat Decode: Laboratory waste chemicals  
 Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
 Facility County: Orange

envid: S101299473  
 Year: 2016  
 GEPAID: CAL000407292  
 Contact: TERI RUDDLE  
 Telephone: 7146195135  
 Mailing Name: Not Reported  
 Mailing Address: 3128 RED HILL AVE  
 Mailing City,St,Zip: COSTA MESA, CA 92626  
 Gen County: Orange  
 TSD EPA ID: CAD008364432

TSD County: Los Angeles  
 Waste Category: Laboratory waste chemicals  
 Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
 Tons: 0.22935  
 Cat Decode: Laboratory waste chemicals  
 Method Decode: Fuel Blending Prior To Energy Recovery At Another Site  
 Facility County: Orange

envid: S101299473  
 Year: 2015  
 GEPAID: CAL000407292  
 Contact: TERI RUDDLE  
 Telephone: 7146195135  
 Mailing Name: Not Reported  
 Mailing Address: 3128 RED HILL AVE

MAP FINDINGS

**WESTERN DIGITAL CORP, 3128 RED HILL AV, COSTA MESA, CA 92676 (Continued)**

Mailing City,St,Zip: COSTA MESA, CA 92626  
 Gen County: Orange  
 TSD EPA ID: CAD008364432  
 TSD County: Los Angeles  
 Waste Category: Liquids with pH <= 2  
 Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
 Tons: 0.15  
 Cat Decode: Not Reported  
 Method Decode: Not Reported  
 Facility County: Orange

envid: S101299473  
 Year: 2015  
 GEPAID: CAL000407292  
 Contact: TERI RUDDLE  
 Telephone: 7146195135  
 Mailing Name: Not Reported  
 Mailing Address: 3128 RED HILL AVE  
 Mailing City,St,Zip: COSTA MESA, CA 92626  
 Gen County: Orange  
 TSD EPA ID: NVD980895338  
 TSD County: 99  
 Waste Category: Off-specification, aged or surplus organics  
 Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
 Tons: 0.5445  
 Cat Decode: Not Reported  
 Method Decode: Not Reported  
 Facility County: Orange

The CA\_HAZNET: database contains 4 additional records for this site. Please contact your EDR Account Executive for more information.

**HIST CORTESE: Other Ascertainable Records**

Region: CORTESE  
 Facility County Code: 30  
 Reg By: LTNKA  
 Reg Id: 083000442T

WESTERN DIGITAL CORP 3128 RED HILL AVE, COSTA MESA, CA, 92626			S122221968
▲ L12	WSW 1/10 - 1/3	(1588 ft. / 0.301 mi.)	State and tribal leaking storage tank lists
	Equal Elevation	47 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

THE ABBEY SCHERER COMPANY 3130 AIRWAY, COSTA MESA, CA, 92626	S101299417
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MAP FINDINGS

▲ 13	SSW 1/10 - 1/3	(1592 ft. / 0.302 mi.)	State and tribal leaking storage tank lists Other Ascertainable Records
	4 ft. Higher Elevation	51 ft. Above Sea Level	

**Worksheet:**

**Impact on Target Property:** VEC does not exist

**LUST: State and tribal leaking storage tank lists**

Lead Agency: ORANGE COUNTY LOP  
Case Type: LUST Cleanup Site  
Geo Track: [http://geotracker.waterboards.ca.gov/profile\\_report.asp?global\\_id=T0605901220](http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0605901220)  
Global Id: T0605901220  
Latitude: 33.675135  
Longitude: -117.873125  
Status: Completed - Case Closed  
Status Date: 05/30/1997  
Case Worker: DB  
RB Case Number: 083001610T  
Local Agency: ORANGE COUNTY LOP  
File Location: Local Agency  
Local Case Number: 90UT174  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Waste Oil / Motor / Hydraulic / Lubricating  
Site History: Not Reported

**LUST:**

Global Id: T0605901220  
Contact Type: Local Agency Caseworker  
Contact Name: DENAMARIE BAKER  
Organization Name: ORANGE COUNTY LOP  
Address: 1241 E. DYER ROAD, STE. 120  
City: SANTA ANA  
Email: dbaker@ochca.com  
Phone Number: 7144336255

Global Id: T0605901220  
Contact Type: Regional Board Caseworker  
Contact Name: VALERIE JAHN-BULL  
Organization Name: SANTA ANA RWQCB (REGION 8)  
Address: 3737 MAIN STREET, SUITE 500  
City: RIVERSIDE  
Email: valerie.jahn-bull@waterboards.ca.gov  
Phone Number: 9517824903

**LUST:**

Global Id: T0605901220  
Action Type: Other  
Date: 07/06/1990  
Action: Leak Reported  
Global Id: T0605901220

MAP FINDINGS

**THE ABBEY SCHERER COMPANY, 3130 AIRWAY, COSTA MESA, CA 92626 (Continued)**

Action Type: Other  
Date: 07/06/1990  
Action: Leak Discovery

**LUST:**

Global Id: T0605901220  
Status: Open - Case Begin Date  
Status Date: 07/06/1990  
  
Global Id: T0605901220  
Status: Completed - Case Closed  
Status Date: 05/30/1997

**HIST CORTESE: Other Ascertainable Records**

Region: CORTESE  
Facility County Code: 30  
Reg By: LTNKA  
Reg Id: 083001610T

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
<b>ENVIRONMENTAL RECORDS</b>						
<b>Federal NPL site list</b>						
US	NPL	National Priority List	EPA	07/17/2018	08/09/2018	09/07/2018
US	Proposed NPL	Proposed National Priority List Sites	EPA	07/17/2018	08/09/2018	09/07/2018
US	NPL LIENS	Federal Superfund Liens	EPA	10/15/1991	02/02/1994	03/30/1994
<b>Federal CERCLIS list</b>						
US	SEMS	Superfund Enterprise Management System	EPA	07/17/2018	08/09/2018	09/07/2018
<b>Federal RCRA CORRACTS facilities list</b>						
US	CORRACTS	Corrective Action Report	EPA	03/01/2018	03/28/2018	06/22/2018
<b>Federal RCRA TSD facilities list</b>						
US	RCRA-TSDF	RCRA - Treatment, Storage and Disposal	Environmental Protection Agency	03/01/2018	03/28/2018	06/22/2018
<b>Federal RCRA generators list</b>						
US	RCRA-LQG	RCRA - Large Quantity Generators	Environmental Protection Agency	03/01/2018	03/28/2018	06/22/2018
US	RCRA-SQG	RCRA - Small Quantity Generators	Environmental Protection Agency	03/01/2018	03/28/2018	06/22/2018
US	RCRA-CESQG	RCRA - Conditionally Exempt Small Quantity Generators	Environmental Protection Agency	03/01/2018	03/28/2018	06/22/2018
<b>Federal institutional controls / engineering controls registries</b>						
US	LUCIS	Land Use Control Information System	Department of the Navy	05/14/2018	05/18/2018	07/20/2018
US	US ENG CONTROLS	Engineering Controls Sites List	Environmental Protection Agency	07/31/2018	08/28/2018	09/14/2018
US	US INST CONTROL	Sites with Institutional Controls	Environmental Protection Agency	07/31/2018	08/28/2018	09/14/2018
<b>Federal ERNS list</b>						
US	ERNS	Emergency Response Notification System	National Response Center, United States Coast	06/18/2018	06/27/2018	09/14/2018
<b>State and tribal - equivalent NPL</b>						
CA	RESPONSE	State Response Sites	Department of Toxic Substances Control	07/30/2018	07/31/2018	09/07/2018
<b>State and tribal - equivalent CERCLIS</b>						
CA	ENVIROSTOR	EnviroStor Database	Department of Toxic Substances Control	07/30/2018	07/31/2018	09/07/2018
<b>State and tribal landfill / solid waste disposal</b>						
CA	SWF/LF (SWIS)	Solid Waste Information System	Department of Resources Recycling and Recover	08/08/2018	08/10/2018	08/24/2018
<b>State and tribal leaking storage tank lists</b>						
CA	LUST REG 1	Active Toxic Site Investigation	California Regional Water Quality Control Boa	02/01/2001	02/28/2001	03/29/2001
CA	LUST REG 7	Leaking Underground Storage Tank Case Listing	California Regional Water Quality Control Boa	02/26/2004	02/26/2004	03/24/2004
CA	LUST REG 8	Leaking Underground Storage Tanks	California Regional Water Quality Control Boa	02/14/2005	02/15/2005	03/28/2005
CA	LUST REG 6V	Leaking Underground Storage Tank Case Listing	California Regional Water Quality Control Boa	06/07/2005	06/07/2005	06/29/2005
CA	LUST REG 6L	Leaking Underground Storage Tank Case Listing	California Regional Water Quality Control Boa	09/09/2003	09/10/2003	10/07/2003
CA	LUST REG 5	Leaking Underground Storage Tank Database	California Regional Water Quality Control Boa	07/01/2008	07/22/2008	07/31/2008
CA	LUST	Leaking Underground Fuel Tank Report (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/17/2018

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
CA	LUST REG 2	Fuel Leak List	California Regional Water Quality Control Boa	09/30/2004	10/20/2004	11/19/2004
CA	LUST REG 3	Leaking Underground Storage Tank Database	California Regional Water Quality Control Boa	05/19/2003	05/19/2003	06/02/2003
CA	LUST REG 4	Underground Storage Tank Leak List	California Regional Water Quality Control Boa	09/07/2004	09/07/2004	10/12/2004
CA	LUST REG 9	Leaking Underground Storage Tank Report	California Regional Water Quality Control Boa	03/01/2001	04/23/2001	05/21/2001
US	INDIAN LUST R10	Leaking Underground Storage Tanks on Indian Land	EPA Region 10	04/12/2018	05/18/2018	07/20/2018
US	INDIAN LUST R9	Leaking Underground Storage Tanks on Indian Land	Environmental Protection Agency	04/10/2018	05/18/2018	07/20/2018
US	INDIAN LUST R8	Leaking Underground Storage Tanks on Indian Land	EPA Region 8	04/25/2018	05/18/2018	07/20/2018
US	INDIAN LUST R7	Leaking Underground Storage Tanks on Indian Land	EPA Region 7	04/24/2018	05/18/2018	07/20/2018
US	INDIAN LUST R6	Leaking Underground Storage Tanks on Indian Land	EPA Region 6	04/01/2018	05/18/2018	07/20/2018
US	INDIAN LUST R4	Leaking Underground Storage Tanks on Indian Land	EPA Region 4	05/08/2018	05/18/2018	07/20/2018
US	INDIAN LUST R1	Leaking Underground Storage Tanks on Indian Land	EPA Region 1	04/13/2018	05/18/2018	07/20/2018
US	INDIAN LUST R5	Leaking Underground Storage Tanks on Indian Land	EPA, Region 5	04/12/2018	05/18/2018	07/20/2018
CA	CPS-SLIC	Statewide SLIC Cases (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/17/2018
CA	SLIC REG 1	Active Toxic Site Investigations	California Regional Water Quality Control Boa	04/03/2003	04/07/2003	04/25/2003
CA	SLIC REG 2	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Regional Water Quality Control Board San Fran	09/30/2004	10/20/2004	11/19/2004
CA	SLIC REG 3	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	California Regional Water Quality Control Boa	05/18/2006	05/18/2006	06/15/2006
CA	SLIC REG 4	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Region Water Quality Control Board Los Angele	11/17/2004	11/18/2004	01/04/2005
CA	SLIC REG 5	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Regional Water Quality Control Board Central	04/01/2005	04/05/2005	04/21/2005
CA	SLIC REG 6V	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Regional Water Quality Control Board, Victorv	05/24/2005	05/25/2005	06/16/2005
CA	SLIC REG 6L	SLIC Sites	California Regional Water Quality Control Boa	09/07/2004	09/07/2004	10/12/2004
CA	SLIC REG 7	SLIC List	California Regional Quality Control Board, Co	11/24/2004	11/29/2004	01/04/2005
CA	SLIC REG 8	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	California Region Water Quality Control Board	04/03/2008	04/03/2008	04/14/2008
CA	SLIC REG 9	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	California Regional Water Quality Control Boa	09/10/2007	09/11/2007	09/28/2007
<b>State and tribal registered storage tank lists</b>						
CA	UST	Active UST Facilities	SWRCB	06/11/2018	06/13/2018	07/09/2018
CA	MILITARY UST SITES	Military UST Sites (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
CA	UST CLOSURE	Proposed Closure of Underground Storage Tank (UST) Cases	State Water Resources Control Board	06/11/2018	06/13/2018	07/10/2018
CA	UST MENDOCINO	Mendocino County UST Database	Department of Public Health	03/28/2018	05/25/2018	07/10/2018
CA	AST	Aboveground Petroleum Storage Tank Facilities	California Environmental Protection Agency	07/06/2016	07/12/2016	09/19/2016
US	INDIAN UST R10	Underground Storage Tanks on Indian Land	EPA Region 10	04/12/2018	05/18/2018	07/20/2018
US	INDIAN UST R9	Underground Storage Tanks on Indian Land	EPA Region 9	04/10/2018	05/18/2018	07/20/2018
US	INDIAN UST R8	Underground Storage Tanks on Indian Land	EPA Region 8	04/25/2018	05/18/2018	07/20/2018
US	INDIAN UST R7	Underground Storage Tanks on Indian Land	EPA Region 7	04/24/2018	05/18/2018	07/20/2018
US	INDIAN UST R6	Underground Storage Tanks on Indian Land	EPA Region 6	04/01/2018	05/18/2018	07/20/2018
US	INDIAN UST R1	Underground Storage Tanks on Indian Land	EPA, Region 1	04/13/2018	05/18/2018	07/20/2018
US	INDIAN UST R4	Underground Storage Tanks on Indian Land	EPA Region 4	05/08/2018	05/18/2018	07/20/2018
US	INDIAN UST R5	Underground Storage Tanks on Indian Land	EPA Region 5	04/12/2018	05/18/2018	07/20/2018
US	FEMA UST	Underground Storage Tank Listing	FEMA	05/15/2017	05/30/2017	10/13/2017

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
<b>State and tribal voluntary cleanup sites</b>						
US	INDIAN VCP R1	Voluntary Cleanup Priority Listing	EPA, Region 1	07/27/2015	09/29/2015	02/18/2016
CA	VCP	Voluntary Cleanup Program Properties	Department of Toxic Substances Control	07/30/2018	07/31/2018	09/07/2018
US	INDIAN VCP R7	Voluntary Cleanup Priority Lisitng	EPA, Region 7	03/20/2008	04/22/2008	05/19/2008
<b>State and tribal Brownfields sites</b>						
CA	BROWNFIELDS	Considered Brownfields Sites Listing	State Water Resources Control Board	06/25/2018	06/27/2018	08/06/2018
<b>Other Records</b>						
US	CONSENT	Superfund (CERCLA) Consent Decrees	Department of Justice, Consent Decree Library	03/31/2018	04/16/2018	06/29/2018
US	ROD	Records Of Decision	EPA	05/13/2018	05/30/2018	06/29/2018
US	LIENS 2	CERCLA Lien Information	Environmental Protection Agency	05/13/2018	05/30/2018	06/29/2018
CA	HIST CAL-SITES	Calsites Database	Department of Toxic Substance Control	08/08/2005	08/03/2006	08/24/2006
US	DEBRIS REGION 9	Torres Martinez Reservation Illegal Dump Site Locations	EPA, Region 9	01/12/2009	05/07/2009	09/21/2009
CA	SWRCY	Recycler Database	Department of Conservation	06/11/2018	06/13/2018	08/06/2018
CA	CA FID UST	Facility Inventory Database	California Environmental Protection Agency	10/31/1994	09/05/1995	09/29/1995
CA	HIST UST	Hazardous Substance Storage Container Database	State Water Resources Control Board	10/15/1990	01/25/1991	02/12/1991
CA	SAN FRANCISCO AST	Aboveground Storage Tank Site Listing	San Francisco County Department of Public Hea	04/19/2018	04/24/2018	05/04/2018
CA	SWEEPS UST	SWEEPS UST Listing	State Water Resources Control Board	06/01/1994	07/07/2005	08/11/2005
US	LEAD SMELTER 2	Lead Smelter Sites	American Journal of Public Health	04/05/2001	10/27/2010	12/02/2010
US	LEAD SMELTER 1	Lead Smelter Sites	Environmental Protection Agency	05/13/2018	05/30/2018	06/29/2018
US	2020 COR ACTION	2020 Corrective Action Program List	Environmental Protection Agency	09/30/2017	05/08/2018	07/20/2018
US	PCB TRANSFORMER	PCB Transformer Registration Database	Environmental Protection Agency	05/24/2017	11/30/2017	12/15/2017
US	FUSRAP	Formerly Utilized Sites Remedial Action Program	Department of Energy	08/08/2017	09/11/2018	09/14/2018
US	EPA WATCH LIST	EPA WATCH LIST	Environmental Protection Agency	08/30/2013	03/21/2014	06/17/2014
US	US FIN ASSUR	Financial Assurance Information	Environmental Protection Agency	03/01/2018	03/27/2018	06/22/2018
US	US AIRS MINOR	Air Facility System Data	EPA	10/12/2016	10/26/2016	02/03/2017
US	US AIRS (AFS)	Aerometric Information Retrieval System Facility Subsystem (	EPA	10/12/2016	10/26/2016	02/03/2017
US	COAL ASH DOE	Steam-Electric Plant Operation Data	Department of Energy	12/31/2005	08/07/2009	10/22/2009
US	COAL ASH EPA	Coal Combustion Residues Surface Impoundments List	Environmental Protection Agency	07/01/2014	09/10/2014	10/20/2014
US	SCRD DRYCLEANERS	State Coalition for Remediation of Drycleaners Listing	Environmental Protection Agency	01/01/2017	02/03/2017	04/07/2017
US	US HIST CDL	National Clandestine Laboratory Register	Drug Enforcement Administration	05/18/2018	06/20/2018	09/14/2018
US	Delisted NPL	National Priority List Deletions	EPA	07/17/2018	08/09/2018	09/07/2018
US	SEMS-ARCHIVE	Superfund Enterprise Management System Archive	EPA	07/17/2018	08/09/2018	09/07/2018
US	RCRA NonGen / NLR	RCRA - Non Generators / No Longer Regulated	Environmental Protection Agency	03/01/2018	03/28/2018	06/22/2018
US	HMIRS	Hazardous Materials Information Reporting System	U.S. Department of Transportation	03/26/2018	03/27/2018	06/08/2018
US	DOT OPS	Incident and Accident Data	Department of Transporation, Office of Pipeli	07/31/2012	08/07/2012	09/18/2012
US	US CDL	Clandestine Drug Labs	Drug Enforcement Administration	05/18/2018	06/20/2018	09/14/2018
US	US BROWNFIELDS	A Listing of Brownfields Sites	Environmental Protection Agency	06/18/2018	06/20/2018	09/14/2018
US	DOD	Department of Defense Sites	USGS	12/31/2005	11/10/2006	01/11/2007
US	FEDLAND	Federal and Indian Lands	U.S. Geological Survey	12/31/2005	02/06/2006	01/11/2007
US	FUDS	Formerly Used Defense Sites	U.S. Army Corps of Engineers	01/31/2015	07/08/2015	10/13/2015
US	UMTRA	Uranium Mill Tailings Sites	Department of Energy	06/23/2017	10/11/2017	11/03/2017
US	ODI	Open Dump Inventory	Environmental Protection Agency	06/30/1985	08/09/2004	09/17/2004
US	US MINES	Mines Master Index File	Department of Labor, Mine Safety and Health A	05/03/2018	05/31/2018	06/29/2018
US	US MINES 2	Ferrous and Nonferrous Metal Mines Database Listing	USGS	12/05/2005	02/29/2008	04/18/2008

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	US MINES 3	Active Mines & Mineral Plants Database Listing	USGS	04/14/2011	06/08/2011	09/13/2011
US	PRP	Potentially Responsible Parties	EPA	10/25/2013	10/17/2014	10/20/2014
US	TRIS	Toxic Chemical Release Inventory System	EPA	12/31/2016	01/10/2018	01/12/2018
US	TSCA	Toxic Substances Control Act	EPA	12/31/2016	06/21/2017	01/05/2018
US	FTTS	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA/Office of Prevention, Pesticides and Toxi	04/09/2009	04/16/2009	05/11/2009
US	FTTS INSP	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA	04/09/2009	04/16/2009	05/11/2009
US	HIST FTTS	FIFRA/TSCA Tracking System Administrative Case Listing	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	HIST FTTS INSP	FIFRA/TSCA Tracking System Inspection & Enforcement Case Lis	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	SSTS	Section 7 Tracking Systems	EPA	12/31/2009	12/10/2010	02/25/2011
US	ICIS	Integrated Compliance Information System	Environmental Protection Agency	11/18/2016	11/23/2016	02/10/2017
US	PADS	PCB Activity Database System	EPA	06/01/2017	06/09/2017	10/13/2017
US	MLTS	Material Licensing Tracking System	Nuclear Regulatory Commission	08/30/2016	08/08/2016	10/21/2016
US	RADINFO	Radiation Information Database	Environmental Protection Agency	04/03/2018	04/05/2018	06/29/2018
US	FINDS	Facility Index System/Facility Registry System	EPA	02/21/2018	02/23/2018	03/23/2018
US	RAATS	RCRA Administrative Action Tracking System	EPA	04/17/1995	07/03/1995	08/07/1995
US	RMP	Risk Management Plans	Environmental Protection Agency	05/01/2018	05/17/2018	09/07/2018
US	BRS	Biennial Reporting System	EPA/NTIS	12/31/2015	02/22/2017	09/28/2017
US	PWS	Public Water System Data	EPA	12/17/2013	01/09/2014	10/15/2014
US	INDIAN RESERV	Indian Reservations	USGS	12/31/2014	07/14/2015	01/10/2017
US	INDIAN ODI	Report on the Status of Open Dumps on Indian Lands	Environmental Protection Agency	12/31/1998	12/03/2007	01/24/2008
CA	CA BOND EXP. PLAN	Bond Expenditure Plan	Department of Health Services	01/01/1989	07/27/1994	08/02/1994
CA	CDL	Clandestine Drug Labs	Department of Toxic Substances Control	12/31/2017	06/12/2018	08/06/2018
CA	CHMIRS	California Hazardous Material Incident Report System	Office of Emergency Services	04/06/2018	04/24/2018	06/14/2018
CA	CORTESE	"Cortese" Hazardous Waste & Substances Sites List	CAL EPA/Office of Emergency Information	06/25/2018	06/27/2018	08/06/2018
CA	CUPA SAN FRANCISCO CO	CUPA SAN FRANCISCO CO	San Francisco County Department of Environmen	04/20/2018	04/24/2018	05/04/2018
CA	CUPA LIVERMORE-PLEASANTON	CUPA Facility Listing	Livermore-Pleasanton Fire Department	04/03/2018	05/07/2018	06/15/2018
CA	DEED	Deed Restriction Listing	DTSC and SWRCB	06/04/2018	06/06/2018	07/17/2018
CA	DRYCLEANERS	Cleaner Facilities	Department of Toxic Substance Control	05/31/2018	06/20/2018	08/06/2018
CA	DRYCLEAN AVAQMD	Antelope Valley Air Quality Management District Drycleaner L	Antelope Valley Air Quality Management Distri	06/25/2018	06/28/2018	08/06/2018
CA	DRYCLEAN SOUTH COAST	DRYCLEAN SOUTH COAST	South Coast Air Quality Management District	03/16/2018	03/20/2018	05/04/2018
CA	EMI	Emissions Inventory Data	California Air Resources Board	12/31/2017	06/20/2018	08/06/2018
CA	ENF	Enforcement Action Listing	State Water Resoruces Control Board	08/01/2018	08/02/2018	09/07/2018
CA	Financial Assurance 1	Financial Assurance Information Listing	Department of Toxic Substances Control	07/17/2018	07/24/2018	09/10/2018
CA	Financial Assurance 2	Financial Assurance Information Listing	California Integrated Waste Management Board	08/14/2018	08/16/2018	09/10/2018
CA	HAULERS	Registered Waste Tire Haulers Listing	Integrated Waste Management Board	05/29/2018	05/30/2018	07/17/2018
CA	HAZNET	Facility and Manifest Data	California Environmental Protection Agency	12/31/2016	07/12/2017	10/17/2017
CA	HIST CORTESE	Hazardous Waste & Substance Site List	Department of Toxic Substances Control	04/01/2001	01/22/2009	04/08/2009
CA	HWP	EnviroStor Permitted Facilities Listing	Department of Toxic Substances Control	08/20/2018	08/21/2018	09/10/2018
CA	HWT	Registered Hazardous Waste Transporter Database	Department of Toxic Substances Control	07/09/2018	07/11/2018	08/24/2018
CA	ICE	ICE	Department of Toxic Substances Control	08/20/2018	08/21/2018	09/10/2018
CA	LDS	Land Disposal Sites Listing (GEOTRACKER)	State Water Quality Control Board	06/11/2018	06/13/2018	07/17/2018
CA	LIENS	Environmental Liens Listing	Department of Toxic Substances Control	05/31/2018	06/05/2018	07/18/2018
CA	MCS	Military Cleanup Sites Listing (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/17/2018
CA	MINES	Mines Site Location Listing	Department of Conservation	06/11/2018	06/13/2018	08/06/2018
CA	MWMP	Medical Waste Management Program Listing	Department of Public Health	05/23/2018	06/06/2018	07/18/2018
CA	NPDES	NPDES Permits Listing	State Water Resources Control Board	08/09/2018	08/10/2018	09/10/2018
CA	PEST LIC	Pesticide Regulation Licenses Listing	Department of Pesticide Regulation	06/04/2018	06/06/2018	07/19/2018

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

<u>St</u>	<u>Acronym</u>	<u>Full Name</u>	<u>Government Agency</u>	<u>Gov Date</u>	<u>Arvl. Date</u>	<u>Active Date</u>
CA	PROC	Certified Processors Database	Department of Conservation	06/11/2018	06/13/2018	08/06/2018
CA	NOTIFY 65	Proposition 65 Records	State Water Resources Control Board	06/18/2018	06/20/2018	08/06/2018
CA	SCH	School Property Evaluation Program	Department of Toxic Substances Control	07/30/2018	07/31/2018	09/07/2018
CA	SPILLS 90	SPILLS90 data from FirstSearch	FirstSearch	06/06/2012	01/03/2013	02/22/2013
CA	TOXIC PITS	Toxic Pits Cleanup Act Sites	State Water Resources Control Board	07/01/1995	08/30/1995	09/26/1995
CA	UIC	UIC Listing	Department of Conservation	04/27/2018	06/13/2018	07/17/2018
CA	WASTEWATER PITS	Oil Wastewater Pits Listing	RWQCB, Central Valley Region	05/08/2018	07/11/2018	09/13/2018
CA	WDS	Waste Discharge System	State Water Resources Control Board	06/19/2007	06/20/2007	06/29/2007
CA	WIP	Well Investigation Program Case List	Los Angeles Water Quality Control Board	07/03/2009	07/21/2009	08/03/2009
CA	WMUDS/SWAT	Waste Management Unit Database	State Water Resources Control Board	04/01/2000	04/10/2000	05/10/2000
US	ABANDONED MINES	Abandoned Mines	Department of Interior	09/10/2018	09/11/2018	09/14/2018
CA	CIWQS	California Integrated Water Quality System	State Water Resources Control Board	06/04/2018	06/06/2018	07/13/2018
US	ECHO	Enforcement & Compliance History Information	Environmental Protection Agency	09/02/2018	09/05/2018	09/14/2018
US	FUELS PROGRAM	EPA Fuels Program Registered Listing	EPA	05/21/2018	05/23/2018	09/07/2018
CA	WDR	Waste Discharge Requirements Listing	State Water Resources Control Board	06/11/2018	06/13/2018	09/14/2018
CA	WELL STIM PROJ	Well Stimulation Project (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
US	IHS OPEN DUMPS	Open Dumps on Indian Land	Department of Health & Human Services, Indian	04/01/2014	08/06/2014	01/29/2015
CA	UIC GEO	Underground Injection Control Sites (GEOTRACKER)	State Water Resource Control Board	06/11/2018	06/13/2018	07/18/2018
CA	SAMPLING POINT	Sampling Point ? Public Sites (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
CA	PROJECT	Project Sites (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
CA	CERS TANKS	California Environmental Reporting System (CERS) Tanks	California Environmental Protection Agency	07/23/2018	07/25/2018	09/05/2018
CA	CERS	CalEPA Regulated Site Portal Data	California Environmental Protection Agency	07/23/2018	07/25/2018	09/05/2018
CA	CERS HAZ WASTE	CERS HAZ WASTE	CalEPA	07/23/2018	07/25/2018	09/05/2018
CA	MILITARY PRIV SITES	Military Privatized Sites (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
US	UXO	Unexploded Ordnance Sites	Department of Defense	09/30/2017	06/19/2018	09/14/2018
CA	NON-CASE INFO	Non-Case Information Sites (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
CA	OTHER OIL GAS	Other Oil & Gas Projects Sites (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
US	DOCKET HWC	Hazardous Waste Compliance Docket Listing	Environmental Protection Agency	01/04/2018	01/19/2018	04/13/2018
CA	PROD WATER PONDS	Produced Water Ponds Sites (GEOTRACKER)	State Water Resources Control Board	06/11/2018	06/13/2018	07/18/2018
<b><u>HISTORICAL USE RECORDS</u></b>						
US	EDR MGP	EDR Proprietary Manufactured Gas Plants	EDR, Inc.			
US	EDR Hist Auto	EDR Exclusive Historical Auto Stations	EDR, Inc.			
US	EDR Hist Cleaner	EDR Exclusive Historical Cleaners	EDR, Inc.			

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
<b>COUNTY RECORDS</b>						
CA	CS ALAMEDA	Contaminated Sites	Alameda County Environmental Health Services	08/03/2018	08/06/2018	09/05/2018
CA	UST ALAMEDA	Underground Tanks	Alameda County Environmental Health Services	07/06/2018	07/10/2018	09/11/2018
CA	CUPA AMADOR	CUPA Facility List	Amador County Environmental Health	07/01/2018	07/24/2018	08/20/2018
CA	CUPA BUTTE	CUPA Facility Listing	Public Health Department	04/21/2017	04/25/2017	08/09/2017
CA	CUPA CALVERAS	CUPA Facility Listing	Calveras County Environmental Health	08/02/2018	08/06/2018	08/20/2018
CA	CUPA COLUSA	CUPA Facility List	Health & Human Services	05/23/2018	05/24/2018	07/13/2018
CA	SL CONTRA COSTA	Site List	Contra Costa Health Services Department	08/20/2018	08/21/2018	09/11/2018
CA	CUPA DEL NORTE	CUPA Facility List	Del Norte County Environmental Health Divisio	04/27/2018	05/02/2018	06/15/2018
CA	CUPA EL DORADO	CUPA Facility List	El Dorado County Environmental Management Dep	07/12/2018	07/12/2018	08/20/2018
CA	CUPA FRESNO	CUPA Resources List	Dept. of Community Health	07/11/2018	07/17/2018	08/30/2018
CA	CUPA GLENN	CUPA Facility List	Glenn County Air Pollution Control District	01/22/2018	01/24/2018	03/14/2018
CA	CUPA HUMBOLDT	CUPA Facility List	Humboldt County Environmental Health	07/11/2018	07/13/2018	08/22/2018
CA	CUPA IMPERIAL	CUPA Facility List	San Diego Border Field Office	07/17/2018	07/24/2018	09/05/2018
CA	CUPA INYO	CUPA Facility List	Inyo County Environmental Health Services	04/02/2018	04/03/2018	06/14/2018
CA	UST KERN	Underground Storage Tank Sites & Tank Listing	Kern County Environment Health Services Depar	07/20/2018	07/25/2018	09/12/2018
CA	CUPA KINGS	CUPA Facility List	Kings County Department of Public Health	06/12/2018	06/15/2018	07/13/2018
CA	CUPA LAKE	CUPA Facility List	Lake County Environmental Health	08/08/2018	08/09/2018	08/22/2018
CA	CUPA LASSEN	CUPA Facility List	Lassen County Environmental Health	07/27/2018	08/06/2018	09/05/2018
CA	AOCONCERN	San Gabriel Valley Areas of Concern	EPA Region 9	03/30/2009	03/31/2009	10/23/2009
CA	HMS LOS ANGELES	HMS: Street Number List	Department of Public Works	07/02/2018	07/13/2018	09/10/2018
CA	LF LOS ANGELES	List of Solid Waste Facilities	La County Department of Public Works	07/16/2018	07/18/2018	08/24/2018
CA	LF LOS ANGELES CITY	City of Los Angeles Landfills	Engineering & Construction Division	01/01/2018	05/01/2018	05/14/2018
CA	SITE MIT LOS ANGELES	Site Mitigation List	Community Health Services	04/01/2018	04/17/2018	06/19/2018
CA	UST EL SEGUNDO	City of El Segundo Underground Storage Tank	City of El Segundo Fire Department	01/21/2017	04/19/2017	05/10/2017
CA	UST LONG BEACH	City of Long Beach Underground Storage Tank	City of Long Beach Fire Department	03/09/2017	03/10/2017	05/03/2017
CA	UST TORRANCE	City of Torrance Underground Storage Tank	City of Torrance Fire Department	01/04/2018	01/05/2018	01/18/2018
CA	CUPA MADERA	CUPA Facility List	Madera County Environmental Health	05/22/2018	05/24/2018	07/31/2018
CA	UST MARIN	Underground Storage Tank Sites	Public Works Department Waste Management	07/11/2018	07/17/2018	09/12/2018
CA	CUPA MERCED	CUPA Facility List	Merced County Environmental Health	05/30/2018	06/01/2018	07/13/2018
CA	CUPA MONO	CUPA Facility List	Mono County Health Department	05/22/2018	05/24/2018	07/13/2018
CA	CUPA MONTEREY	CUPA Facility Listing	Monterey County Health Department	07/30/2018	08/02/2018	09/05/2018
CA	LUST NAPA	Sites With Reported Contamination	Napa County Department of Environmental Manag	01/09/2017	01/11/2017	03/02/2017
CA	UST NAPA	Closed and Operating Underground Storage Tank Sites	Napa County Department of Environmental Manag	05/23/2018	05/31/2018	07/11/2018
CA	CUPA NEVADA	CUPA Facility List	Community Development Agency	07/31/2018	08/02/2018	09/05/2018
CA	IND_SITE ORANGE	List of Industrial Site Cleanups	Health Care Agency	07/13/2018	08/08/2018	09/10/2018
CA	LUST ORANGE	List of Underground Storage Tank Cleanups	Health Care Agency	07/13/2018	08/08/2018	09/10/2018
CA	UST ORANGE	List of Underground Storage Tank Facilities	Health Care Agency	07/13/2018	08/06/2018	09/12/2018
CA	MS PLACER	Master List of Facilities	Placer County Health and Human Services	05/31/2018	06/05/2018	07/18/2018
CA	CUPA PLUMAS	CUPA Facility List	Plumas County Environmental Health	07/19/2018	07/25/2018	09/05/2018
CA	LUST RIVERSIDE	Listing of Underground Tank Cleanup Sites	Department of Environmental Health	07/09/2018	07/13/2018	08/24/2018
CA	UST RIVERSIDE	Underground Storage Tank Tank List	Department of Environmental Health	07/09/2018	07/13/2018	09/12/2018
CA	CS SACRAMENTO	Toxic Site Clean-Up List	Sacramento County Environmental Management	05/07/2018	07/03/2018	08/13/2018
CA	ML SACRAMENTO	Master Hazardous Materials Facility List	Sacramento County Environmental Management	05/14/2018	07/03/2018	08/13/2018
CA	CUPA SAN BENITO	CUPA Facility List	San Benito County Environmental Health	08/07/2018	08/09/2018	09/05/2018
CA	PERMITS SAN BERNARDINO	Hazardous Material Permits	San Bernardino County Fire Department Hazardo	07/27/2018	07/31/2018	09/10/2018

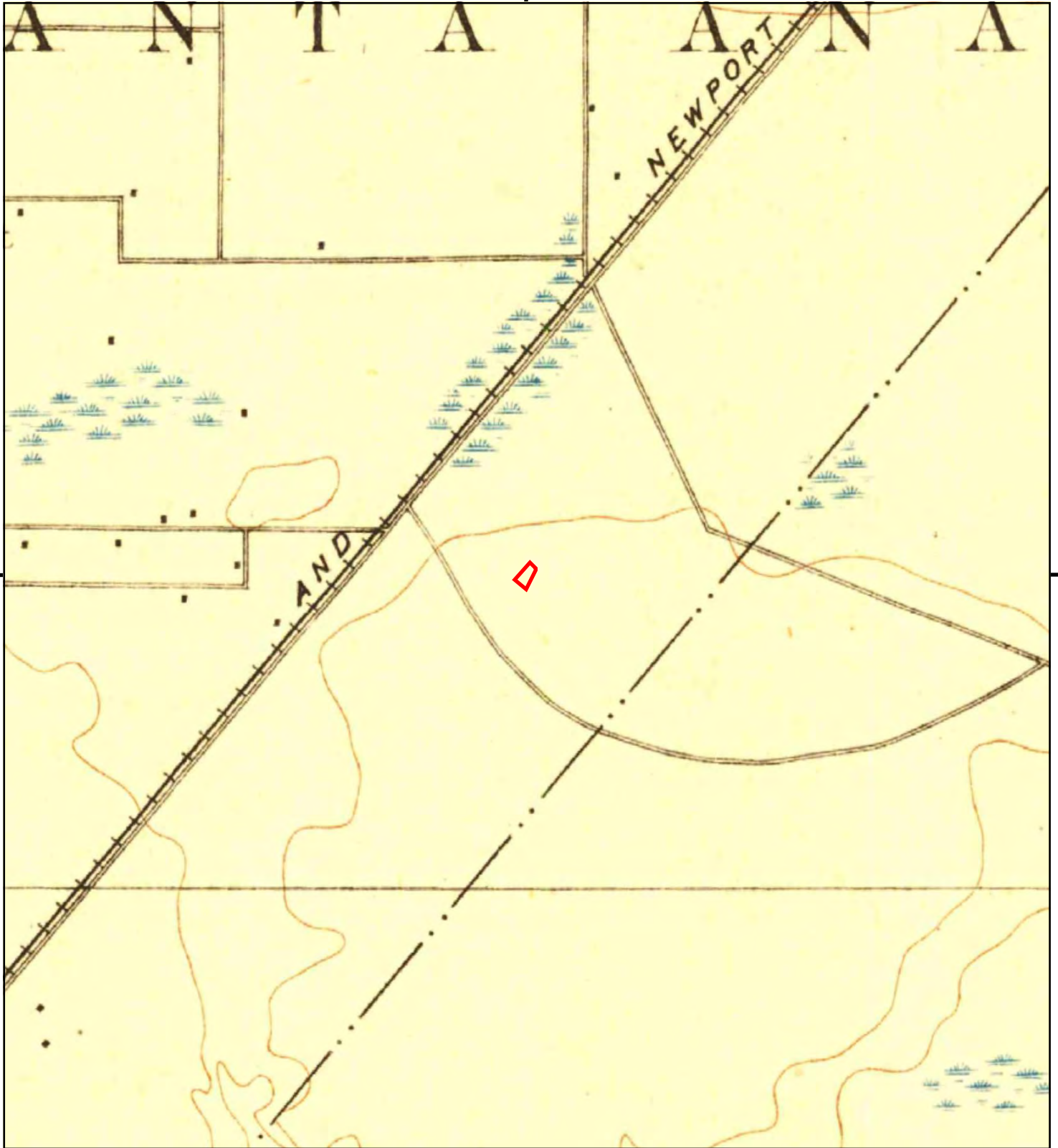


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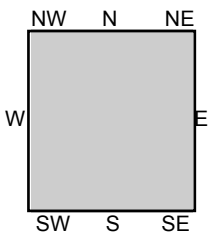
St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
CA	HMMD SAN DIEGO	Hazardous Materials Management Division Database	Hazardous Materials Management Division	06/04/2018	06/06/2018	07/17/2018
CA	LF SAN DIEGO	Solid Waste Facilities	Department of Health Services	04/18/2018	04/24/2018	06/19/2018
CA	SAN DIEGO CO LOP	Local Oversight Program Listing	Department of Environmental Health	07/17/2018	07/24/2018	08/24/2018
CA	SAN DIEGO CO. SAM	Environmental Case Listing	San Diego County Department of Environmental	03/23/2010	06/15/2010	07/09/2010
CA	LUST SAN FRANCISCO	Local Oversight Facilities	Department Of Public Health San Francisco Cou	09/19/2008	09/19/2008	09/29/2008
CA	UST SAN FRANCISCO	Underground Storage Tank Information	Department of Public Health	06/07/2018	06/12/2018	07/10/2018
CA	UST SAN JOAQUIN	San Joaquin Co. UST	Environmental Health Department	06/22/2018	06/26/2018	07/11/2018
CA	CUPA SAN LUIS OBISPO	CUPA Facility List	San Luis Obispo County Public Health Departme	08/20/2018	08/21/2018	09/07/2018
CA	BI SAN MATEO	Business Inventory	San Mateo County Environmental Health Service	06/12/2018	06/15/2018	08/06/2018
CA	LUST SAN MATEO	Fuel Leak List	San Mateo County Environmental Health Service	06/12/2018	06/15/2018	08/13/2018
CA	CUPA SANTA BARBARA	CUPA Facility Listing	Santa Barbara County Public Health Department	09/08/2011	09/09/2011	10/07/2011
CA	CUPA SANTA CLARA	Cupa Facility List	Department of Environmental Health	08/17/2018	08/22/2018	09/07/2018
CA	HIST LUST SANTA CLARA	HIST LUST - Fuel Leak Site Activity Report	Santa Clara Valley Water District	03/29/2005	03/30/2005	04/21/2005
CA	LUST SANTA CLARA	LOP Listing	Department of Environmental Health	03/03/2014	03/05/2014	03/18/2014
CA	SAN JOSE HAZMAT	Hazardous Material Facilities	City of San Jose Fire Department	08/01/2018	08/06/2018	09/11/2018
CA	CUPA SANTA CRUZ	CUPA Facility List	Santa Cruz County Environmental Health	01/21/2017	02/22/2017	05/23/2017
CA	CUPA SHASTA	CUPA Facility List	Shasta County Department of Resource Managem	06/15/2017	06/19/2017	08/09/2017
CA	LUST SOLANO	Leaking Underground Storage Tanks	Solano County Department of Environmental Man	06/04/2018	06/08/2018	07/18/2018
CA	UST SOLANO	Underground Storage Tanks	Solano County Department of Environmental Man	06/04/2018	06/12/2018	07/12/2018
CA	CUPA SONOMA	Cupa Facility List	County of Sonoma Fire & Emergency Services De	06/19/2018	06/26/2018	07/17/2018
CA	LUST SONOMA	Leaking Underground Storage Tank Sites	Department of Health Services	07/03/2018	07/10/2018	08/24/2018
CA	CUPA STANISLAUS	CUPA Facility List	Stanislaus County Department of Ennvironmenta	08/14/2018	08/16/2018	08/24/2018
CA	UST SUTTER	Underground Storage Tanks	Sutter County Department of Agriculture	06/04/2018	06/08/2018	07/11/2018
CA	CUPA TEHAMA	CUPA Facility List	Tehama County Department of Environmental Hea	07/17/2018	08/02/2018	09/07/2018
CA	CUPA TRINITY	CUPA Facility List	Department of Toxic Substances Control	07/17/2018	07/24/2018	09/07/2018
CA	CUPA TULARE	CUPA Facility List	Tulare County Environmental Health Services D	03/19/2018	03/22/2018	04/17/2018
CA	CUPA TUOLUMNE	CUPA Facility List	Divison of Environmental Health	04/23/2018	04/25/2018	06/25/2018
CA	BWT VENTURA	Business Plan, Hazardous Waste Producers, and Operating Unde	Ventura County Environmental Health Division	07/02/2018	07/26/2018	09/05/2018
CA	LF VENTURA	Inventory of Illegal Abandoned and Inactive Sites	Environmental Health Division	12/01/2011	12/01/2011	01/19/2012
CA	LUST VENTURA	Listing of Underground Tank Cleanup Sites	Environmental Health Division	05/29/2008	06/24/2008	07/31/2008
CA	MED WASTE VENTURA	Medical Waste Program List	Ventura County Resource Management Agency	07/02/2018	07/26/2018	08/24/2018
CA	UST VENTURA	Underground Tank Closed Sites List	Environmental Health Division	04/26/2018	06/13/2018	07/11/2018
CA	UST YOLO	Underground Storage Tank Comprehensive Facility Report	Yolo County Department of Health	06/20/2018	07/03/2018	07/12/2018
CA	CUPA YUBA	CUPA Facility List	Yuba County Environmental Health Department	05/10/2018	05/15/2018	06/15/2018

### STREET AND ADDRESS INFORMATION

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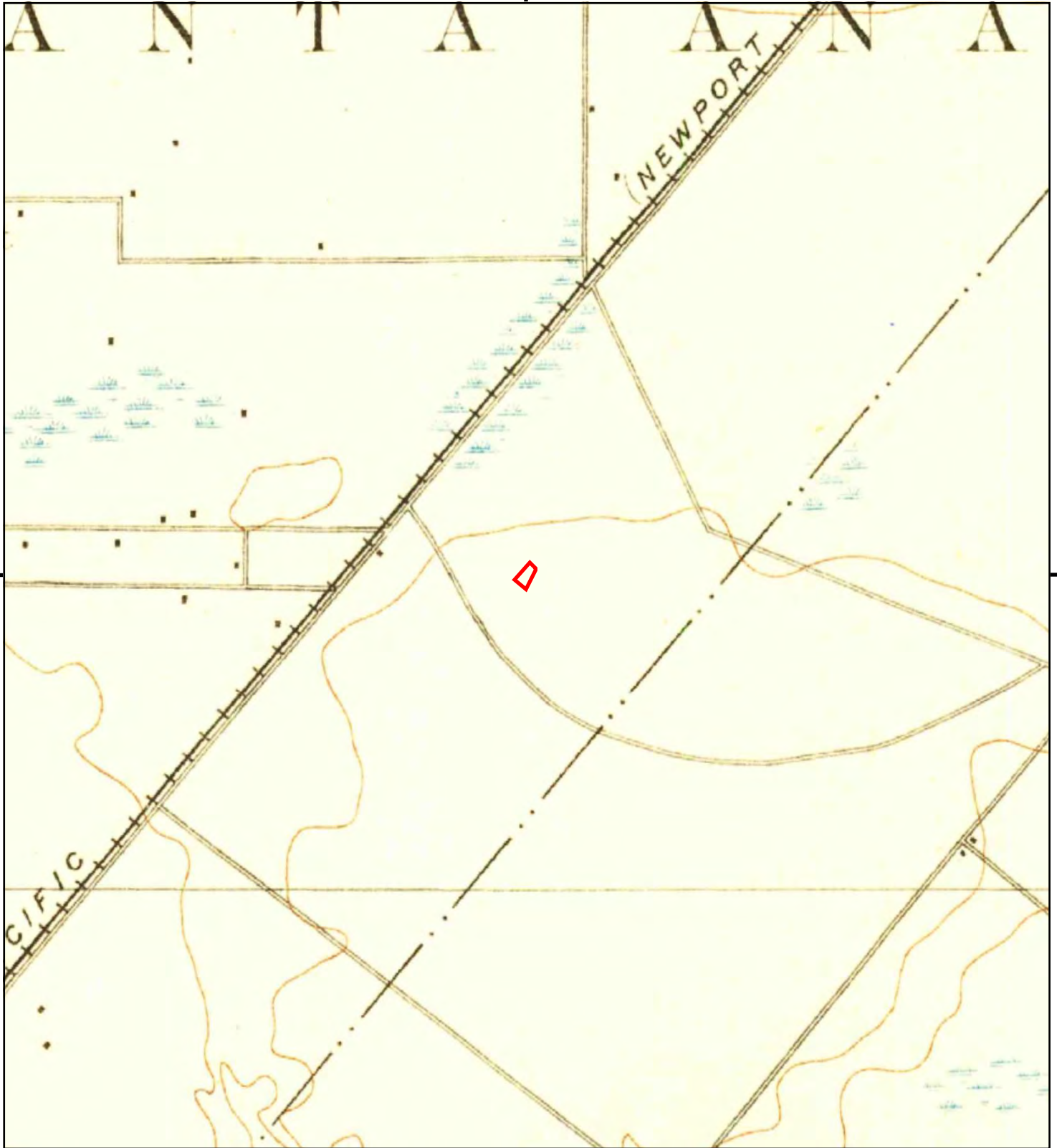
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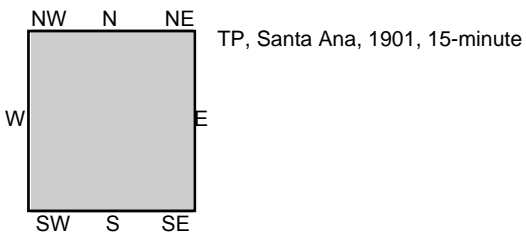
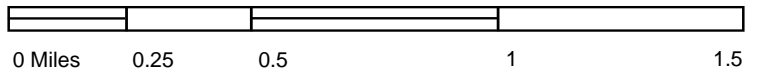
TP, Santa Ana, 1896, 15-minute

SITE NAME: 3175 Airway Avenue  
ADDRESS: 3175 Airway Avenue  
Costa Mesa, CA 92626  
CLIENT: AES Due Diligence, Inc



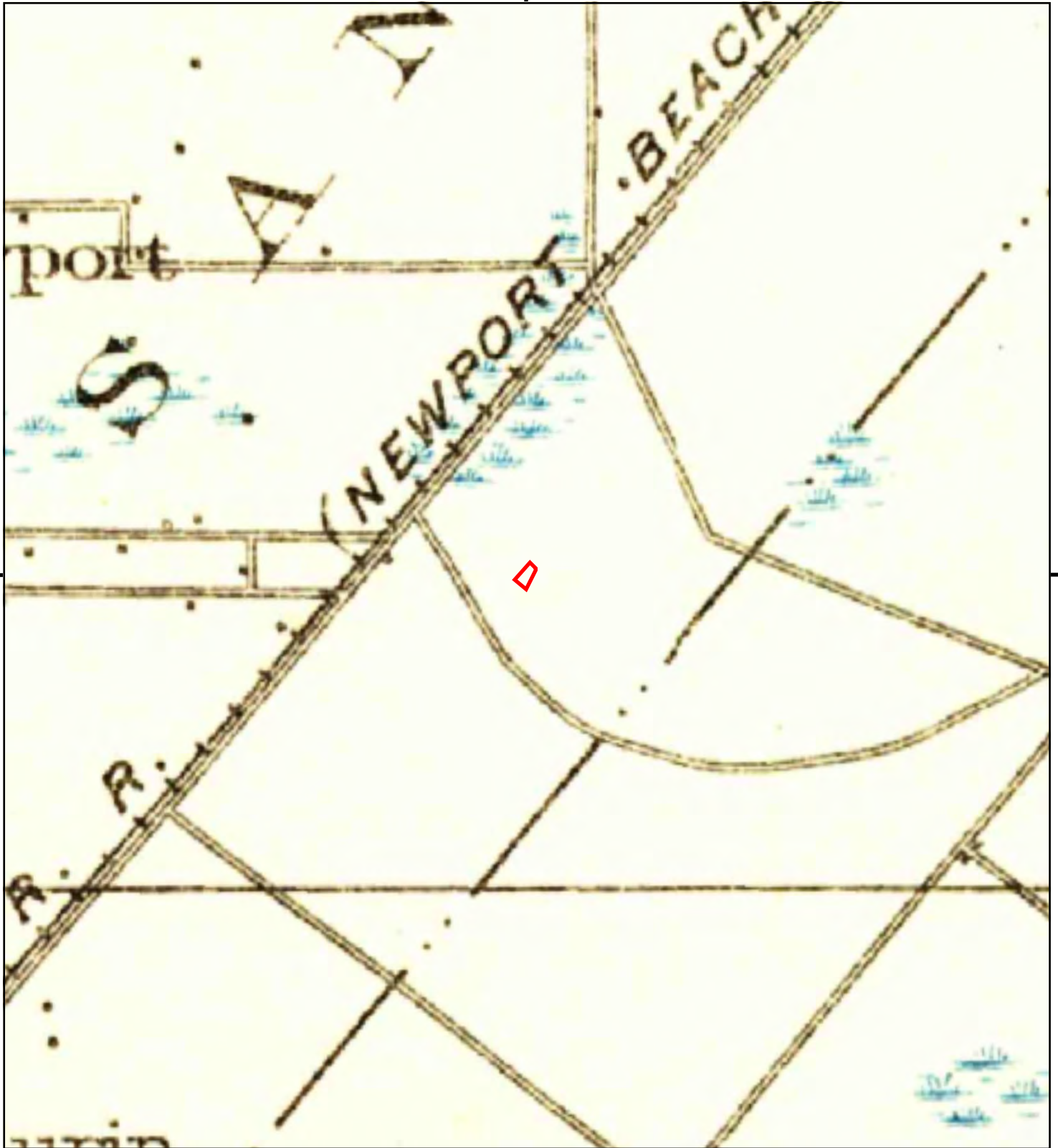


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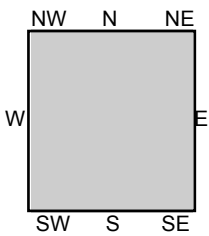
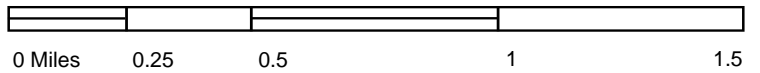


SITE NAME: 3175 Airway Avenue  
ADDRESS: 3175 Airway Avenue  
Costa Mesa, CA 92626  
CLIENT: AES Due Diligence, Inc





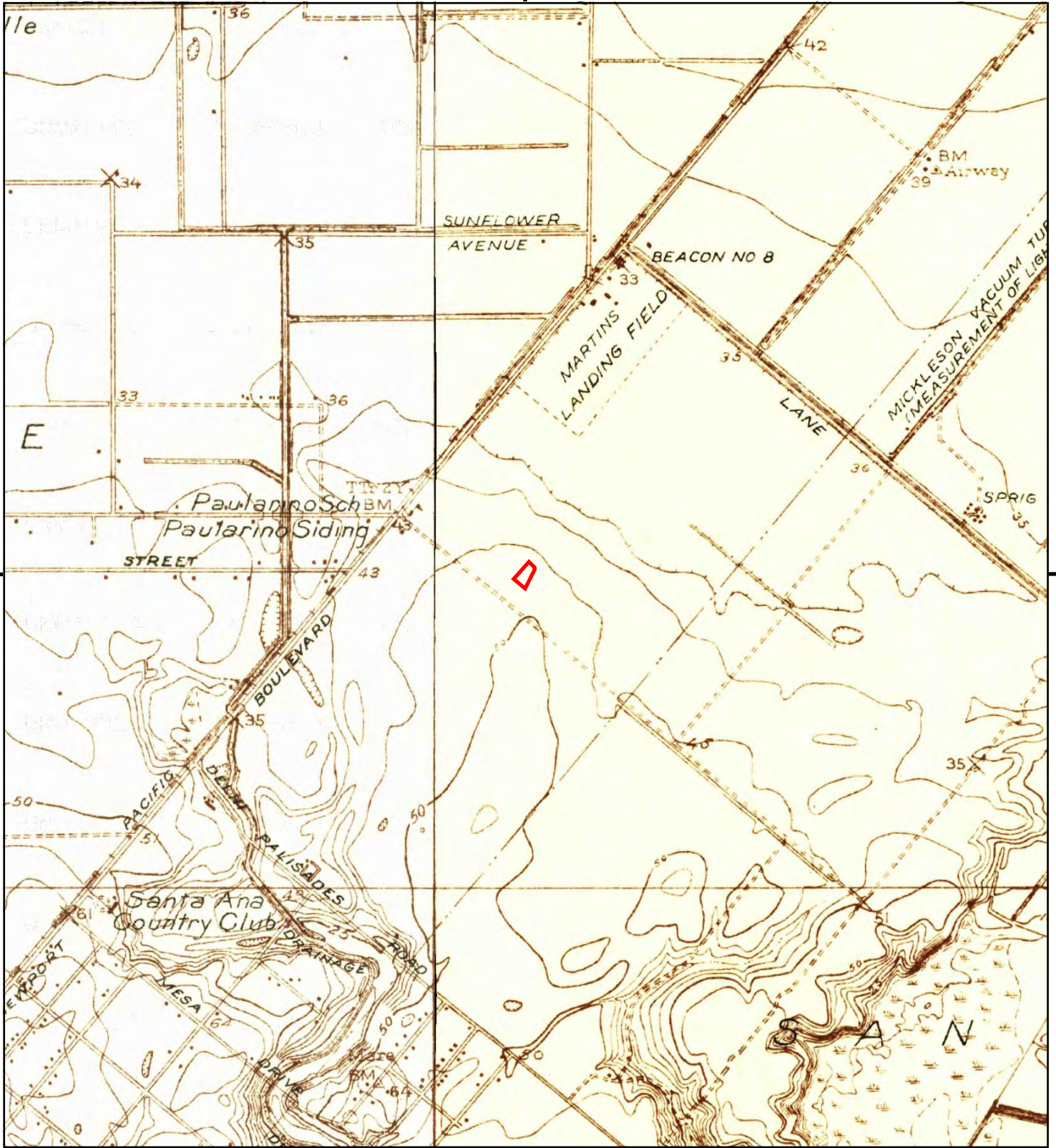
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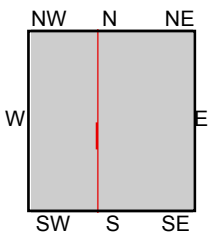
TP, Corona, 1902, 30-minute

SITE NAME: 3175 Airway Avenue  
ADDRESS: 3175 Airway Avenue  
Costa Mesa, CA 92626  
CLIENT: AES Due Diligence, Inc





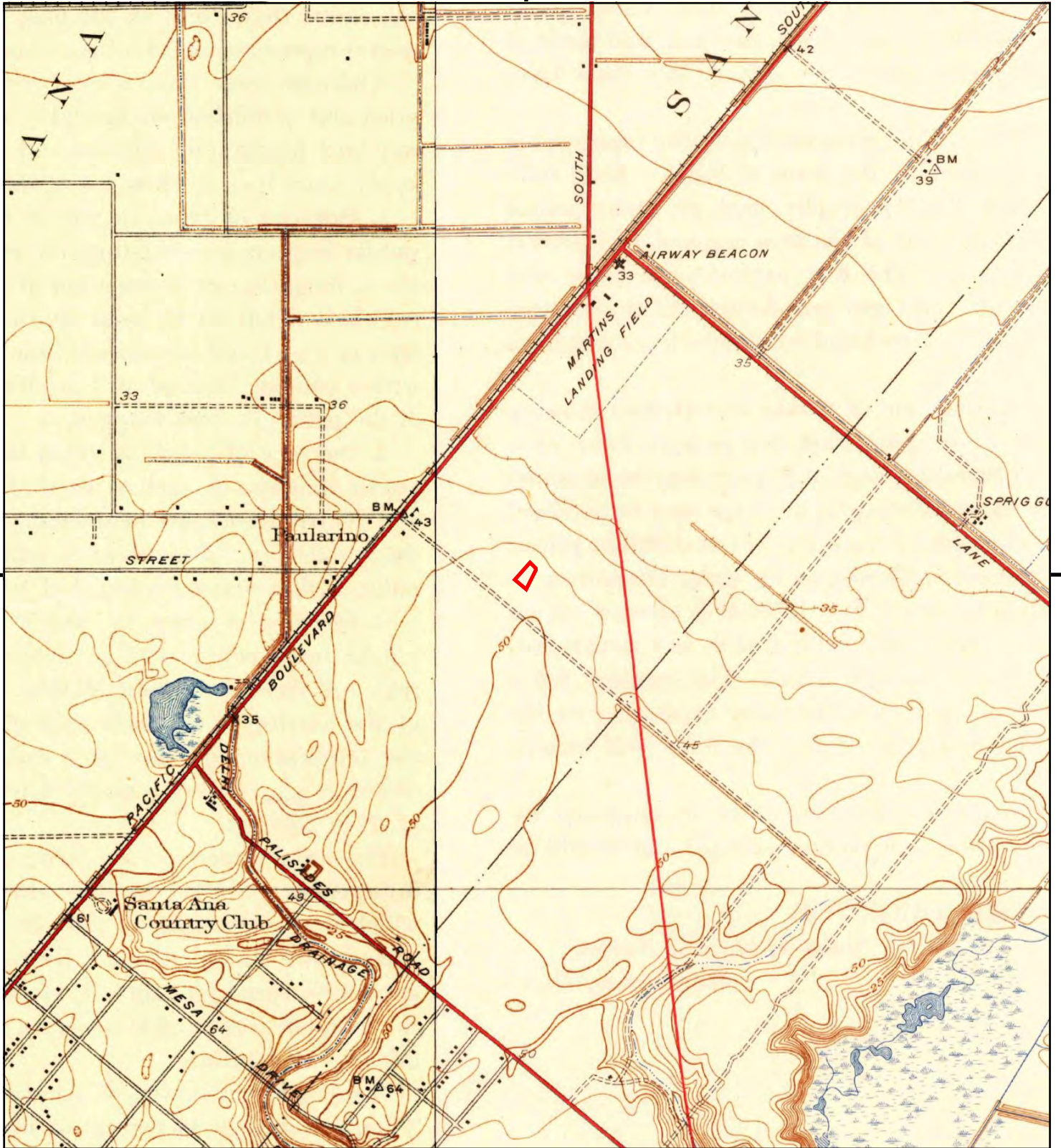
This report includes information from the following map sheet(s).



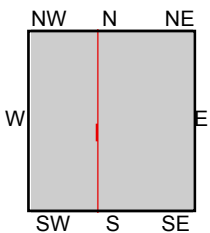
TP, Tustin, 1932, 7.5-minute  
W, Newport Beach, 1932, 7.5-minute

SITE NAME: 3175 Airway Avenue  
ADDRESS: 3175 Airway Avenue  
Costa Mesa, CA 92626  
CLIENT: AES Due Diligence, Inc





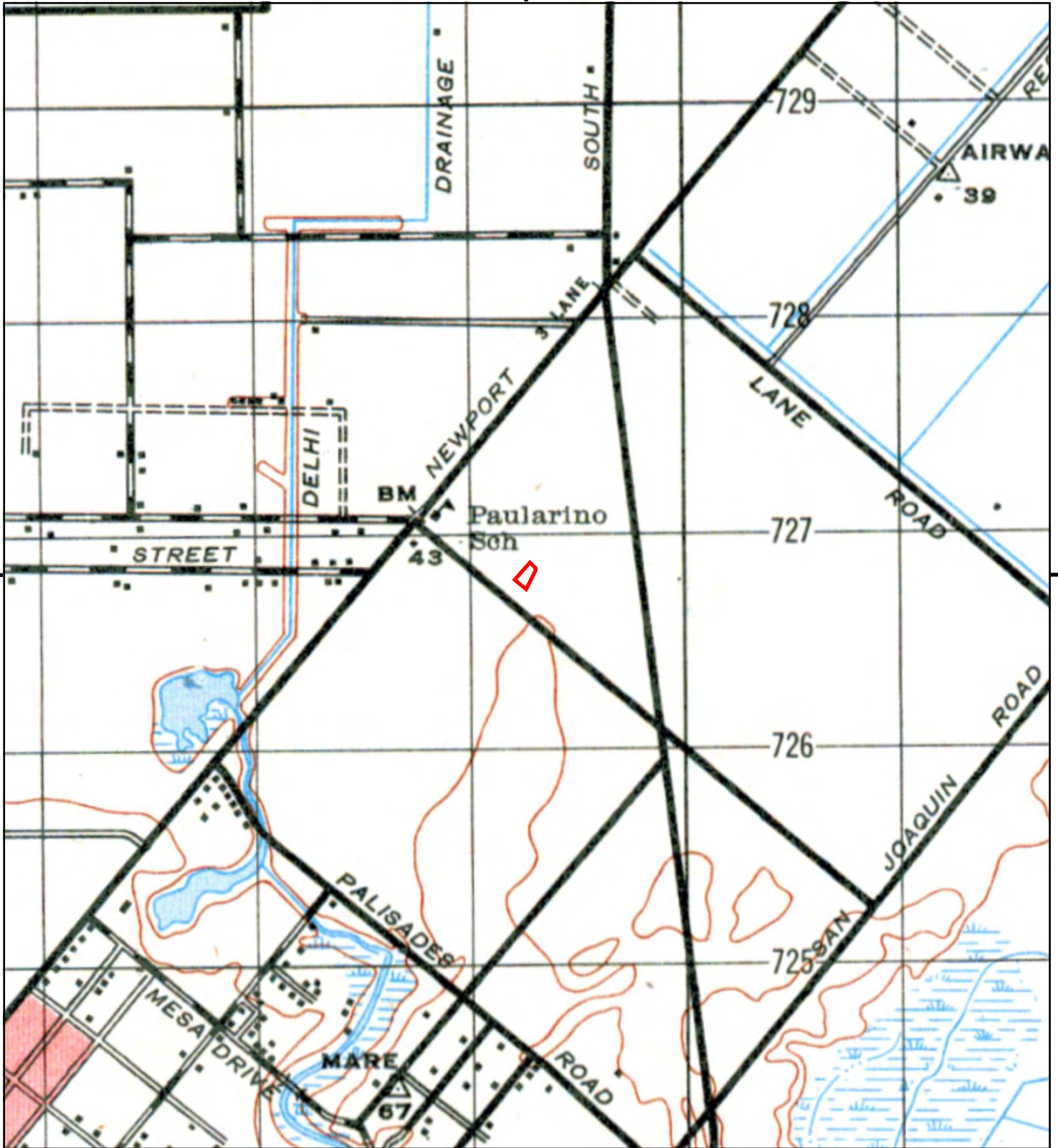
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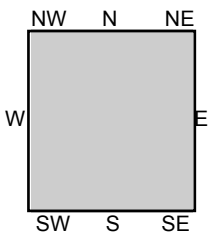
TP, Tustin, 1935, 7.5-minute  
W, Newport Beach, 1935, 7.5-minute

**SITE NAME:** 3175 Airway Avenue  
**ADDRESS:** 3175 Airway Avenue  
Costa Mesa, CA 92626  
**CLIENT:** AES Due Diligence, Inc





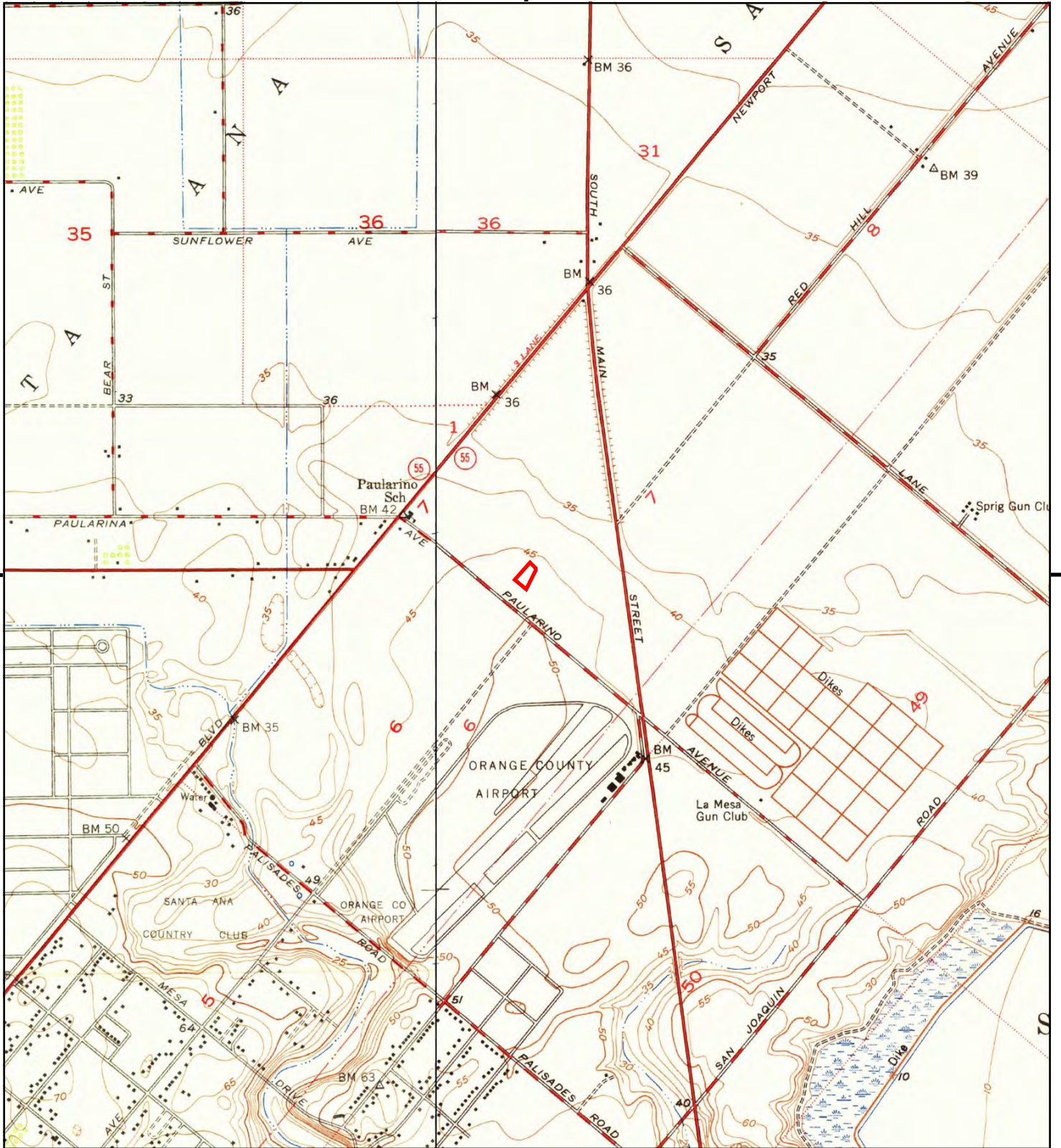
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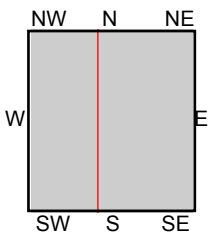
TP, SANTA ANA, 1942, 15-minute

SITE NAME: 3175 Airway Avenue  
 ADDRESS: 3175 Airway Avenue  
 Costa Mesa, CA 92626  
 CLIENT: AES Due Diligence, Inc





This report includes information from the following map sheet(s).

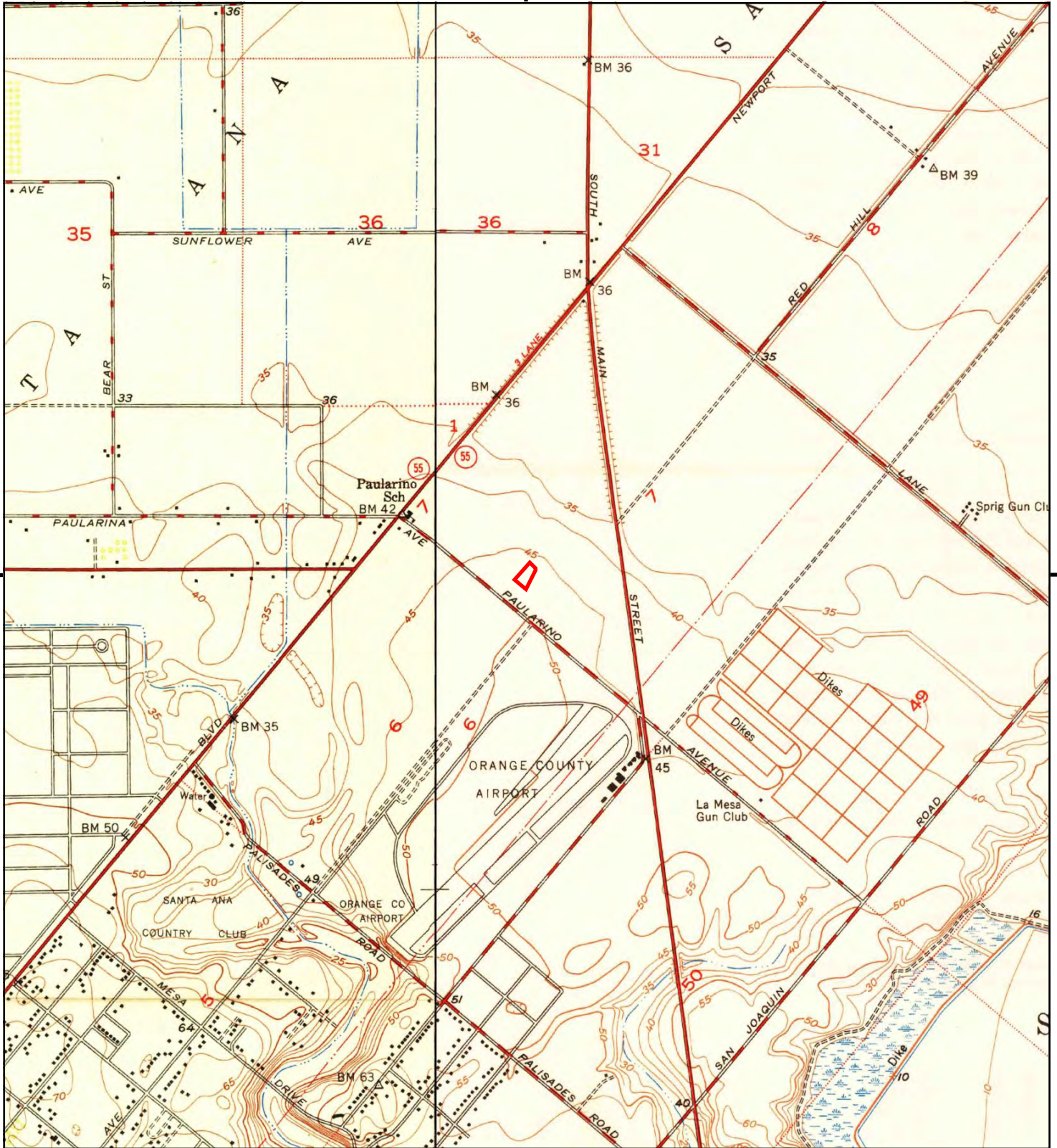


TP, Tustin, 1948, 7.5-minute  
 W, Newport Beach, 1949, 7.5-minute

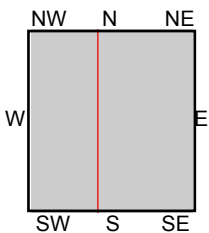
**SITE NAME:** 3175 Airway Avenue  
**ADDRESS:** 3175 Airway Avenue  
 Costa Mesa, CA 92626  
**CLIENT:** AES Due Diligence, Inc







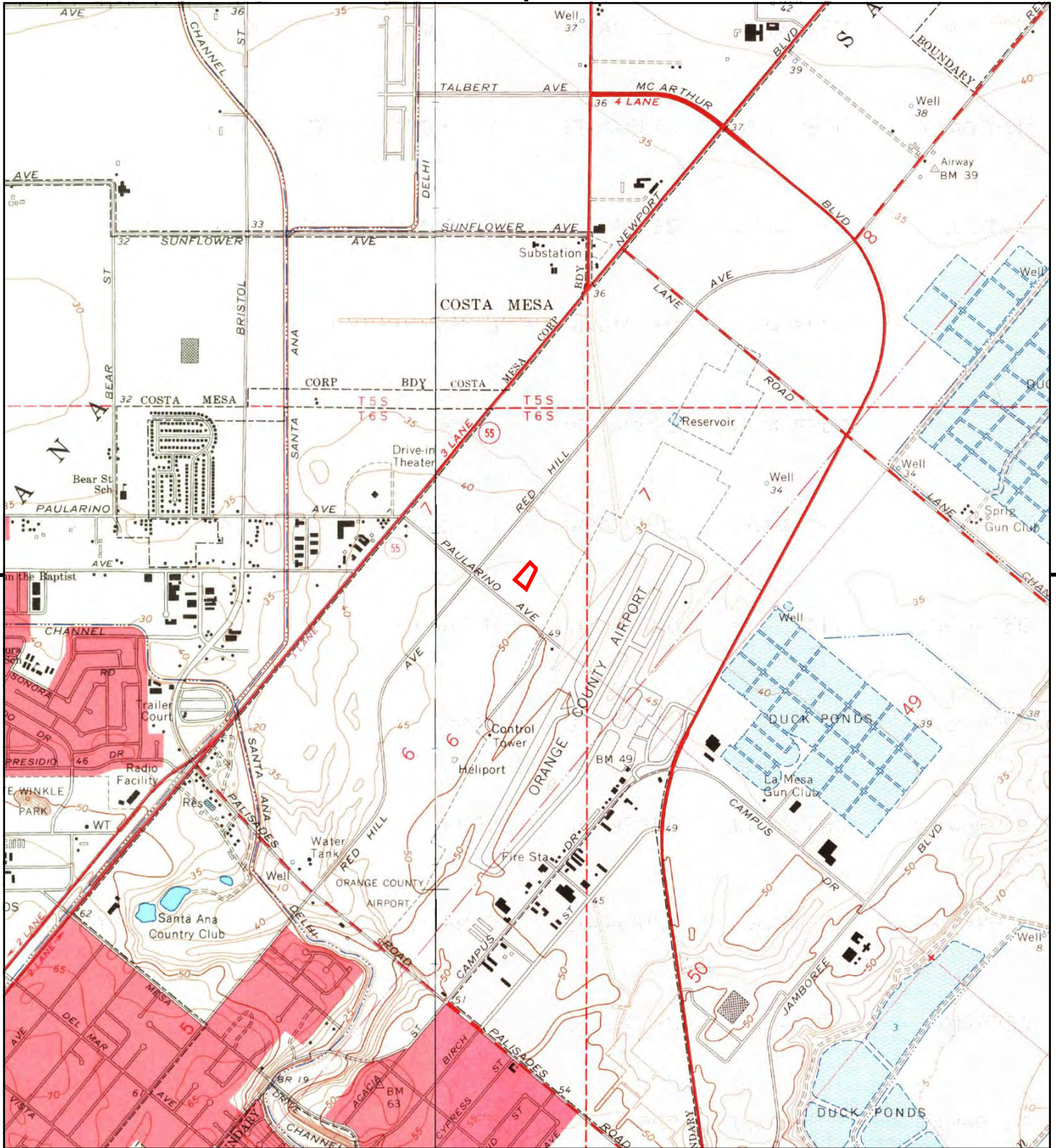
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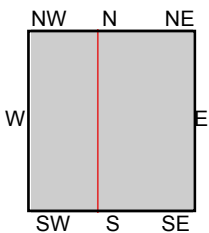
TP, Tustin, 1950, 7.5-minute  
W, Newport Beach, 1951, 7.5-minute

SITE NAME: 3175 Airway Avenue  
ADDRESS: 3175 Airway Avenue  
Costa Mesa, CA 92626  
CLIENT: AES Due Diligence, Inc





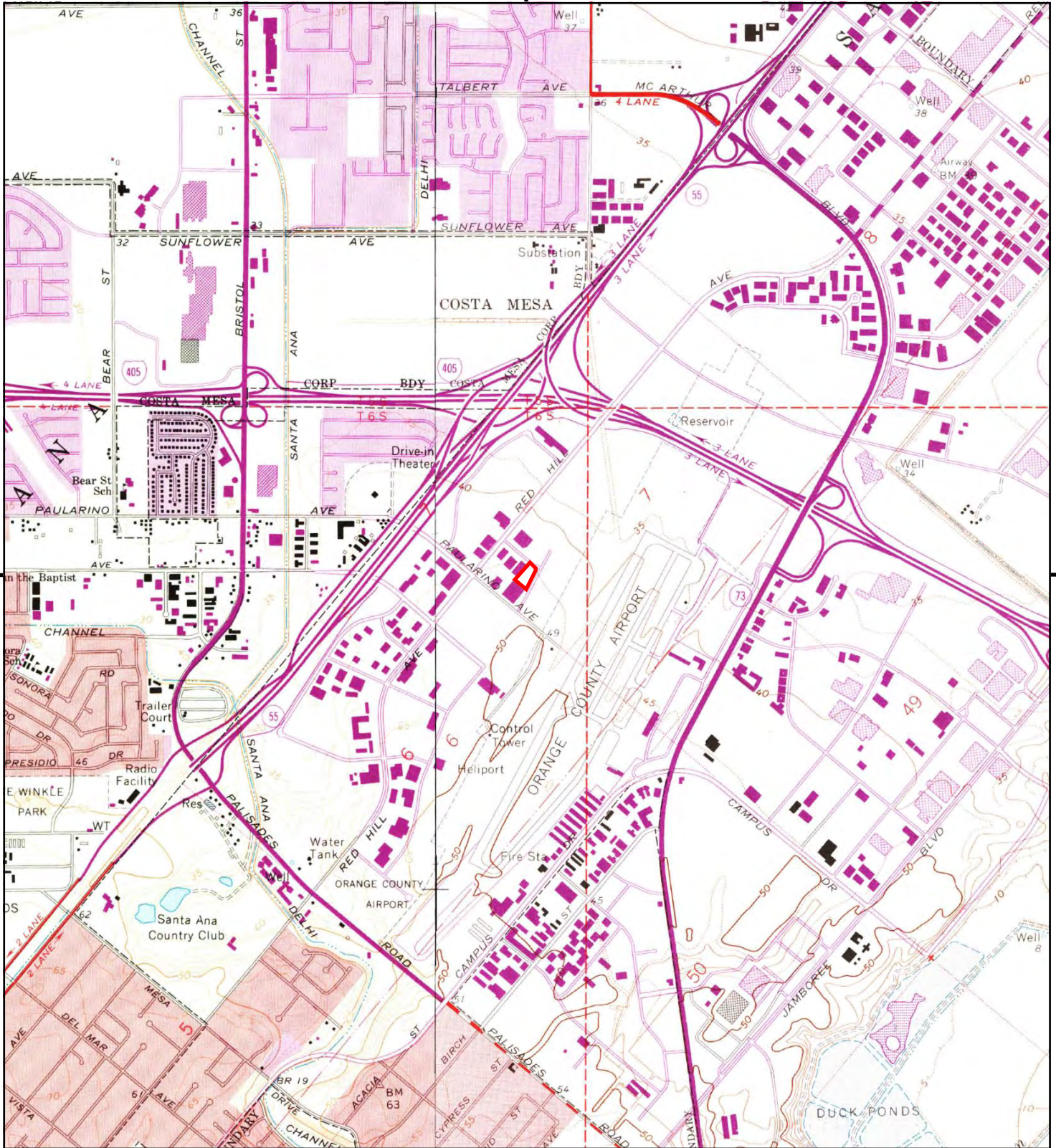
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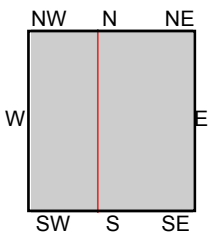
TP, Tustin, 1965, 7.5-minute  
W, Newport Beach, 1965, 7.5-minute

SITE NAME: 3175 Airway Avenue  
ADDRESS: 3175 Airway Avenue  
Costa Mesa, CA 92626  
CLIENT: AES Due Diligence, Inc





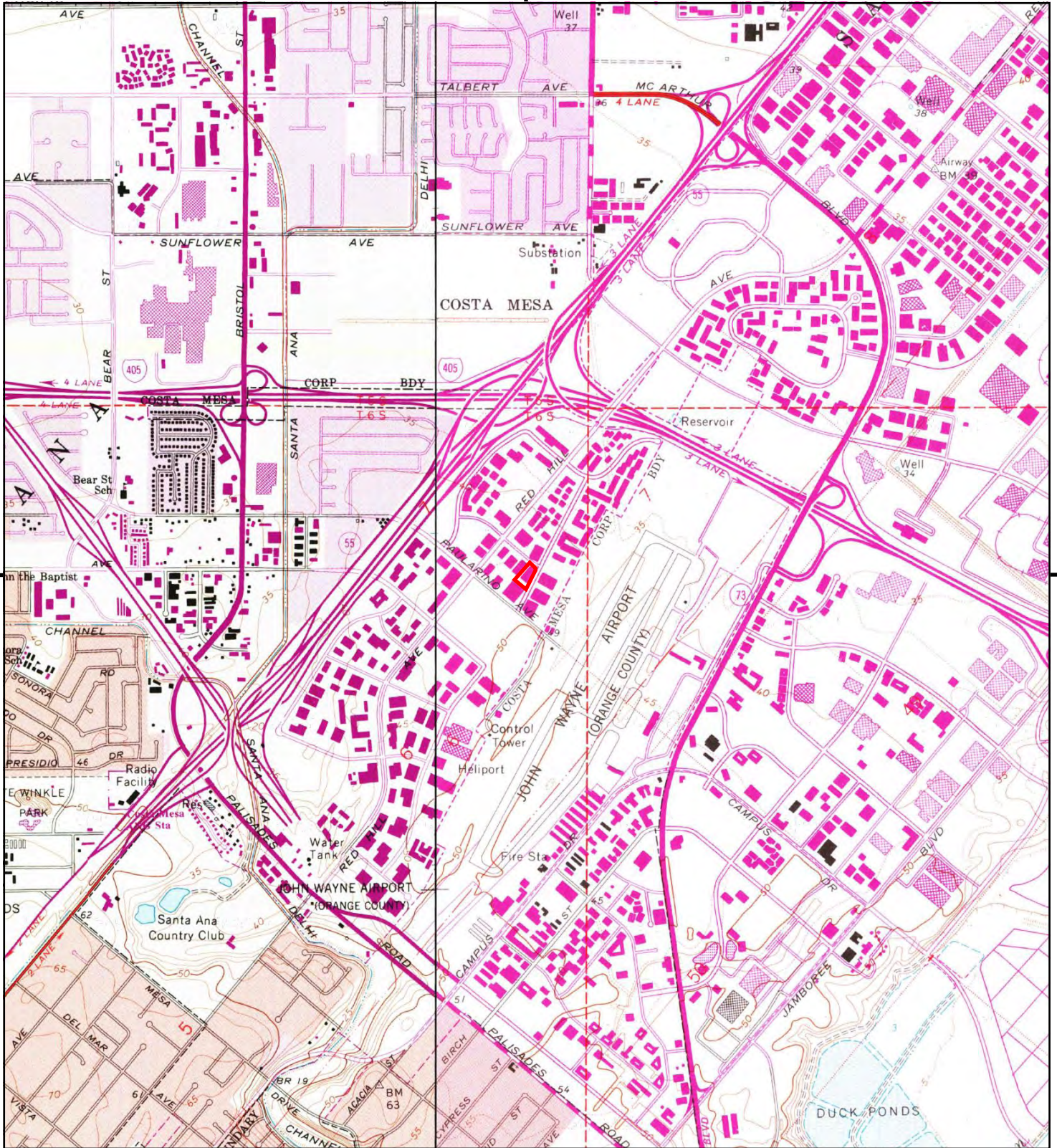
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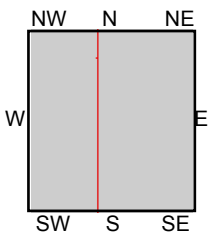
TP, Tustin, 1972, 7.5-minute  
 W, Newport Beach, 1972, 7.5-minute

**SITE NAME:** 3175 Airway Avenue  
**ADDRESS:** 3175 Airway Avenue  
 Costa Mesa, CA 92626  
**CLIENT:** AES Due Diligence, Inc





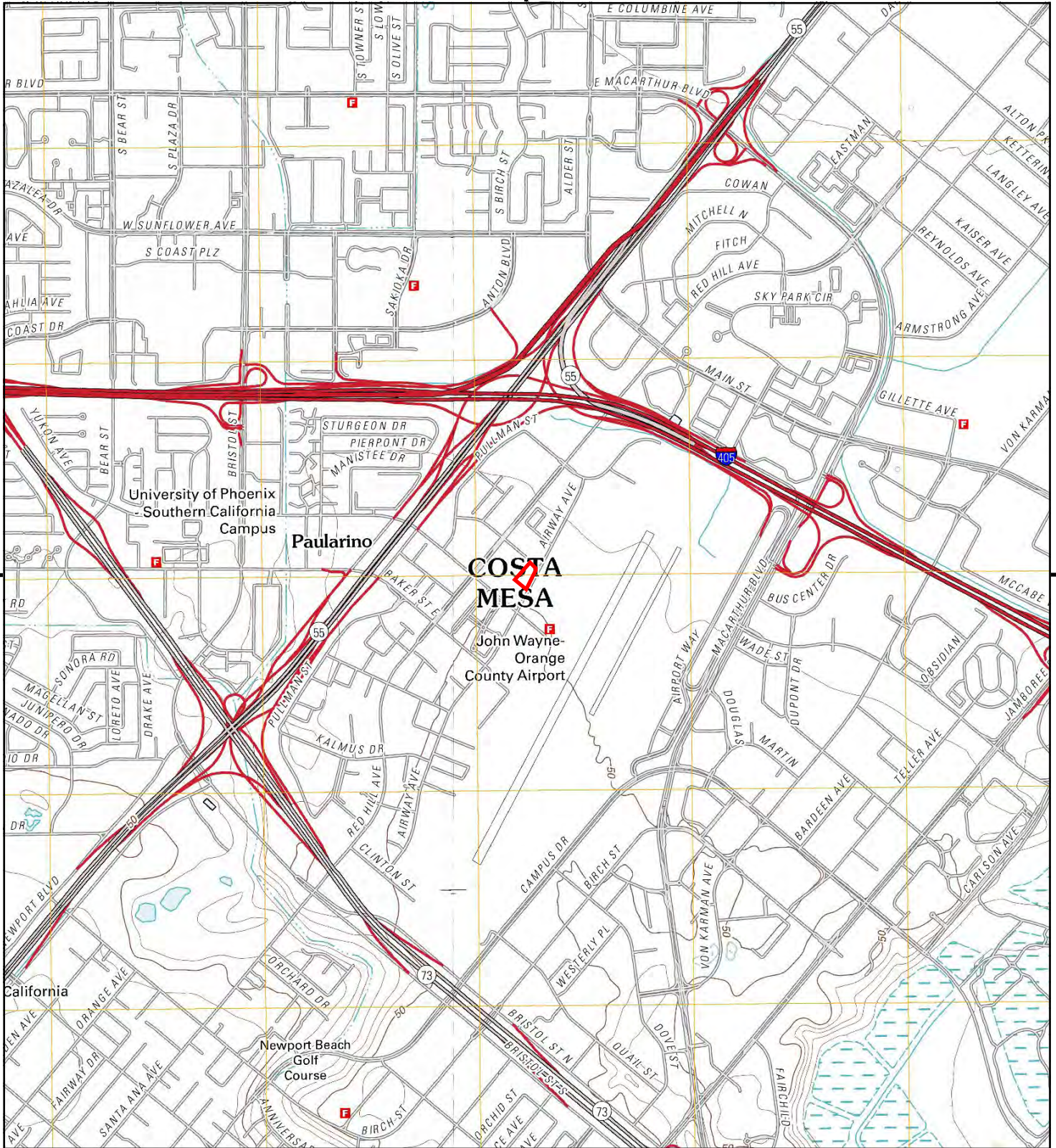
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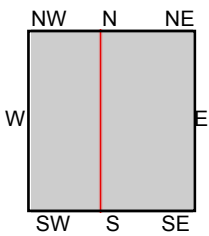
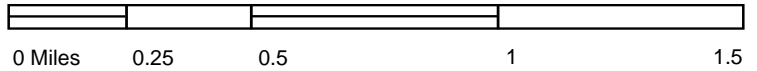
TP, Tustin, 1981, 7.5-minute  
 W, Newport Beach, 1981, 7.5-minute

**SITE NAME:** 3175 Airway Avenue  
**ADDRESS:** 3175 Airway Avenue  
 Costa Mesa, CA 92626  
**CLIENT:** AES Due Diligence, Inc





This report includes information from the following map sheet(s).



TP, Tustin, 2012, 7.5-minute  
 W, Newport Beach, 2012, 7.5-minute

SITE NAME: 3175 Airway Avenue  
 ADDRESS: 3175 Airway Avenue  
 Costa Mesa, CA 92626  
 CLIENT: AES Due Diligence, Inc





INQUIRY #: 5427551.8

YEAR: 1938

— = 500'





INQUIRY #: 5427551.8

YEAR: 1946

— = 500'





INQUIRY #: 5427551.8

YEAR: 1952

— = 500'







INQUIRY #: 5427551.8

YEAR: 1963

— = 500'





INQUIRY # 5427551.8

YEAR: 1972

— = 500'





INQUIRY #: 5427551.8

YEAR: 1977

— = 500'





INQUIRY #: 5427551.8

YEAR: 1985

— = 500'





INQUIRY #: 5427551.8

YEAR: 1989

— = 500'





INQUIRY #: 5427551.8

YEAR: 1990

— = 500'





INQUIRY #: 5427551.8

YEAR: 1994

— = 500'





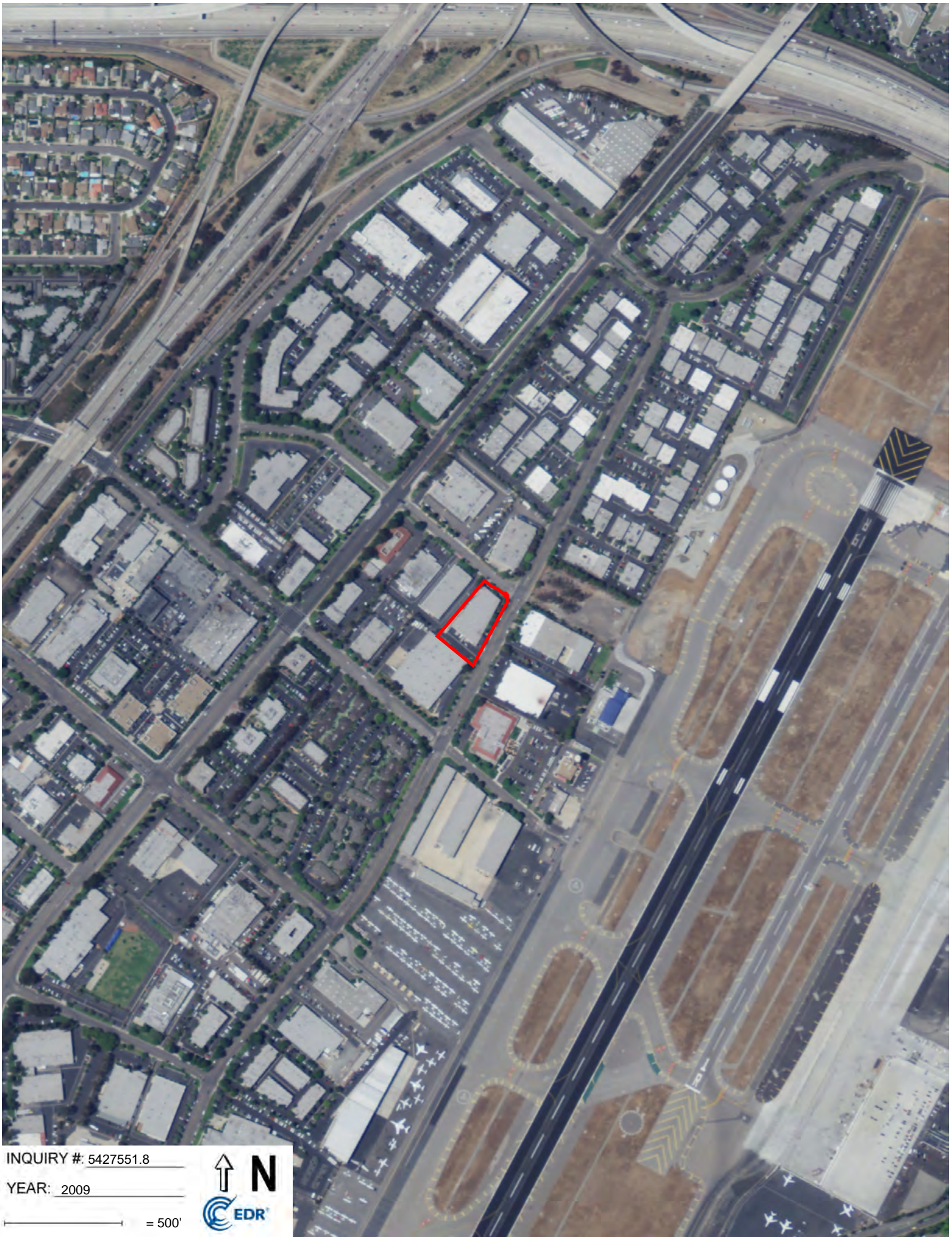
INQUIRY #: 5427551.8

YEAR: 2005

— = 500'







INQUIRY #: 5427551.8

YEAR: 2009

— = 500'



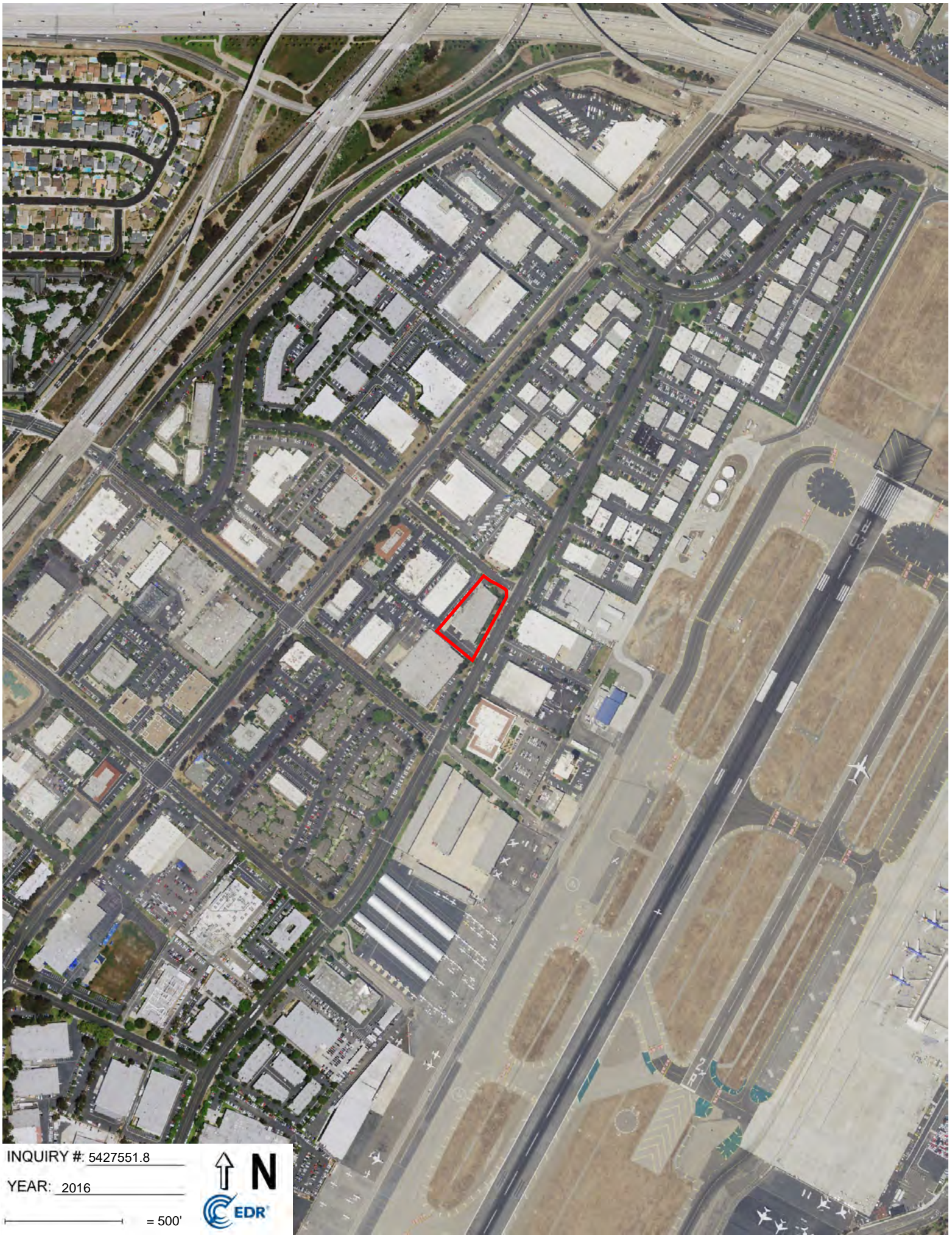


INQUIRY #: 5427551.8

YEAR: 2012

— = 500'





INQUIRY # 5427551.8

YEAR: 2016

— = 500'



# GEOTRACKER

3175 Airway Avenue, Costa Mesa, CA, USA

Map Address

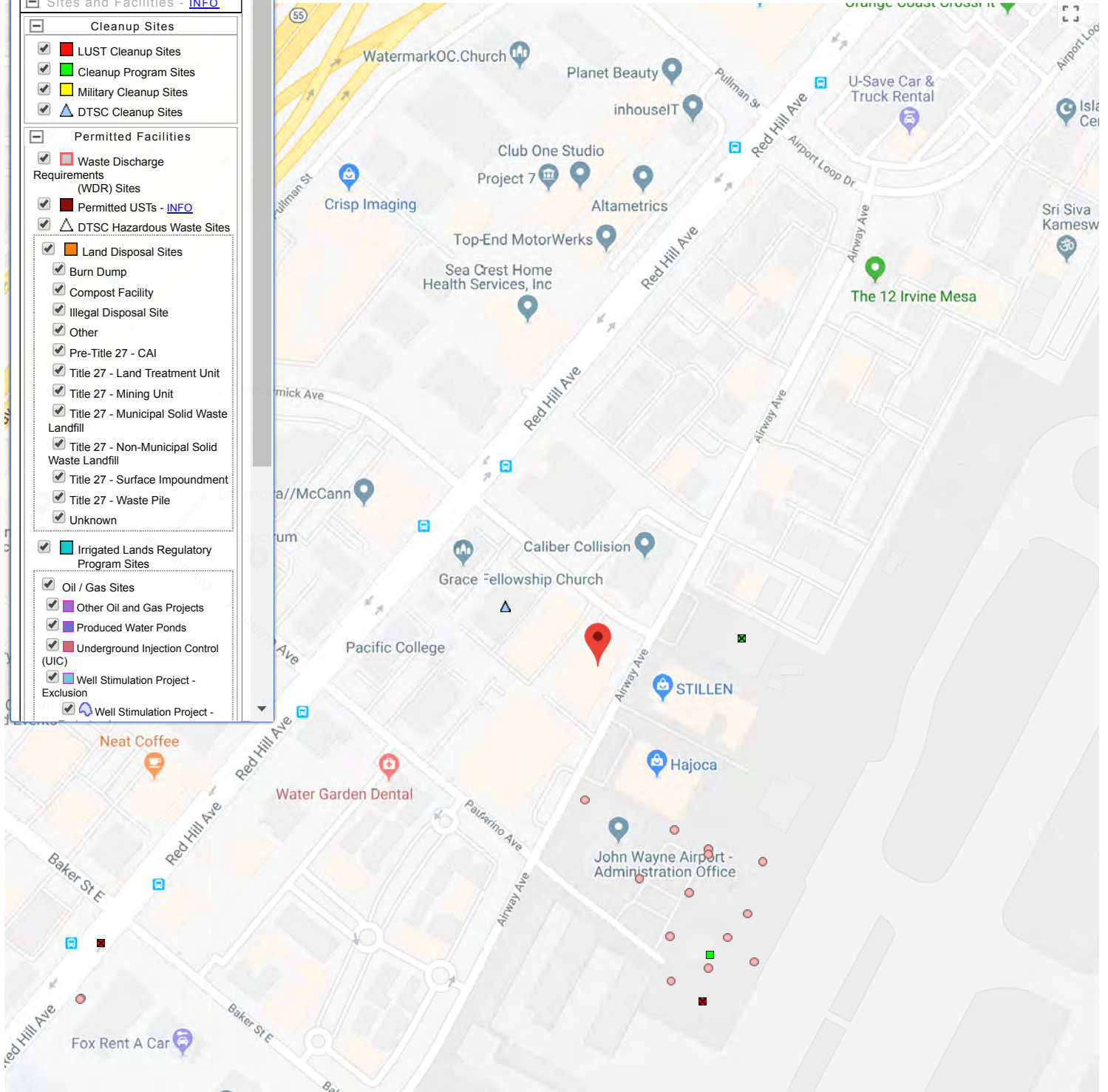
Sites and Facilities - [INFO](#)

## Cleanup Sites

- LUST Cleanup Sites
- Cleanup Program Sites
- Military Cleanup Sites
- ▲ DTSC Cleanup Sites

## Permitted Facilities

- Waste Discharge Requirements (WDR) Sites
- Permitted USTs - [INFO](#)
- ▲ DTSC Hazardous Waste Sites
- Land Disposal Sites
  - Burn Dump
  - Compost Facility
  - Illegal Disposal Site
  - Other
  - Pre-Title 27 - CAI
  - Title 27 - Land Treatment Unit
  - Title 27 - Mining Unit
  - Title 27 - Municipal Solid Waste Landfill
  - Title 27 - Non-Municipal Solid Waste Landfill
  - Title 27 - Surface Impoundment
  - Title 27 - Waste Pile
  - Unknown
- Irrigated Lands Regulatory Program Sites
- Oil / Gas Sites
- Other Oil and Gas Projects
- Produced Water Ponds
- Underground Injection Control (UIC)
- Well Stimulation Project - Exclusion
- Well Stimulation Project -





# **Professional Profile**

**Robert Presta**  
**LICENSED ARCHITECT**  
**PRESIDENT**

## ***EDUCATION***

Bachelor of Architecture  
Magna Cum Laude, University of Houston

Master of Business Administration  
Pepperdine University

## ***REGISTRATION***

Licensed Architect  
State of California

Licensed Contractor  
State of California

## ***CONTINUING EDUCATION***

Asbestos and Lead Control Hazard

Conduction Historical Research According  
ASTM Standards & AAI Standards

## ***PROFESSIONAL SUMMARY***

- Robert Presta brings over 25 years experience in architecture and real estate to AES Due Diligence.
- Former Regional Manager for a national architectural and engineering consulting firm.
- Due diligence physical surveys of existing properties to determine quality and condition of the structure, equipment, finishes and fixtures, identify items requiring repair or replacement, ADA compliance status; and estimate associated costs.
- Phase One Environmental Site Assessments following ASTM 1527-05 or client standards, including federal and state database searches, on-site observations and screening tests for hazardous materials.
- Review and analysis of construction documents, schedules and budgets for proposed projects.
- On-site monitoring of new construction, renovation and repair work for conformance to documents, quality of workmanship, acceptability of requisition requests and adequacy of remaining funds.
- Held rank of Captain in the U.S. Marine Corps, flew on board F-4B jet fighter aircraft as Radar Intercept Officer.



## **Professional Profile**

***TIMOTHY DAHLSTRAND, P.E., P.G.***

***Manager of Environmental and Engineering Services***

### ***Education***

M.S., Civil Engineering  
Northwestern University

B.S., Geology  
Northwestern University

### ***Registrations***

Professional Engineer – Illinois, Wisconsin,  
Michigan, Indiana, Ohio, Kentucky, Virginia

Professional Geologist – Illinois, Wisconsin

Certified Professional Geologist – National

### ***Professional Activities***

American Institute of Professional  
Geologists

### ***Professional Summary***

- In over twenty-five years of work experience, Mr. Dahlstrand has performed environmental assessments throughout the United States and internationally, supervised other professionals, managed local officers and national environmental consulting operations, conducted training classes for professionals and clients, and authored technical papers.
- Environmental Services Manager for a national consulting firm performing approximately 1,500 Phase I Environmental Site Assessments annually in the United States.
- Project Manager for the engineering design of a portion of a municipal solid waste landfill which included leachate collection system and ground water gradient control system design. Developed a comprehensive data management system to allow rapid access to all QA/QC data and facilitate development of report-quality tables.
- Project Manager for the investigation of PCB contaminated sites at utility-owned substations to determine the extent and severity of contamination. Developed specialized subsurface investigation protocols to assure sample integrity, developed remediation alternatives and costs.
- Project Manager for a RCRA Treatment, Storage and Disposal site in northeastern Illinois.
- Subsurface explorations at three (3) abandon manufactured gas plant sites, which contained hazardous waste.

# **Professional Profile**

**STEPHEN J. BAKER**  
**HYDROGEOLOGIST**

## **EDUCATION**

Bachelor of Art in Geology  
Ohio State University

## **REGISTRATION**

Registered Geologist  
States of California and Washington

Certified Hydrogeologist  
States of California and Washington

## **CONTINUING EDUCATION**

Recycled Water as Drinking Water: Exploring  
Direct Potable Reuse, April 2017.

Sustainable Groundwater Act and Impacts to the  
Central Valley of California, February 2017

California Groundwater Law, December 2015

Fractured Rock Conference: State of the  
Science and Measuring Success in  
Remediation, September 2004

DNAPLs in Fractured Geologic Media:  
Monitoring, Remediation & Natural Attenuation,  
December 1999, National Groundwater  
Association

## **Professional Summary**

- Founded HydroSolutions of California, Inc. in 1985 as a high tech environmental consulting company that focused on pollution liabilities impacting real estate.
- Developed HydroSolutions of California Baseline programs, copyrighted the Enhanced Pollution Awareness Survey utilized by corporate personnel.
- Contributed to developing the environmental policy for the Federal Home Loan Bank Board that included the tiered environmental phase I and II approach to establishing a base level of due diligence in the lending industry.
- Founding Advisory Board Member of the Cooperative Solution Program, Board of Director for the Institute of Environmental Solutions. Represented environmental consulting for the Program's pilot project assigned by California Governor Wilson during the early 1990s. Worked with four national laboratories, California Department of Toxic Substances, Regional Water Quality Control Board, the land development company and the lender. The property was located in Antioch, California.
- Mr. Baker managed approximately 400 projects of the firm. Potential responsible party investigations, groundwater monitoring programs, site characterization of petroleum, solvents and metals, vapor extraction and bioremediation of soils, well head protection programs, aquifer analysis were some projects performed by Mr. Baker.
- Mr. Baker also supported the company by presenting over three hundred presentations, workshops, classes and seminars for the banking, real estate, academia and land development industries.



# Professional Profile

**RICHARD DARWICKI**

**Vice President**

**LICENSED PROFESSIONAL MECHANICAL ENGINEER**

## **EDUCATION**

Santa Ana College  
Mechanical Engineering  
California State University at Fullerton

## **REGISTRATION**

Licensed Professional Mechanical Engineer  
State of California

## **CONTINUING EDUCATION**

Carrier Air Conditioning Design  
Trane Air Conditioning Design  
Trace/Trane Training Course  
Micropas and Calpas User Training  
Asbestos and Lead Hazard Control  
ASTM Environmental Site Assessments for  
Commercial Real Estate  
Maintaining Asphalt Pavements –  
University of Wisconsin, Madison  
Mold in Commercial Buildings –  
American Society of Civil Engineers

## **PROFESSIONAL AFFILIATIONS**

A.S.H.A.R.E. –  
National Society of Professional Engineers  
National Fire Protection Associations

## **Professional Summary**

- Richard Darwicki brings over 40 years experience in Engineering and Construction Consulting Services to AES Due Diligence, Inc. These service experience include military, mid- and high-rise structures, retail, industrial, single and multi-family residential, resort and hospitality, assisted living and congregate care, office and medical facilities.
- He has designed wastewater treatment systems, reverse water filtration systems, water chlorinating facilities, vapor recovery fuel islands, double containment fuel tank systems, and site utilities for commercial, industrial, retail, and residential projects.
- He has also participated in Department of Energy studies to establish new energy standards for building construction and to design and develop solar energy collection systems for NASA and Rockwell International.
- As Chief Engineer for several firms, his responsibilities included cost estimations, specification writing, contract administration, field construction monitoring and environmental assessments for public and private projects.
- Due Diligence physical surveys since 1988 of existing properties to determine quality and condition of the structure, equipment, finishes and fixtures Identifying items requiring repair or replacement, ADA Compliance status, and estimating associated costs.
- On-site monitoring of new construction, renovation and repair work.
- Phase I Environmental Site Assessments (ASTM 1527-05) including on-site observations.
- Previously a Registered Environmental Assessor, expired in 1996, with new registration pending.



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**F.2 - 3175 Airway—NHD report**

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# FANHD Residential Property Disclosure Reports

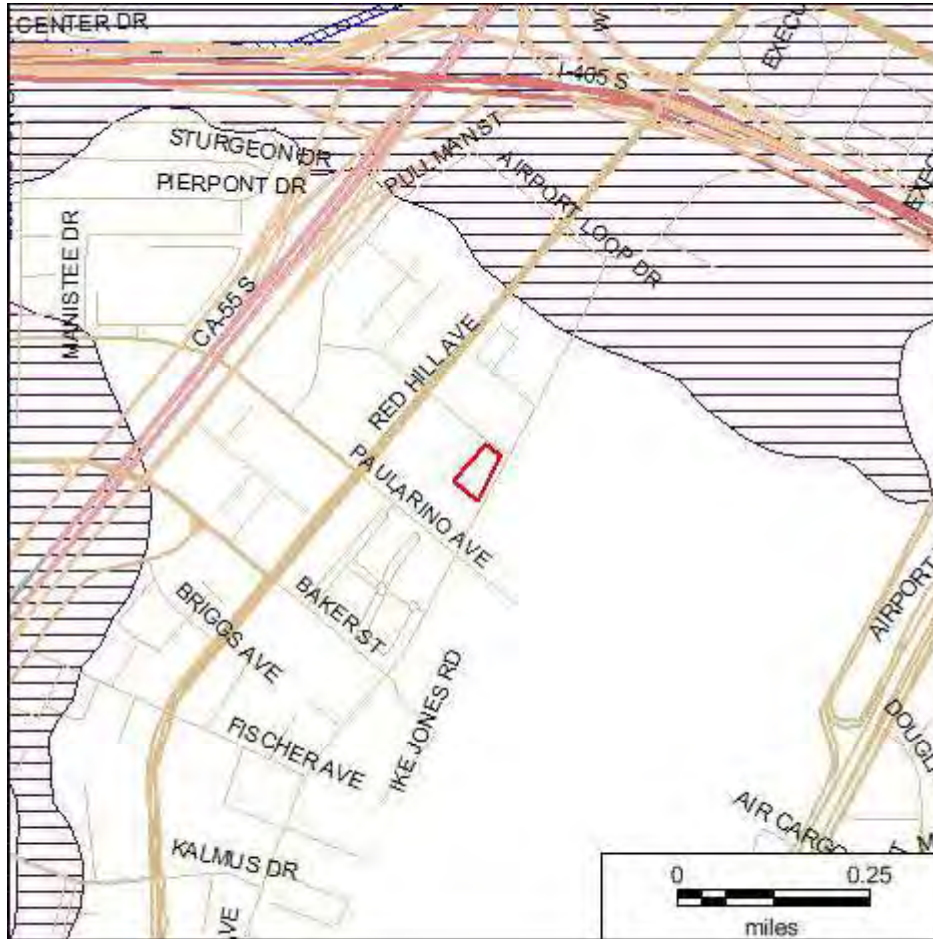
## Map of Statutory Natural Hazards

### For ORANGE County


**Property Address:** 3175 AIRWAY AVE  
 COSTA MESA, ORANGE COUNTY, CA 92626  
 ("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

## Map of Statutory Natural Hazard Zones



□ Subject Property

	Special Flood Hazard Area
	Area of Potential Flooding, Dam Failure
	Very High Fire Hazard Severity Zone
	Wildland Area, Substantial Forest Fire Risk
	Earthquake Fault Zone
	Seismic Hazard Zone, Landslide
	Seismic Hazard Zone, Liquefaction



**This map is provided for convenience only to show the approximate location of the Property and is not based on a field survey.**



# FANHD Residential Property Disclosure Reports

## Map of Environmental Hazard Sites For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

### Map of Environmental Hazard Sites



□ Subject Property

NOTE: The foregoing map may show more sites than are reported in the listing below. The map shows all sites found within the square coverage area. The listing below reports only those sites found within the standard radius search distance for the database listed, which covers a smaller area. Sites outside of that standard radius search distance are not listed below. The standard radius search distances for point sources are defined by the U.S. Environmental Protection Agency's "All Appropriate Inquiries" (AAI) guidelines. The AAI standard search distance differs between database categories, depending upon degree of potential hazard. Pipeline search distance (2,000 feet, red dashed circle on map) complies with U.S. bill H.R. 22 (Speier). See section called "Explanation of Databases Used" for the actual standard search distance used for each database category.

	(NPL) Federal National Priorities List or "Superfund" Sites		(SWIS) Solid Waste Landfill Facilities
	(RCRA COR) Corrective Action Sites		(SLIC) Spills, Leaks, Investig. & Cleanup
	(LUST) Leaking Underground Storage Tanks		California EnviroStor State Response Sites
	Oil or Gas Well		Gas Transmission Pipelines (Approximate)
	Hazardous Liquid Pipelines (Approximate)		



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

## Statutory Natural Hazard Disclosure ("NHD") Statement and Acknowledgment of Receipt

The seller and seller's agent(s) or a third-party consultant disclose the following information with the knowledge that even though this is not a warranty, prospective buyers may rely on this information in deciding whether and on what terms to purchase the Property. Seller hereby authorizes any agent(s) representing any principal(s) in this action to provide a copy of this statement to any person or entity in connection with any actual or anticipated sale of the Property.

The following are representations made by the seller and seller's agent(s) based on their knowledge and maps drawn by the state and federal governments. This information is a disclosure and is not intended to be part of any contract between the seller and buyer. **THIS REAL PROPERTY LIES WITHIN THE FOLLOWING HAZARDOUS AREA(S):**

**A SPECIAL FLOOD HAZARD AREA** (Any type Zone "A" or "V") designated by the Federal Emergency Management Agency

Yes \_\_\_ No  Do not know and information not available from local jurisdiction \_\_\_

**AN AREA OF POTENTIAL FLOODING** shown on a dam failure inundation map pursuant to Section 8589.5 of the Government Code.

Yes \_\_\_ No  Do not know and information not available from local jurisdiction \_\_\_

**A VERY HIGH FIRE HAZARD SEVERITY ZONE** pursuant to Section 51178 or 51179 of the Government Code. The owner of this Property is subject to the maintenance requirements of Section 51182 of the Government Code.

Yes \_\_\_ No

**A WILDLAND AREA THAT MAY CONTAIN SUBSTANTIAL FOREST FIRE RISKS AND HAZARDS** pursuant to Section 4125 of the Public Resources Code. The owner of this Property is subject to the maintenance requirements of Section 4291 of the Public Resources Code. Additionally, it is not the state's responsibility to provide fire protection services to any building or structure located within the wildlands unless the Department of Forestry and Fire Protection has entered into a cooperative agreement with a local agency for those purposes pursuant to Section 4142 of the Public Resources Code.

Yes \_\_\_ No

**AN EARTHQUAKE FAULT ZONE** pursuant to Section 2622 of the Public Resources Code.

Yes \_\_\_ No

**A SEISMIC HAZARD ZONE** pursuant to Section 2696 of the Public Resources Code.

Yes (Landslide Zone) \_\_\_ Yes (Liquefaction Zone) \_\_\_

No  Map not yet released by state \_\_\_

THESE HAZARDS MAY LIMIT YOUR ABILITY TO DEVELOP THE REAL PROPERTY, TO OBTAIN INSURANCE, OR TO RECEIVE ASSISTANCE AFTER A DISASTER. THE MAPS ON WHICH THESE DISCLOSURES ARE BASED ESTIMATE WHERE NATURAL HAZARDS EXIST. THEY ARE NOT DEFINITIVE INDICATORS OF WHETHER OR NOT A PROPERTY WILL BE AFFECTED BY A NATURAL DISASTER. SELLER(S) AND BUYER(S) MAY WISH TO OBTAIN PROFESSIONAL ADVICE REGARDING THOSE HAZARDS AND OTHER HAZARDS THAT MAY AFFECT THE PROPERTY.

Signature of Seller(s) \_\_\_\_\_ Date \_\_\_\_\_ Signature of Seller(s) \_\_\_\_\_ Date \_\_\_\_\_

Signature of Seller's Agent \_\_\_\_\_ Date \_\_\_\_\_ Signature of Seller's Agent \_\_\_\_\_ Date \_\_\_\_\_

Seller(s) and their agent(s) represent that the information herein is true and correct to the best of their knowledge as of the date signed by the transferor(s) and agent(s).

Seller(s) and their agent(s) acknowledge that they have exercised good faith in the selection of a third-party report provider as required in Section 1103.7 of the Civil Code, and that the representations made in this Natural Hazard Disclosure Statement are based upon information provided by the independent third-party disclosure provider as a substituted disclosure pursuant to Section 1103.4 of the Civil Code. Neither seller(s) nor their agent(s) (1) has independently verified the information contained in this statement and Report or (2) is personally aware of any errors or inaccuracies in the information contained on the statement. This statement was prepared by the provider below:

Third-Party Disclosure Provider(s) FIRST AMERICAN PROFESSIONAL REAL ESTATE SERVICES, INC. OPERATING THROUGH ITS FANHD DIVISION.  
Date 26 February 2019

Buyer represents that he or she has read and understands this document. Pursuant to Civil Code Section 1103.8, the representations made in this Natural Hazard Disclosure Statement do not constitute all of the seller(s) or agent's disclosure obligations in this transaction.

Signature of Buyer(s) \_\_\_\_\_ Date \_\_\_\_\_ Signature of Buyer(s) \_\_\_\_\_ Date \_\_\_\_\_

**BUYER(S) REPRESENTS ABOVE HE/SHE HAS RECEIVED, READ AND UNDERSTANDS THE COMPLETE FANHD DISCLOSURE REPORT DELIVERED WITH THIS SUMMARY:**

- A. Additional Property-specific Statutory Disclosures: Former Military Ordnance Site, Commercial/Industrial Use Zone, Airport Influence Area, Airport Noise, San Francisco Bay Conservation and Development District Jurisdiction (in S.F. Bay counties only), California Energy Commission Duct Sealing Requirement, Notice of Statewide Right to Farm, Notice of Mining Operations, Sex Offender Database (Megan's Law), Gas and Hazardous Liquid Transmission Pipeline Database.
- B. Additional County and City Regulatory Determinations as applicable: Airports, Avalanche, Blow Sand, Coastal Zone, Dam/Levee Failure Inundation, Debris Flow, Erosion, Flood, Fault Zone, Fire, Groundwater, Landslide, Liquefaction, Methane Gas, Mines, Naturally Occurring Asbestos, Redevelopment Area, Right to Farm, Runoff Area, Seiche, Seismic Shaking, Seismic Ground Failure, Slope Stability, Soil Stability, Subsidence, TRPA, Tsunami.
- C. General advisories: Methamphetamine Contamination, Mold, Radon, Endangered Species Act, Abandoned Mines, Oil & Gas Wells, Tsunami Maps (coastal only).
- D. Additional Reports - Enclosed if ordered: (1) PROPERTY TAX REPORT (includes state-required Notices of Mello-Roos and 1915 Bond Act Assessments, and Notice of Supplemental Property Tax Bill, (2) ENVIRONMENTAL SCREENING REPORT (discloses Transmission Pipelines, Contaminated Sites, and Oil & Gas Wells). Enclosed if applicable: Local Addenda.
- E. Government Guides in Combined Booklet with Report. Refer to Booklet: (1) ENVIRONMENTAL HAZARDS: "A Guide for Homeowners, Buyers, Landlords and Tenants"; (2) EARTHQUAKE SAFETY: "The Homeowners Guide To Earthquake Safety" and included "RESIDENTIAL EARTHQUAKE HAZARDS REPORT FORM"; (3) LEAD-BASED PAINT: "Protect Your Family From Lead In Your Home"; (4) BRIEF GUIDE TO MOLD, MOISTURE AND YOUR HOME; (5) WHAT IS YOUR HOME ENERGY RATING? Government Guides are also available on the Company's "Electronic Bookshelf" at <http://www.fanhd.com/>.



# FANHD Residential Property Disclosure Reports

## Contents For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

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# FANHD Residential Property Disclosure Reports

## Summary of Disclosure Determinations

### For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
 COSTA MESA, ORANGE COUNTY, CA 92626  
 ("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

### PROPERTY DISCLOSURE SUMMARY - READ FULL REPORT

Statutory NHD Determinations	IN	NOT IN	Map N/A*	Property is:	NHD Report page:
Flood		<b>X</b>		NOT IN a Special Flood Hazard Area. The Property is IN a FEMA-designated Flood Zone(s) X.	<a href="#">7</a>
Dam		<b>X</b>		NOT IN an area of potential dam inundation.	<a href="#">7</a>
Very High Fire Hazard Severity		<b>X</b>		NOT IN a very high fire hazard severity zone.	<a href="#">8</a>
Wildland Fire Area		<b>X</b>		Not in a wildland-state responsibility area.	<a href="#">8</a>
Fault		<b>X</b>		NOT IN an earthquake fault zone designated pursuant to the Alquist-Priolo Act.	<a href="#">9</a>
Landslide		<b>X</b>		NOT IN an area of earthquake-induced land sliding designated pursuant to the Seismic Hazard Mapping Act.	<a href="#">9</a>
Liquefaction		<b>X</b>		NOT IN an area of potential liquefaction designated pursuant to the Seismic Hazard Mapping Act.	<a href="#">9</a>

County-level NHD Determinations	IN	NOT IN	Map N/A*	Property is:	NHD Report page:
Tsunami		<b>X</b>		NOT IN a mapped tsunami runup area	<a href="#">11</a>
Ground Shaking	<b>X</b>			IN Seismic Shaking Zone B, a mapped relative seismic shaking zone with intermediate shaking potential.	<a href="#">11</a>
Expansive Soils	<b>X</b>			IN a mapped area with high soil expansivity potential	<a href="#">12</a>
Fault		<b>X</b>		NOT WITHIN one-eighth of one mile of a mapped fault trace	<a href="#">11</a>
Liquefaction		<b>X</b>		NOT IN an area of high or moderate liquefaction potential	<a href="#">11</a>
Landslide	<b>X</b>			IN an area of moderately low (Zone 2) or very low potential (Zone 1) for massive bedrock landslides under earthquake conditions.	<a href="#">11</a>
Debris Flow		<b>X</b>		NOT IN a mapped source area of high propensity for either mud-debris flow or rock fall during periods of exceptionally high rainfall or during seismic shaking	<a href="#">11</a>

City-level NHD Determinations	IN	NOT IN	Map N/A*	Property is:	NHD Report page:
Fault		<b>X</b>		NOT WITHIN 660 feet of a mapped Potentially Active Fault.	<a href="#">13</a>
Tsunami		<b>X</b>		NOT IN a mapped Tsunami Hazard Zone.	<a href="#">13</a>
Sea Level Rise		<b>X</b>		NOT IN a mapped area of Sea Level Rise Impact.	<a href="#">13</a>

Additional Statutory Disclosures	IN	NOT IN	Map N/A*	Property is:	NHD Report page:
Former Military Ordnance		<b>X</b>		NOT WITHIN one mile of a formerly used ordnance site.	<a href="#">15</a>
Commercial or Industrial	<b>X</b>			WITHIN one mile of a property zoned to allow commercial or industrial use.	<a href="#">15</a>
Airport Influence Area	<b>X</b>			IN an airport influence area: John Wayne Airport	<a href="#">16</a>
Airport Noise Area for 65 Decibel	<b>X</b>			IN a delineated 65 dB CNEL or greater aviation noise zone.	<a href="#">17</a>
California Energy Commission	<b>X</b>			IN a climate zone where properties are usually subject to duct sealing and testing requirements	<a href="#">18</a>
Right to Farm Act	<b>X</b>			IN a one mile radius of designated Important Farmland that requires a statutory "Notice of Right to Farm" be provided in this Report.	<a href="#">19</a>
Notice of Mining Operations		<b>X</b>		NOT IN a one mile radius of a mapped mining operation that requires a statutory "Notice of Mining Operation" be provided in this Report.	<a href="#">20</a>



# FANHD Residential Property Disclosure Reports

## Summary of Disclosure Determinations

### For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
 COSTA MESA, ORANGE COUNTY, CA 92626  
 ("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

General Advisories	Description	NHD Report page:
Registered Sex Offender Data Base (Megan's Law) Notice	Provides an advisory required pursuant to Section 290.46 of the Penal Code. Information about specified registered sex offenders is made available to the public.	<a href="#">21</a>
Gas and Hazardous Liquid Transmission Pipeline Database Notice	Provides a notice required pursuant to Section 2079.10.5(a) of the Civil Code. Information about transmission pipeline location maps is made available to the public.	<a href="#">22</a>
Methamphetamine Contamination	Provides an advisory that a disclosure may be required pursuant to the "Methamphetamine Contaminated Property Cleanup Act of 2005".	<a href="#">23</a>
Mold	Provides an advisory that all prospective purchasers of residential and commercial property should thoroughly inspect the subject property for mold and sources for additional information on the origins of and the damage caused by mold.	<a href="#">24</a>
Radon	Provides an advisory on the risk associated with Radon gas concentrations.	<a href="#">25</a>
Endangered Species	Provides an advisory on resources to educate the public on locales of endangered or threatened species.	<a href="#">25</a>
Abandoned Mines	Provides an advisory on resources to educate the public on the hazards posed by, and some of the general locales of, abandoned mines.	<a href="#">26</a>
Oil and Gas Wells	Provides an advisory on the potential existence of oil and gas wells and sources for additional general and/or specific information.	<a href="#">26</a>
Tsunami Map Advisory	Provides an advisory about maximum tsunami inundation maps issued for jurisdictional emergency planning.	<a href="#">27</a>

Property Tax Determinations	IS	IS NOT	Property is:	Tax Report page:
Mello-Roos Districts		<b>X</b>	NOT SUBJECT TO a Mello-Roos Community Facilities District.	<a href="#">29</a>
1915 Bond Act Districts		<b>X</b>	NOT SUBJECT TO a 1915 Bond Act District.	<a href="#">29</a>
Other Direct Assessments	<b>X</b>		SUBJECT TO one or more other direct assessments.	<a href="#">30</a>
SRA Fire Prevention Fee		<b>X</b>	NOT SUBJECT TO the State Responsibility Area Fire Prevention Fee (SRA Fee is suspended until 2031 by Assembly Bill 398 of 2017).	<a href="#">34</a>

Environmental Screening	IS	IS NOT	Property is:	Environmental Report page:
Leaking Underground Storage Tanks	<b>X</b>		WITHIN one-quarter mile of a known leaking underground storage tank.	<a href="#">41</a>
Superfund or RCRA Corrective Action Site		<b>X</b>	NOT WITHIN one mile of a Superfund or RCRA Corrective Action site.	<a href="#">40</a>
Other sites in databases screened	<b>X</b>		WITHIN one-half mile of sites other than those above that are listed in the databases searched.	<a href="#">40</a>
Oil and Gas Wells		<b>X</b>	NOT WITHIN one-quarter mile of a mapped oil or gas well(s).	<a href="#">38</a>
Underground Transmission Pipelines	<b>X</b>		WITHIN 2,000 feet of a gas transmission or hazardous liquid pipeline(s) depicted in the National Pipeline Mapping System.	<a href="#">39</a>

Determined by First American Professional Real Estate Services, Inc.

For more detailed information as to the foregoing determinations, please read this entire Report.



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

## Natural Hazard Disclosure Report

### Part 1. State Defined Natural Hazard Zones

#### Statutory Natural Hazard Disclosures

Section 1103 of the California Civil Code mandates the disclosure of six (6) natural hazard zones if the Property is located within any such zone. Those six "statutory" hazard zones, disclosed on the **Natural Hazard Disclosure Statement** ("NHDS") on Page one of this Report, are explained below. Note that the NHDS does not provide for informing buyers if a property is only partially within any of the delineated zones or provide additional flood zone information which could be very important to the process. The following summary is intended to give buyers additional information they may need to help them in the decision-making process and to place the information in perspective.

#### SPECIAL FLOOD HAZARD AREA

**DISCUSSION:** Property in a Special Flood Hazard Area (any type of Zone "A" or "V" as designated by the Federal Emergency Management Agency ("FEMA")) is subject to flooding in a "100-year rainstorm." Federally connected lenders require homeowners to maintain flood insurance for buildings in these zones. A 100-year flood occurs on average once every 100 years, but may not occur in 1,000 years or may occur in successive years. According to FEMA, a home located within a SFHA has a 26% chance of suffering flood damage during the term of a 30-year mortgage. Other types of flooding, such as dam failure, are not considered in developing these zones. Flood insurance for properties in Zones B, C, D, X, X500, and X500\_Levee is available but is not required.

**Zones A, AO, AE, AH, AR, A1-A30:** Area of "100-year" flooding - a 1% or greater chance of annual flooding.

**Zone A99:** An "adequate progress" determination for flood control system construction projects that, once completed, may significantly limit the area of a community that will be included in the Special Flood Hazard Area (SFHA). Such projects reduce but do not eliminate, the risk of flooding to people and structures in "levee-impacted" areas, and allow mandatory flood insurance to be available at a lower cost.

**Zones V, V1-V30:** Area of "100-year" flooding in coastal (shore front) areas subject to wave action.

**Zone B:** Area of moderate flood risk. These are areas between the "100" and "500" year flood-risk levels.

**Zones C, D:** NOT IN an area of "100-year" flooding. Area of minimal (Zone C) or undetermined (Zone D) flood hazard.

**Zones X:** An area of minimal flood risk. These are areas outside the "500" year flood-risk level.

**Zone X500:** An area of moderate flood risk. These are areas between the "100" and "500" year flood-risk levels.

**Zone X500\_LEVEE:** An area of moderate flood risk that is protected from "100-year flood" by levee and that is subject to revision to high risk (Zone A) if levee is decertified by FEMA.

**Zone N:** Area Not Included, no flood zone designation has been assigned or not participating in the National Flood Insurance Program.

**Notice:** The Company is not always able to determine if the Property is subject to a FEMA Letter of Map Revision ("LOMR") or other FEMA letters of map change. If Seller is aware that the Property is subject to a LOMR or other letters of map change, the Seller shall disclose the map change and attach a copy of the FEMA letter(s) to the Report. Contact FEMA at <http://msc.fema.gov> for additional information.

For more information about flood zones, visit:

[http://www.floodsmart.gov/floodsmart/pages/flooding\\_flood\\_risks/defining\\_flood\\_risks.jsp](http://www.floodsmart.gov/floodsmart/pages/flooding_flood_risks/defining_flood_risks.jsp)

**PUBLIC RECORD:** Official Flood Insurance Rate Maps ("FIRM") compiled and issued by the Federal Emergency Management Agency ("FEMA") pursuant to 42 United States Code §4001, et seq.

#### AREA OF POTENTIAL FLOODING (DAM FAILURE)

**DISCUSSION:** Local governmental agencies, utilities, and owners of certain dams are required to prepare and submit inundation maps for review and approval by the California Office of Emergency Services ("OES"). A property within an Area of Potential Flooding Caused by Dam Failure is subject to potential flooding in the event of a sudden and total dam failure with a full reservoir. Such a failure could result in property damage and/or personal injury. However, dams rarely fail instantaneously and reservoirs are not always filled to capacity. Please note that not all dams (such as federally controlled dams) located within the state have been included within these dam inundation zones. Also these maps do not identify areas of potential flooding resulting from storms or other causes.

**PUBLIC RECORD:** Official dam inundation maps or digital data thereof made publicly available by the State of California Office of Emergency Services ("OES") pursuant to California Government Code §8589.5.



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## VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ)

**DISCUSSION:** VHFHSZs can be defined by the California Department of Forestry and Fire Protection ("Calfire") as well as by local fire authorities within "Local Responsibility Areas" where fire suppression is the responsibility of a local fire department. Properties located within VHFHS Zones may have a higher risk for fire damage and, therefore, may be subject to (i) additional construction requirements such as a "Class A" roof for new construction or replacement of existing roofs; and (ii) additional maintenance responsibilities such as adequate vegetation clearance near the structure, spark screens on chimneys and stovepipes, leaf removal from roofs, and other basic fire-safety practices. Contact the local fire department for a complete list of requirements and exceptions.

**PUBLIC RECORD:** Maps issued by Calfire pursuant to California Government Code § 51178 recommending VHFHSZs to be adopted by the local jurisdiction within its Local Responsibility Area, or VHFHSZs adopted by the local jurisdiction within the statutory 120-day period defined in California Government Code § 51179.

## WILDLAND FIRE AREA (STATE RESPONSIBILITY AREA)

**DISCUSSION:** The State Board of Forestry classifies all lands within the State of California based on various factors such as ground cover, beneficial use of water from watersheds, probable damage from erosion, and fire risks. Fire prevention and suppression in all areas which are not within a Wildland - State Responsibility Area ("WSRA") is primarily the responsibility of the local or federal agencies, as applicable.

For property located within a WSRA, please note that (1) there may be substantial forest fire risks and hazards; (2) except for property located within a county which has assumed responsibility for prevention and suppression of all fires, it is NOT the state's responsibility to provide fire protection services to any building or structure located within a WSRA unless the Department has entered into a cooperative agreement with a local agency; and (3) the property owner may be is subject to (i) additional construction requirements such as a "Class A" roof for new construction or replacement of existing roofs; and (ii) additional maintenance responsibilities such as adequate vegetation clearance near the structure, spark screens on chimneys and stovepipes, leaf removal from roofs, and other basic fire-safety practices.

The existence of local agreements for fire service is not available in the Public Record and, therefore, is not included in this disclosure. For very isolated properties with no local fire services or only seasonal fire services there may be significant fire risk. If the Property is located within a WSRA, please contact the local fire department for more detailed information.

**PUBLIC RECORD:** Official maps issued by the California Department of Forestry and Fire Protection ("Calfire") pursuant to California Public Resources Code § 4125.

### SRA Fire Prevention Benefit Fee Advisory

In 2011, the California Legislature and Governor enacted a "Fire Prevention Fee" on habitable structures in the State's wildland fire responsibility area. The yearly fee, levied on property owners, paid for various activities to prevent and suppress wildfires in the SRA, and was most recently at the rate of \$152.33 per habitable structure on the property.

**Effective July 1, 2017, as authorized by Assembly Bill 398 and signed by the Governor, that fire prevention fee is suspended until 2031.**

For more information, please refer to "Part 6. State Responsibility Area Fire Prevention Fee" in the FANHD Property Tax Report.



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## EARTHQUAKE FAULT ZONE

**DISCUSSION:** Earthquake Fault Zones are delineated and adopted by California as part of the Alquist-Priolo Earthquake Fault Zone Act of 1972. Property in an Earthquake Fault Zone ("EF Zone") does not necessarily have a fault trace existing on the site. EF Zones are areas or bands delineated on both sides of known active earthquake faults. EF Zones vary in width but average one-quarter (1/4) mile in width with the "typical" zone boundaries set back approximately 660 feet on either side of the fault trace. The potential for "fault rupture" damage (ground cracking along the fault trace) is relatively high only if a structure is located directly on a fault trace. If a structure is not on a fault trace, shaking will be the primary effect of an earthquake. During a major earthquake, shaking will be strong in the vicinity of the fault and may be strong at some distance from the fault depending on soil and bedrock conditions. It is generally accepted that properly constructed wood-frame houses are resistant to shaking damage.

**PUBLIC RECORD:** Official earthquake fault zone or special study zone maps approved by the State Geologist and issued by the California Department of Conservation, California Geological Survey pursuant to California Public Resources Code §2622.

## SEISMIC HAZARD MAPPING ACT ZONE

**DISCUSSION:** Official Seismic Hazard Zone ("SH Zone") maps delineate Areas of Potential Liquefaction and Areas of Earthquake-Induced Landsliding. A property that lies partially or entirely within a designated SH Zone may be subject to requirements for site-specific geologic studies and mitigation before any new or additional construction may take place.

**Earthquake-Induced Landslide Hazard Zones** are areas where the potential for earthquake-induced landslides is relatively high. Areas most susceptible to these landslides are steep slopes in poorly cemented or highly fractured rocks, areas underlain by loose, weak soils, and areas on or adjacent to existing landslide deposits. The CGS cautions these maps do not capture all potential earthquake-induced landslide hazards and that earthquake-induced ground failures are not addressed by these maps. Furthermore, no effort has been made to map potential run-out areas of triggered landslides. It is possible that such run-out areas may extend beyond the zone boundaries. An earthquake capable of causing liquefaction or triggering a landslide may not uniformly affect all areas within a SH Zone.

**Liquefaction Hazard Zones** are areas where there is a potential for, or an historic occurrence of liquefaction. Liquefaction is a soil phenomenon that can occur when loose, water saturated granular sediment within 40 feet of the ground surface, are shaken in a significant earthquake. The soil temporarily becomes liquid-like and structures may settle unevenly. The Public Record is intended to identify areas with a relatively high potential for liquefaction but not to predict the amount or direction of liquefaction-related ground displacement, nor the amount of damage caused by liquefaction. The many factors that control ground failure resulting from liquefaction must be evaluated on a site specific basis.

**PUBLIC RECORD:** Official seismic hazard maps or digital data thereof approved by the State Geologist and issued by the California Department of Conservation, California Geological Survey pursuant to California Public Resources Code §2696.

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**STATUTORY NATURAL HAZARD DISCLOSURE REPORTING STANDARD:** "IN" shall be reported if any portion of the Property is located within any of the above zones as delineated in the Public Record. "NOT IN" shall be reported if no portion of the Property is located within any of the above zones as delineated in the Public Record. Map Not Available shall be reported in areas not yet evaluated by the governing agency according to the Public Record. Please note that "MAP NOT AVAILABLE" will be applicable to most portions of the state. Official Seismic Hazard Zone ("SH Zone") maps delineate Areas of Potential Liquefaction and Areas of Earthquake-Induced Landsliding.

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# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
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## Part 2. County and City Defined Natural Hazard Zones

### HAZARD MAPS IN THE LOCAL GENERAL PLAN

**General Plan regulates property development.** There are currently over 530 incorporated cities and counties in California. The state Government Code (Sections 65000 et seq.) requires each of those jurisdictions to adopt a comprehensive, long-term "General Plan" for its physical development. That General Plan regulates land uses within the local jurisdiction in order to protect the public from hazards in the environment and conserve local natural resources. The General Plan is the official city or county policy regarding the location of housing, business, industry, roads, parks, and other land uses.

**Municipal hazard zones can affect the cost of ownership.** Each county and city adopts its own distinct General Plan according to that jurisdiction's unique vegetation, landscape, terrain, and other geographic and geologic conditions. The "Safety Element" (or Seismic Safety Element) of that General Plan identifies the constraints of earthquake fault, landslide, flood, fire and other natural hazards on local land use, and it delineates hazard zones within which private property improvements may be regulated through the building-permit approval process, which can affect the future cost of ownership. Those locally regulated hazard zones are in addition to the federal and state defined hazard zones associated with statutory disclosures in the preceding section.

**City and/or County natural hazard zones explained below.** Unless otherwise specified, only those officially adopted Safety Element or Seismic Safety Element maps (or digital data thereof) which are publicly available, are of a scale, resolution, and quality that readily enable parcel-specific hazard determinations, and are consistent in character with those statutory federal or state disclosures will be considered for eligible for use as the basis for county- or city-level disclosures set forth in this Report. Please also note:

- If an officially adopted Safety Element or Seismic Safety Element map relies on data which is redundant of that used for state-level disclosures, this Report will indicate so and advise Report recipients to refer to the state-level hazard discussion section for more information.
- If an officially adopted Safety Element or Seismic Safety Element cites underlying maps created by another agency, those maps may be regarded as incorporated by reference and may be used as the basis for parcel-specific determinations if those maps meet the criteria set forth in this section.
- Because county- and city-level maps are developed independently and do not necessarily define or delineate a given hazard the same way, the boundaries for the "same" hazard may be different.

If one or more maps contained in the Safety Element and/or Seismic Safety Element of an officially adopted General Plan are used as the basis for local disclosure, those maps will appear under the "Public Record(s) Searched" for that county or city.

#### REPORTING STANDARDS

A good faith effort has been made to disclose all hazard features on pertinent Safety Element and Seismic Safety Element maps with well-defined boundaries; however, those hazards with boundaries that are not delineated will be deemed not suitable for parcel-specific hazard determinations. Some map features, such as lines drawn to represent the location of a fault trace, may be buffered to create a zone to facilitate disclosure. Those map features which can not be readily distinguished from those representing hazards may be included to prevent an omission of a hazard feature. If the width of a hazard zone boundary is in question, "IN" will be reported if that boundary impacts any portion of a property. Further explanations concerning specific map features peculiar to a given county or city will appear under the "Reporting Standards" for that jurisdiction.

#### PUBLIC RECORDS VS. ON-SITE EVALUATIONS

Mapped hazard zones represent evaluations of generalized hazard information. Any specific site within a mapped zone could be at less or more relative risk than is indicated by the zone designation. A site-specific evaluation conducted by a geotechnical consultant or other qualified professional may provide more detailed and definitive information about the Property and any conditions which may or do affect it.

#### PROPERTY USE AND PERMITTING

No maps beyond those identified as "Public Record(s)" have been consulted for the purpose of these local disclosures. These disclosures are intended solely to make Report recipient(s) aware of the presence of mapped hazards. For this reason -- and because local authorities may use on these or additional maps or data differently to determine property-specific land use and permitting approvals -- Report recipients are advised to contact the appropriate local agency, usually Community Development, Planning, and/or Building, prior to the transaction to ascertain if these or any other conditions or related regulations may impact the Property use or improvement.



# FANHD Residential Property Disclosure Reports

## Natural Hazard Disclosure (NHD) Report

### For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
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## ORANGE COUNTY GEOLOGIC ZONES DISCUSSION

**PUBLIC RECORD(S) SEARCHED:** The following Public Records, incorporated by reference into the Safety Element of the General Plan as adopted by the County Board of Supervisors in 2000, is utilized for those county-level disclosures below: "Environmental Geology of Orange County," a map series prepared by California Geological Survey, Open-File Report 79-8 L.A.

### FAULT

- **Active faults (Alquist-Priolo Earthquake Fault Zone):** These faults have evidence of displacement during the most recent epoch of geologic time, the Holocene epoch, generally considered to have begun about 11,000 years ago.
- **Potentially active faults:** These faults show activity within the past 2 million years but show no evidence of movement within the past 11,000 years
- **Inactive faults:** Faults which show no evidence of movement during the past two million years and show no potential for movement in the future.

**Reporting Standards:** If any portion of the Property is situated within one-eighth of one mile (660 feet) of a fault trace as delineated in the Public Record, "WITHIN" shall be reported.

### DEBRIS FLOW, MUD FLOW, AND ROCKFALL

Areas of potential mud and/or debris flow may occur during periods of exceptionally high rainfall. Rockfall zones may experience falling rocks during periods of exceptionally high rainfall or seismic shaking.

**Reporting Standards:** If any portion of the Property is within a Mud Flow Zone as delineated in the Public Record, "IN" shall be reported. If any portion of the Property is within a Rockfall Zone as delineated in the Public Record, "IN" shall be reported.

### LIQUEFACTION POTENTIAL

Liquefaction is a liquid-like condition of the soil which sometimes occurs during earthquake shaking where the ground water level is close to the surface and the subsurface materials are loose and cohesionless (such as sandy soil). These factors have the potential to combine to produce liquefaction in local areas.

**Reporting Standards:** If any portion of the Property is within a Liquefaction Zone as delineated in the Public Record, "IN" shall be reported.

### SEISMIC SHAKING

Several seismic zones have been defined by Orange County to separate areas having varying responses to earthquake shaking. The zones were defined utilizing a variety of geologic, hydrologic and slope gradient information, but by necessity, have been generalized. Any single property within a Seismic Zone could be at less or more relative risk than is indicated by the zone designation. If site-specific information regarding seismic hazards is desired, this company recommends that a geotechnical consultant be retained to study the site.

- **Seismic Shaking Zone A:** Zone A represents areas of least earthquake shaking. The maximum expected damage to modern construction due to shaking is expected to be minor to moderate in this zone.
- **Seismic Shaking Zone B:** Zone B represents areas of intermediate earthquake shaking. The maximum expected damage to modern construction due to shaking is expected to be moderate in this zone.
- **Seismic Shaking Zone C:** These are areas of high geologic hazard only if strong earthquake shaking produces liquefaction.

**Reporting Standards:** If any portion of the Property is within a Seismic Shaking Zone as delineated in the Public Record, only the more/most severe shall be reported.

### TSUNAMI

This area has been designated as a zone of moderate risk for tsunami (seismic sea wave or "tidal wave ") run-up. Properties in a tsunami zone may be inundated with waves which recur on the average of once every 100 years.

**Reporting Standards:** If any portion of the Property is within a Tsunami Run-up Zone as delineated in the Public Record, "IN" shall be reported.

### LANDSLIDE / SLOPE STABILITY ZONES

The relative slope stability zones represent average slope stability conditions. This Report discloses Slope Stability Zone for conditions under seismic (earthquake) conditions, not aseismic (normal) conditions, as detailed in the Public Record.

- **Zone 1: Very low potential** for massive bedrock landslides under normal and seismic/earthquake conditions.
- **Zone 2: Moderately low potential** for massive bedrock landslides under seismic/earthquake conditions.
- **Zone 3: Moderately high potential** under seismic/earthquake conditions with a greater slope failure risk during earthquakes if the slope gradient is greater than 20% and the slope is underlain by relatively weak bedrock or weak soil materials.
- **Zone 4: High potential** for massive bedrock landslides under seismic/earthquake conditions.
- **Zones 5 and 6: Very high potential** for massive bedrock landslides under seismic/earthquake conditions.



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

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- **Zone W:** Coastal areas which have unstable slopes resulting from periodic wave erosion. Please note that the boundaries of this Slope Stability Area W are not defined in a manner suitable for definitive parcel-specific disclosure; therefore, this zone is not disclosed in this Report.

**Reporting Standards:** "Very High, High, or Moderate" shall be reported if any portion of the Property is within Slope Stability Zone 3, 4, 5, or 6. "Moderately Low or Low" shall be reported in the Property is completely within Slope Stability Zone 1 or 2.

## EXPANSIVE SOILS

Expansive soils occur throughout much of Orange County. These areas are subject to the seasonal shrink-swell cycles of soils, as well as slope yielding if locally on a slope. Three possible conditions related to expansive soils exist in the County.

- **Differential Swell** is the uneven tilting or lifting of a structure by the greater expansion of thicker soils on one side of the structure.
- **Concentric Swell** is caused by the migration of water toward the center of a structure, causing expansion of the soils, and lifting of the center of the structure.
- **Slope Yielding** is a slow down slope movement of soils, causing tilting of the foundation of a structure. Experts agree that no residence is completely safe from cracking, slipping or sinking to some degree.

Expansive soil problems can be mitigated, in most cases, through structural and design modifications and, in some cases, through soil treatment techniques. Mapped areas of expansive soils are identified as:

- **Areas of Man Made Land with Extremely Variable Expansivity Potential**
- **Areas of High Expansivity Potential**
- **Areas of Tidal Flats with Highly Variable Expansivity or Shrink Potential**
- **Areas of Moderate Expansivity Potential**
- **Areas of Low Expansivity Potential**

**Reporting Standards:** If any portion of the Property is within an area of Low, Moderate, or High Expansivity Potential or is within a Tidal Flat as delineated in the Public Record, "IN" shall be reported for the more/most severe condition.





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## CITY OF COSTA MESA GEOLOGIC DISCUSSION

**PUBLIC RECORD(S) SEARCHED:** The following Public Record(s), contained in the Safety Element of the City of Costa Mesa General Plan 2015-2035 as officially adopted in 2016, are used for the city-level disclosure(s) below: "Figure S-4: Local Seismic Hazards" and "Figure S-7: Tsunami and Sea Level Rise Hazard Areas".

### **FAULT**

The Public Record states that five regional major faults – the Newport-Inglewood, San Joaquin Hills, Whittier, San Andreas, and San Jacinto - present a seismic hazard to the City. Other faults, which pose a lesser seismic hazard to the City due to their localized extent, are identified as the El Modeno, Norwalk, Palos Verdes, 4-S Ranch, and Aliso Faults. The Newport-Inglewood Rose Canyon Fault Zone is seismically active and is approximately 3.5 miles wide within the City. The San Joaquin Hills Fault is a recently discovered blind thrust fault originating near the southern end of the Newport-Inglewood Fault near Huntington Beach at the western margins of the San Joaquin Hills. The Whittier Fault, San Andreas Fault, and San Jacinto Fault are approximately 20 miles, 48 miles, and 44 miles from Costa Mesa, respectively.

**Reporting Standards:** California's Alquist-Priolo Fault Zone Act (1972) established a standard for the width of a regulatory fault zone -- one-eighth of one mile on both sides of an active fault trace. For city-level reporting purposes, "WITHIN" shall be reported if any portion of the Property is located within one-eighth of one mile (660 feet) of an unzoned "Potentially Active Fault" as delineated in the Public Record. "NOT WITHIN" shall be reported if no portion of the Property is located within one-eighth of one mile of an unzoned Potentially Active Fault as delineated in the Public Record.

### **TSUNAMI**

Costa Mesa is three-quarters of one mile inland from the Pacific Ocean at elevations ranging from 30 to 100 feet above sea level. The southern portion of the City sits on bluffs overlooking Newport Beach. Consequently the potential for tsunamis is negligible; however, areas located along the Santa Ana River Channel may be susceptible to the effects of tsunamis that travel up river. NOTE: The Public Record is based largely upon "Tsunami Inundation Map[s] for Emergency Planning" produced jointly by the California Emergency Management Agency (CalEMA), University of Southern California (USC), and California Geological Survey (CGS). That cited source explicitly states, "This map, and the information presented herein, is not a legal document and does not meet disclosure requirements for real estate transactions nor for any other regulatory purpose." Though not delineated on final tsunami maps produced by CalEMA, USC, and CGS, the boundary delineated in the Public Record as "Tsunami Hazard Zone" is included as part of this disclosure.

**Reporting Standards:** "IN" shall be reported if any portion of the Property is within a mapped "Tsunami Hazard Zone" as delineated in the Public Record. "NOT IN" shall be reported if no portion of the Property is within a mapped "Tsunami Hazard Zone" as delineated in the Public Record.

### **SEA LEVEL RISE**

According to the Public Record, scientific data strongly suggests that long-term changes in the Earth's climate over the next century and beyond will lead to the possibility of rises in sea levels around the world. In Southern California sea level rise could result in increased flooding in low-lying areas along the shoreline, water infiltration into the sanitary sewer and storm drain systems that outlet into or near the Pacific Ocean, and an increase in storm drain back-ups. All of these effects could result in more frequent and extensive flooding. Given Costa Mesa's location near the coast and along the Santa Ana River, the City could be expected to experience the effects of sea level rise. The Public Record delineates areas along the Santa Ana River which may be inundation by unimpeded Pacific Ocean water by the year 2100.

**Reporting Standards:** "IN" shall be reported if any portion of the Property is within a mapped area of "Sea Level Rise Impact" as delineated in the Public Record. "NOT IN" shall be reported if no portion of the Property is within the mapped area of "Sea Level Rise Impact" as delineated in the Public Record. Digital data of these Impact Areas obtained from the cited data source, the Pacific Institute, is used as the basis for this disclosure.

### **OTHER HAZARDS**

"Figure S-3: Regional Faults" is a regional map that is not of a usable scale for parcel-specific disclosure; however, the location of the "Potentially Active Faults" as depicted are consistent with those depicted in "Figure S-4: Local Seismic Hazards". The "Seismic Hazards – Earthquake Induced" depicted in "Figure S-4: Local Seismic Hazards" are redundant of those Areas of Potential Liquefaction and Earthquake-Induced Landsliding already subject to statutory disclosure. For more information please refer to the state-level Seismic Hazard discussion in the preceding section of this Report. The "Flood Zones" depicted in "Figure S-5: Local Flooding Hazards" are based upon official FEMA DFIRM data current as of 2009 but which may be subject to change. For the most current FEMA Flood Zone information subject to statutory disclosure please refer to the state-level Special Flood Hazard Areas discussion in the preceding section of this Report. The "Inundation Areas – Potential Flooding Due to Dam Failure" depicted in "Figure S-6: Dam Inundation Areas" as depicted for Santiago Creek and Prado Dam are redundant of those already subject to statutory disclosure. For the more information please refer to the state-level Areas of Potential Flooding (Dam Inundation) discussion in the preceding section of this Report.

**The following natural hazards are discussed but are not mapped in the Safety Element of the City of Costa Mesa General Plan Update:**



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
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("Property")

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**Report Date:** 02/26/2019  
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## **GROUND SHAKING**

Ground shaking is the phenomenon most often associated with seismic activity. The intensity of ground shaking and relative earthquake damage are heightened with earthquake magnitude, proximity to faults, and the presence of deeper soft soils below the ground surface. The intensity of an earthquake is measured, or expressed, in terms of two scales: the Richter scale and the Modified Mercalli Intensity scale. The Richter scale measures the strength of an earthquake and assigns it a magnitude number using a base-10 logarithmic scale. For example, a magnitude 5.0 earthquake would result in 10 times the level of ground shaking as a magnitude 4.0 earthquake. The Modified Mercalli Intensity scale describes the intensity of an earthquake in terms of observable impacts, ranging from I (Not Felt) to XII (Extreme). The effects of ground shaking in Costa Mesa will vary depending upon the distance of a seismic event relative to the City. Ground shaking from distant events (more than 40 miles away) will be of a different nature than events that occur within 10 miles. In addition, the duration of strong potential ground shaking is another importance factor related to seismic activity.

**Reporting Standards:** No determination is reported because the Public Record does not include a map which delineates the boundaries for this hazard within the City Limit.

## **DIFFERENTIAL COMPACTION OR SETTLEMENT**

Differential ground settlement is caused by earthquake ground shaking and is potentially damaging to structures and underground utilities. Differential settlement may occur in sediments where differences in densities in adjacent materials leads to different degrees of compaction during ground shaking. Post-earthquake differential settlement may occur within the known peat deposits located within the City. These deposits are located adjacent to the Santa Ana River and in the vicinity of Upper Newport Bay. The size of these deposits in Costa Mesa is not sufficient to justify extraction; however, peat does provide an unstable base for construction and must be removed prior to development.

**Reporting Standards:** No determination is reported because the Public Record does not include a map which delineates the boundaries for this hazard within the City Limit.

## **GROUND CRACKING, GROUND LURCHING, LATERAL SPREADING, AND SLOPE STABILITY**

Most often associated with liquefaction, ground lurching and cracking are caused by moderate to strong ground shaking. Typically, the potential for ground cracking exists within areas of Costa Mesa that have moderate to high potential for liquefaction and in regions of known peat deposits. The conditions for ground lurching and lateral spreading may be present along the bluffs adjacent to the Santa Ana River and Newport Bay. Slope stability hazards include landslides, rock falls, mudslides, and avalanches. Since local topography consists of generally flat to gently sloping terrain, the potential for these hazards is minimal. Even so, the potential for earth movement exists during strong ground shaking along the bluffs along the south portion of the City.

**Reporting Standards:** No determination is reported because the Public Record does not include a map which delineates the boundaries for this hazard within the City Limit.

## **SEICHES**

Seiches are standing waves in enclosed or partially enclosed bodies of water, such as lakes and bays. Seiche may be caused by earthquakes, high winds, or tides. The absence of any large bodies of water within Costa Mesa and the location of high bluffs adjacent to Newport Bay reduce the possibility of damage from seiche effects.

**Reporting Standards:** No determination is reported because the Public Record does not include a map which delineates the boundaries for this hazard within the City Limit.

## **FIRE**

The fire hazard severity of an area is determined based on the type and amount of vegetation (termed "fuel loading"), slope gradient, and weather. Fire hazards increase in the summer and fall when the weather is hot and dry – and especially when Santa Ana wind conditions occur. Areas identified as having a fire hazard are referred to as State Responsibility Areas (SRAs) because the State has the primary financial responsibility of preventing and suppressing fires. The agency responsible for fire suppression in SRAs is the Department of Forestry and Fire Protection (Cal Fire). No part of Costa Mesa is listed as an SRA or located within the Very High Fire Hazard Severity Zone. Thus, urban fires and grassland fires within open space areas such as Talbert Regional Park represent the only fire risks in the City.

**Reporting Standards:** No determination is reported because the Public Record does not include a map which delineates the boundaries for this hazard within the City Limit.

## **END OF LOCAL AREA DISCLOSURES AND DISCUSSIONS SECTION**



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

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## Part 3. Additional Property Specific Disclosures

### FORMER MILITARY ORDNANCE SITE DISCLOSURE

**DISCUSSION:** Former Military Ordnance (FUD) sites can include sites with common industrial waste (such as fuels), ordnance or other warfare materiel, unsafe structures to be demolished, or debris for removal. California Civil Code Section 1102 requires disclosure of those sites containing unexploded ordnance. "Military ordnance" is any kind of munitions, explosive device/material or chemical agent used in military weapons. Unexploded ordnance are munitions that did not detonate. NOTE: **MOST** FUD sites do not contain unexploded ordnance. Only those FUD sites that the U.S. Army Corps of Engineers (USACE) has identified to contain Military Ordnance or have mitigation projects planned for them are disclosed in this Report. Additional sites may be added as military installations are released under the Federal Base Realignment and Closure (BRAC) Act. Active military sites are NOT included on the FUD site list.

**PUBLIC RECORD:** Data contained in Inventory Project Reports, Archives Search Reports, and related materials produced for, and made publicly available in conjunction with, the Defense Environmental Restoration Program for Formerly Used Defense Sites by the U.S. Army Corps of Engineers. Sites for which no map has been made publicly available shall not be disclosed.

**REPORTING STANDARD:** If one or more facility identified in the Public Record is situated within a one (1) mile radius of the Property, "**WITHIN**" shall be reported. The name of that facility or facilities shall also be reported.

### COMMERCIAL OR INDUSTRIAL ZONING DISCLOSURE

**DISCUSSION:** The seller of real property who has actual knowledge that the property is affected by or zoned to allow commercial or industrial use described in Section 731a of the Code of Civil Procedure shall give written notice of that knowledge to purchasers as soon as practicable before transfer of title (California Civil Code Section 1102.17). The Code of Civil Procedure Section 731a defines industrial use as areas in which a city and/or county has established zones or districts under authority of law wherein certain manufacturing or commercial or airport uses are expressly permitted. The "Zoning Disclosure" made in this Report DOES NOT purport to determine whether the subject property is or is not affected by a commercial or industrial zone. As stated above, that determination is based solely upon ACTUAL KNOWLEDGE of the seller of the subject property.

In an effort to help determine areas where this may be applicable, this disclosure identifies if a property exists within one mile of the seller's property that is zoned to allow for commercial or industrial use. Very commonly, a home will have in its vicinity one or more properties that are zoned for commercial or industrial use such as restaurants, gasoline stations, convenience stores, golf courses, country club etc.

**PUBLIC RECORD:** Based on publicly-available hardcopy and/or digital zoning and land use records for California cities and counties.

**REPORTING STANDARD:** If one or more property identified in the Public Record as "commercial," "industrial," or "mixed use" is situated within a one (1) mile radius of the Property, "**WITHIN**" shall be reported. Please note that an airport facility that may be classified as public use facility in the Public Record will be reported as "commercial/industrial" in this disclosure.



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## AIRPORT INFLUENCE AREA DISCLOSURE

### **DISCUSSION:**

If any portion of the Property is in either an officially designated "airport influence area" ("AIA") or a two mile radius of a qualifying facility for which an AIA has not yet been officially designated, the following Notice is required:

### **NOTICE OF AIRPORT IN VICINITY**

**If this property is presently located in the vicinity of an airport, as identified in the determination section of this Report, within what is known as an airport influence area...the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. In that case, you may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable (California Civil Code, Section 1103.4).**

**Certain airports are not disclosed in this Report.** FANHD has made a good faith effort to identify the airports covered under Section 1102.6a. Sources consulted include official land use maps and/or digital data made available by a governing Airport Land Use Commission (ALUC) or other designated government body. Most facilities for which an Airport Influence Area has been designated are included on the "California Airports List" maintained by the California Department of Transportation's Division of Aeronautics. Not disclosed in this Report are public use airports that are not in the "California Airports List", airports that are physically located outside California, heliports and seaplane bases that do not have regularly scheduled commercial service, and private airports or military air facilities unless specifically identified in the "California Airports List". **If the seller has actual knowledge of an airport in the vicinity of the subject property that is not disclosed in this Report, and that is material to the transaction, the seller should disclose this actual knowledge in writing to the buyer.**

Most facilities for which an Airport Influence Area has been designated are included on the "California Airports List" maintained by the California Department of Transportation's Division of Aeronautics. The inclusion of military and private airports varies by County, and heliports and seaplane bases are not included, therefore, airports in these categories may or may not be included in this disclosure.

**NOTE:** Proximity to an airport does not necessarily mean that the property is exposed to significant aviation noise levels. Alternatively, there may be properties exposed to aviation noise that are greater than two miles from an airport. Factors that affect the level of aviation noise include weather, aircraft type and size, frequency of aircraft operations, airport layout, flight patterns or nighttime operations. Buyer should be aware that aviation noise levels can vary seasonally or change if airport usage changes.

**PUBLIC RECORD:** Based on officially adopted land use maps and/or digital data made publicly available by the governing ALUC or other designated government body. If the ALUC or other designated government body has not made publicly available a current officially adopted airport influence area map, then California law states that "a written disclosure of an airport within two (2) statute miles shall be deemed to satisfy any city or county requirements for the disclosure of airports in connection with transfers of real property."

**REPORTING STANDARD:** "IN" shall be reported along with the facility name(s) and the "Notice of Airport in Vicinity" if any portion of the Property is situated within either (a) an Airport Influence Area as designated on officially adopted maps or digital data or (b) a two (2) mile radius of a qualifying facility for which an official Airport Influence Area map or digital data has not been made publicly available by the ALUC or other designated governing body. "NOT IN" shall be reported if no portion of the Property is within either area.



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## AIRPORT NOISE DISCLOSURE

**DISCUSSION:** California Civil Code §1102.17 requires the seller(s) of residential real property who has/have actual knowledge that the property in the transaction is affected by airport use must give written notice of that knowledge, as soon as practicable, before transfer of title.

Under the Federal Aviation Administration's *Airport Noise Compatibility Planning Program Part 150*, certain 65 decibel (dB) Community Noise Equivalent Level (CNEL) contour maps have been produced for some airports. Not all airports have produced noise exposure maps. A property may be near or at some distance from an airport and not be within a delineated noise exposure area, but still experience aviation noise. Unless 65dB CNEL contour maps are published, helipads and military sites are not included in this section of the Report.

The *Airport Noise Compatibility Planning Program* is voluntary and not all airports have elected to participate. Furthermore, not all property in the vicinity of an airport is exposed to 65dB CNEL or greater average aviation noise levels. Conversely a property may be at some distance from an airport and still experience aviation noise. Buyer should be aware that aviation noise levels can vary seasonally or change if airport usage changes after a map is published or after the Report Date. FANHD uses the most seasonally conservative noise exposures provided.

Federal funding may be available to help airports implement noise reduction programs. Such programs vary and may include purchasing properties, rezoning, and insulating homes for sound within 65dB areas delineated on CNEL maps. Airport owners have also cooperated by imposing airport use restrictions that include curfews, modifying flight paths, and aircraft limitations.

**PUBLIC RECORD:** Certain 65 decibel (dB) Community Noise Equivalent Level (CNEL) contour maps produced under the Federal Aviation Administration's *Airport Noise Compatibility Planning Program Part 150*.

**REPORTING STANDARD:** "IN" shall be reported if any portion of the Property is situated within a 65 decibel Community Noise Equivalent Level contour identified in the Public Record. "NOT IN" shall be reported if no portion of the Property is situated within a 65 decibel Community Noise Equivalent Level contour identified in the Public Record.



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## CALIFORNIA ENERGY COMMISSION DUCT SEALING & TESTING REQUIREMENT

**DISCUSSION:** According to the California Energy Commission ("CEC") most California homes have improperly sealed central air conditioning and heating system ducts such that approximately 30 percent of the conditioned air actually leaks outside the home.

Effective July 1, 2014, in order to combat this waste of energy and money, the CEC updated its residential duct sealing and testing requirements in the 2013 Building Energy Efficiency Standards (Title 24). Previously, such duct sealing and testing was required only in certain CEC-designated climate zones when a central air conditioner or furnace is installed or replaced. **The revised standards now make duct sealing and testing mandatory in all California climate zones when such a system is installed or replaced.** Ducts found to leak more than 15 percent or more must be repaired. Once a contractor tests and fixes these ducts, you must have an approved third-party verifier determine that the ducts have been properly sealed. The CEC cautions homeowners that a contractor who fails to obtain a required building permit and fails to test and repair your ducts "is violating the law and exposing you to additional costs and liability." If you do not obtain a permit, you may be required to bring your home into compliance with code requirements for that work and may incur additional penalties and fines that have to be paid prior to selling your home. Remember that you have a duty to disclose whether you obtained required permits for work performed to prospective Buyers and appraisers. Local governments may mandate more stringent requirements.

Please note there are specific alternatives that allow high efficiency equipment and added duct insulation to be installed instead of fixing duct leaks. Please also be advised that there are separate regulations which govern duct insulation levels required by climate zone and HVAC system.

For more information please contact the California Energy Commission or visit the official CEC "2013 Building Energy Efficiency Standards" portal at: <http://www.energy.ca.gov/title24/2013standards/index.html>

**PUBLIC RECORD:** 2013 Building Energy Efficiency Standards (Title 24).

**REPORTING STANDARD:** "WITHIN" shall be reported regardless of CEC-designated climate zone pursuant to the revised Title 24 Standards.

## COOLING AND HEATING ENERGY-EFFICIENCY ADVISORY

Effective January 1, 2015, new federal energy-efficiency standards apply to the repair and replacement of residential heating, ventilation and air conditioning ("HVAC") systems. The new standards raise the minimum efficiency requirements for air conditioning systems and certain types of heating systems. Energy efficiency is measured by the Seasonal Energy Efficiency Ratio ("SEER"), which compares the amount of cooling (or heating) output by an HVAC system to the amount of energy (electricity or gas) input over its operating season. The higher the system's SEER value, the more energy-efficient it is and the lower the unit cost of cooling (or heating) a home.

For the first time, federal minimum-efficiency standards will vary by region. Prior to 2015 one standard, called SEER 13, applied nationwide. Now, in California, Nevada, Arizona and New Mexico (the Southwestern Region), SEER 13 has been replaced by the more efficient SEER 14 standard. In the Southwestern Region the new rule allows repairs to existing SEER 13-compliant systems. However, in many cases a full system replacement (both the indoor and outdoor unit) will be necessary to make the system compatible, and replacement is allowed only with a SEER 14-compliant unit. The higher standard may increase the replacement cost to the property owner because the SEER 14 efficiency improvements require increased complexity of the new equipment, and the SEER 14 units may not fit in the existing space, requiring structural modifications at the owner's expense. In some cases the SEER 14 standard could double the cost of replacement over the earlier replacement cost. For applicable details and codes, see the California Energy Commission web page at: [http://www.energy.ca.gov/title24/2013standards/residential\\_manual.html](http://www.energy.ca.gov/title24/2013standards/residential_manual.html) (The new federal standards go into effect on January 1, 2015, which is six months after the July 1, 2014, effective date of the 2013 Standards.)



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

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## STATEWIDE RIGHT TO FARM DISCLOSURE

### **DISCUSSION:**

If the property is presently located within one mile of a parcel of real property designated as "Prime Farmland," "Farmland of Statewide Importance," "Unique Farmland," "Farmland of Local Importance," or "Grazing Land" on the most current "Important Farmland Map" issued by the California Department of Conservation, Division of Land Resource Protection, the following notice is required:

### **NOTICE OF RIGHT TO FARM**

This property is located within one mile of a farm or ranch land designated on the current county-level GIS "Important Farmland Map," issued by the California Department of Conservation, Division of Land Resource Protection. Accordingly, the property may be subject to inconveniences or discomforts resulting from agricultural operations that are a normal and necessary aspect of living in a community with a strong rural character and a healthy agricultural sector. Customary agricultural practices in farm operations may include, but are not limited to, noise, odors, dust, light, insects, the operation of pumps and machinery, the storage and disposal of manure, bee pollination, and the ground or aerial application of fertilizers, pesticides, and herbicides. These agricultural practices may occur at any time during the 24-hour day. Individual sensitivities to those practices can vary from person to person. You may wish to consider the impacts of such agricultural practices before you complete your purchase. Please be advised that you may be barred from obtaining legal remedies against agricultural practices conducted in a manner consistent with proper and accepted customs and standards pursuant to Section 3482.5 of the Civil Code or any pertinent local ordinance.

California has a "Right to Farm Act" (Civil Code Section 3482.5) to protect farming operations. When agricultural land within the State's agricultural areas is bought and sold, the purchasers are often not made aware of the fact that there are right-to-farm laws. This has led to confusion and a misunderstanding of the actual uses of the land or uses of the surrounding agricultural lands.

In 2008 the State of California enacted Assembly Bill 2881 to limit the exposure of farmers to nuisance lawsuits by homeowners in neighboring developments. The mechanism of this bill is a formal notification of the Buyer, through a "Notice of Right to Farm" in an expert disclosure report that advises the Buyer if the subject property is within one mile of farmland as defined in the bill.

**If the seller has actual knowledge of an agricultural operation in the vicinity of the subject property that is not disclosed in this Report, and that is material to the transaction, the seller should disclose this actual knowledge in writing to the Buyer.**

**PUBLIC RECORD:** Based on the most current available version of the "Important Farmland Map" issued by the California Department of Conservation, Division of Land Resource Protection, utilizing solely the county-level GIS map data, if any, available on the Division's Farmland Mapping and Monitoring Program website, pursuant to Section 11010 of the Business and Professions Code, and Section 1103.4 of the California Civil Code.

**REPORTING STANDARD:** "IN" shall be reported and the "Notice of Right to Farm" provided if any portion of the Property is situated within, or within one mile of, a parcel of real property designated as "Prime Farmland," "Farmland of Statewide Importance," "Unique Farmland," "Farmland of Local Importance," or "Grazing Land" in the public record. "NOT IN" shall be reported if no portion of the Property is within that area.

Some counties, or parts thereof, are not included in the Public Record because they have not been mapped for farmland parcels under this State program. Typically, this is because the county area is public land and not planned for incorporation, or, in the case of San Francisco, the county is entirely incorporated. In those instances, we report "Map Not Available" above, or "Map N/A" in the table of summary determinations at the beginning of this Report.



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## NOTICE OF MINING OPERATIONS DISCLOSURE

If the Property has been determined to be located within one (1) mile of a reported mining operation(s), the following notice is provided as mandated by California law:

### NOTICE OF MINING OPERATIONS

**This property is located within one mile of a mine operation for which the mine owner or operator has reported mine location data to the Department of Conservation pursuant to Section 2207 of the Public Resources Code. Accordingly, the property may be subject to inconveniences resulting from mining operations. You may wish to consider the impacts of these practices before you complete your transaction.**

**DISCUSSION:** Historically mining operations have been located in remote areas. However, increasing urbanization has resulted in some residential projects being developed near existing mining operations.

California Public Resources Code §2207 requires owners and operators of mining operations to provide annually specific information to the California Department of Conservation ("DOC"), including but not limited to, (i) ownership and contact information, and (ii) the latitude, longitude, and approximate boundaries of the mining operation marked on a specific United States Geological Survey map. The Office of Mining Reclamation ("OMR") is a division of the DOC. Using the mandatory data specified above, OMR provides map coordinate data that can be used by GIS systems to create points representing mine locations ("OMR Maps"). For more information please visit OMR's Mines OnLine Map Viewer (<http://maps.conservation.ca.gov/mol/index.html>).

Effective January 1, 2012, California Civil Code §1103.4 requires the seller of residential property to disclose to a Buyer if the residential property is located with one (1) mile of mining operations as specified on OMR Maps.

#### **Special Notes:**

1. This statutory disclosure does not rely on the OMR's "AB 3098 List," a list of mines regulated under the Surface Mining and Reclamation Act of 1975 ("SMARA") that meet provisions set forth under California Public Resources Code §2717(b). The AB 3098 List does not include map coordinate data as required under California Public Resources Code §2207 and may not include all mining operations subject to the "Notice of Mining Operations" disclosure.

2. This "Notice of Mining Operations" disclosure is not satisfied by disclosing abandoned mines. An abandoned mine is NOT an operating mine. California Civil Code §1103.4 is satisfied only by disclosing based on OMR Maps.

**PUBLIC RECORD:** Mining operations as provided on OMR Maps made publicly available by DOC pursuant to California law.

**REPORTING STANDARD:** "IN" is reported if any portion of the Property is located within a one (1) mile radius of one or more mining operation(s) identified in the Public Record for which map coordinate data is provided. If "IN", the name of the mining operation(s) as it appears in the Public Record is also reported. "NOT IN" is reported if no portion of the Property is located within a one (1) mile radius of a mining operation specified on OMR Maps.





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## Part 4. General Advisories

### REGISTERED SEX OFFENDER DATABASE DISCLOSURE REQUIREMENT ("MEGAN'S LAW")

**Notice:** Pursuant to Section 290.46 of the Penal Code, information about specified registered sex offenders is made available to the public via an Internet Web site maintained by the Department of Justice at [www.meganslaw.ca.gov](http://www.meganslaw.ca.gov). Depending on an offender's criminal history, this information will include either the address at which the offender resides or the community of residence and ZIP Code in which he or she resides.

**DISCUSSION:** California law (AB 488), signed by the Governor on September 24, 2004, provides the public with Internet access to detailed information on registered sex offenders. The Sex Offender Tracking Program of the California Department of Justice (DOJ) maintains the database of the locations of persons required to register pursuant to paragraph (1) of subdivision (a) of Section 290.46 of the Penal Code. The online database is updated with data provided by local sheriff and police agencies on an ongoing basis. It presents offender information in 13 languages; may be searched by a sex offender's specific name, zip code, or city/county; provides access to detailed personal profile information on each registrant; and includes a map of your neighborhood.

**California Department of Justice Information Sources:**

Megan's Law Sex Offender Locator Web Site: <http://www.meganslaw.ca.gov>

California Department of Justice Megan's Law Email Address: [meganslaw@doj.ca.gov](mailto:meganslaw@doj.ca.gov)

**Local Information Locations For The Property:**

All sheriff's departments and every police department in jurisdictions with a population of 200,000 or more are required to make a CD-ROM available free to the public for viewing. Although not required, many other law enforcement departments in smaller jurisdictions make the CD-ROM available as well. Please call the local law enforcement department to investigate availability.

*The following are the law enforcement departments in your county that are REQUIRED to make information available:*

<b>Orange County Sheriff's Department</b>	(714) 647-7040
<b>Anaheim Police Department</b>	(714) 765-4311
<b>Santa Ana Police Department</b>	(714) 245-8300

**Explanation and How to Obtain Information**

For over 50 years, California has required certain sex offenders to register with their local law enforcement agencies. However, information on the whereabouts of the sex offenders was not available to the public until implementation of the Child Molester Identification Line in July 1995. The available information was expanded by California's "Megan's Law" in 1996 (Chapter 908, Stats. of 1996). Megan's Law provides certain information on the whereabouts of "serious" and "high-risk" sex offenders. The law specifically prohibits using the information to harass or commit any crime against the offender. The information on a registered sex offender includes: name and known aliases; age and sex; physical description, including scars, marks and tattoos; photograph, if available; crimes resulting in registration; county of residence; and zip code (from last registration). Accessing the online database requires agreement to the DOJ's terms of use on the web page.



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

## **GAS AND HAZARDOUS LIQUID TRANSMISSION PIPELINE DATABASE DISCLOSURE REQUIREMENT**

**DISCUSSION:** Following a number of pipeline disasters in the U.S., such as the 2010 San Bruno explosion in Northern California, there is an increased awareness of the potential dangers associated with underground transmission pipelines. As a result, the California Legislature unanimously passed Assembly Bill 1511 (Bradford), signed by Governor Jerry Brown on July 13, 2012. This law, which becomes effective January 1, 2013, is chaptered as California Civil Code Section 2079.10.5 and mandates the disclosure of the following notice to Buyers:

### **NOTICE REGARDING GAS AND HAZARDOUS LIQUID TRANSMISSION PIPELINES**

This notice is being provided simply to inform you that information about the general location of gas and hazardous liquid transmission pipelines is available to the public via the National Pipeline Mapping System (NPMS) Internet Web site maintained by the United States Department of Transportation at <http://www.npms.phmsa.dot.gov/>. To seek further information about possible transmission pipelines near the property, you may contact your local gas utility or other pipeline operators in the area. Contact information for pipeline operators is searchable by ZIP Code and county on the NPMS Internet Web site. (California Civil Code Section 2079.10.5(a))

*Civil Code Section 2079.10.5(c) adds, "Nothing in this section shall alter any existing duty under any other statute or decisional law imposed upon the seller or broker, including, but not limited to, the duties of a seller or broker under this article, or the duties of a seller or broker under Article 1.5 (commencing with Section 1102) of Chapter 2 of Title 4 of Part 4 of Division 2."*

Such "existing duties" include the disclosure of actual knowledge about a potential hazard, such as may be created by the delivery of a letter from the local utility company informing the seller that a gas transmission pipeline exists within 2,000 feet of the Property.

Beginning on the law's January 1, 2013, effective date, except where such "existing duties" apply, "Upon delivery of the notice to the transferee of the real property, the seller or broker is not required to provide information in addition to that contained in the notice regarding gas and hazardous liquid transmission pipelines in subdivision (a). The information in the notice shall be deemed to be adequate to inform the transferee about the existence of a statewide database of the locations of gas and hazardous liquid transmission pipelines and information from the database regarding those locations." (California Civil Code Section 2079.10.5(b))

The disclosure of underground transmission pipelines helps the parties in a real estate transaction make an informed decision and is in the best interest of the public. Buyer should be aware that, according to the NPMS Internet Web site, gas and/or hazardous liquid transmission pipelines are known to exist in 49 of California's 58 counties, the exceptions being in rural mountainous parts of the state. Every home that utilizes natural gas is connected to a gas "distribution" pipeline, which is generally of smaller size and lower pressure than a transmission pipeline.

#### **For More Information**

To investigate whether any pipeline easement (right-of-way) exists on the Property, Buyer should review the Preliminary Title Report. Buyer should consult an attorney for interpretation of any law. This notice is for information purposes only and should not be construed as legal advice.



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## **METHAMPHETAMINE CONTAMINATED PROPERTY DISCLOSURE ADVISORY**

**DISCUSSION:** According to the "Methamphetamine Contaminated Property Cleanup Act of 2005" a property owner must disclose in writing to a prospective buyer if local health officials have issued an order prohibiting the use or occupancy of a property contaminated by meth lab activity. The owner must also give a copy of the pending order to the buyer to acknowledge receipt in writing. Failure to comply with these requirements may subject an owner to, among other things, a civil penalty up to \$5,000. Aside from disclosure requirements, this new law also sets forth procedures for local authorities to deal with meth-contaminated properties, including the filing of a lien against a property until the owner cleans up the contamination or pays for the cleanup costs.



# FANHD Residential Property Disclosure Reports Natural Hazard Disclosure (NHD) Report For ORANGE County

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## MOLD ADVISORY

**DISCUSSION:** The Buyer is hereby advised that naturally occurring molds may exist both inside and outside of any home and may not be visible to casual inspection. Persons exposed to extensive mold levels can become sensitized and develop allergies to the mold or other health problems. Extensive mold growth can damage a structure and its contents. All prospective purchasers of residential and commercial property are advised to thoroughly inspect the Property for mold. Be sure to inspect the Property inside and out for sources of excess moisture, current water leaks and evidence of past water damage.

As part of a buyer's physical inspection of the condition of a property, the buyer should consider engaging an appropriate and qualified professional to inspect and test for the presence of harmful molds and to advise the buyer of any potential risk and options available. This advisory is not a disclosure of whether harmful mold conditions exist at a property or not. No testing or inspections of any kind have been performed by The Company. Any use of this form is acknowledgement and acceptance that The Company does not disclose, warrant or indemnify mold conditions at a property in any way and is not responsible in any way for mold conditions that may exist. Information is available from the California Department of Health Services Indoor Air Quality Section fact sheet entitled, "Mold in My Home: What Do I Do?" The fact sheet is available at <https://archive.cdph.ca.gov/programs/IAQ/Pages/IndoorMold.aspx> or by calling (510) 620-3620.

The Toxic Mold Protection Act of 2001 requires that information be developed regarding the potential issues surrounding naturally occurring molds within a home. Information was written by environmental authorities for inclusion in the *Residential Environmental Hazards: A Guide for Homeowners, Buyers, Landlords and Tenants* booklet developed by the California Environmental Protection Agency and the Department of Health Services. It is found in Chapter VII of that booklet, and includes references to sources for additional information.

**For local assistance, contact your county or city Department of Health, Housing, or Environmental Health.**



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## RADON ADVISORY

**DISCUSSION:** For its Radon Advisory, FANHD uses the updated assessment of radon exposure published in 1999 by the Lawrence Berkeley National Laboratory (LBNL) and Columbia University, under support from the U.S. Environmental Protection Agency (EPA), the National Science Foundation, and the US Department of Energy (published online at <http://www2.lbl.gov/Science-Articles/Archive/radon-risk-website.html>). Based on this recent assessment, FANHD radon advisory is as follows:

**All of California's 58 counties have a predicted median annual-average living-area concentration of radon below 2.0 pCi/L (picocuries per liter of indoor air) -- which is well below the EPA's guideline level of 4 pCi/L and equivalent to the lowest hazard zone (Zone 3) on the 1993 EPA Map of Radon Zones.**

The "median concentration" means that half of the homes in a county are expected to be below this value and half to be above it. All houses contain some radon, and a few houses will contain much more than the median concentration. **The only way to accurately assess long-term exposure to radon in a specific house is through long-term testing (sampling the indoor air for a year or more). The EPA recommends that all homes be tested for radon.** Columbia University's "Radon Project" website offers help to homeowners in assessing the cost vs. benefit of testing a specific house for radon or modifying it for radon reduction (see <http://www.stat.columbia.edu/~radon/>).

**NOTE:** FANHD does not use the EPA's 1993 map for advisory purposes because that map shows "short-term" radon exposure averaged by county. It was based on "screening measurements" that were intentionally designed to sample the worst-case conditions for indoor air in US homes--using spot checks (sampling for just a few days), in the poorest air quality (with sealed doors and windows), at the worst time of the year (winter), in the worst part of the house (the basement, if one was available). These short-term, winter, basement measurements are both biased and variable compared to long-term radon concentrations (averaged over a year) in the living area of a house. Long-term concentrations are a more accurate way to judge the long-term health risk from radon. For the above reasons, the EPA expressly disclaims the use of its 1993 map for determining whether any house should be tested for radon, and authorizes no other use of its map for property-specific purposes. For additional information about EPA guidelines and radon testing, see "Chapter VII--Radon", in the California Department of Real Estate's *Residential Environmental Hazards: A Guide for Homeowners, Homebuyers, Landlords and Tenants*.

## ENDANGERED SPECIES ACT ADVISORY

**DISCUSSION:** The Federal Endangered Species Act of 1973 ("ESA"), as amended, requires that plant and animal species identified and classified ("listed") by the Federal government as "threatened" or "endangered" be protected under U.S. law. Areas of habitat considered essential to the conservation of a listed species may be designated as "critical habitat" and may require special management considerations or protection. All threatened and endangered species -- even if critical habitat is not designated for them -- are equally afforded the full range of protections available under the ESA.

In California alone, over 300 species of plants and animals have been designated under the ESA as threatened or endangered, and over 80 species have critical habitats designated for them. Most California counties are host to a dozen or more protected species and, in many cases, 10 or more species have designated critical habitats within a county.

**ADVISORY:** An awareness of threatened and endangered species and/or critical habitats is not reasonably expected to be within the actual knowledge of a seller.

No federal or state law or regulation requires a seller or seller's agent to disclose threatened or endangered species or critical habitats, or to otherwise investigate their possible existence on real property. Therefore, Buyer is advised that, prior to purchasing a vacant land parcel or other real property, Buyer should consider investigating the existence of threatened or endangered species, or designated critical habitats, on or in the vicinity of the Property which could affect the use of the Property or the success of any proposed (re)development.

**FOR MORE INFORMATION:** Complete and current information about the threatened and endangered species in California that are Federally listed in each county -- including all critical habitats designated there -- is available on the website of the U.S. Fish & Wildlife Service, the Federal authority which has enforcement responsibility for the ESA.

**U.S. Fish & Wildlife Service Endangered Species Database (TESS)**

[http://ecos.fws.gov/tess\\_public/](http://ecos.fws.gov/tess_public/)



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## ABANDONED MINES ADVISORY

**DISCUSSION:** According to the California Department of Conservation, Office of Mine Reclamation, since the Gold Rush of 1849, tens of thousands of mines have been dug in California. Many were abandoned when they became unproductive or unprofitable. The result is that California's landscape contains many thousands of abandoned mines, which can pose health, safety, or environmental hazards on and around the mine property. Mines can present serious physical safety hazards, such as open shafts or adits (mine tunnel), and they may create the potential to contaminate surface water, groundwater, or air quality. Some abandoned mines are such massive problems as to earn a spot on the Federal Superfund environmental hazard list.

No California law requires the disclosure of abandoned mines in a real estate transaction, unless the existence of an abandoned mine is within the actual knowledge of the Seller and is deemed to be a fact material to the transaction.

The Office of Mine Reclamation (OMR) and the U.S. Geological Survey maintain a database of abandoned mines -- however, it is known to be incomplete and based on maps that are often decades out of date. Many mines are not mapped because they are on private land. The OMR warns that, *"Many old and abandoned mines are not recorded in electronic databases, and when they are, the information may not be detailed enough to accurately define, differentiate or locate the mine feature, such as a potentially hazardous vertical shaft or horizontal adit or mine waste."* (See reference below.)

**Accordingly, this Report does not contain an abandoned mines disclosure from any government database or map or any other source, in order to protect the seller from liability for non-disclosure of unrecorded abandoned mines.**

Parties concerned about the possible existence or impact of abandoned mines in the vicinity of the Property are advised to retain a State-licensed geotechnical consultant to study the site and issue a report. Other sources of information include, but are not limited to, the State Office of Mine Reclamation at (916) 323-9198 (website: <http://www.conservation.ca.gov/OMR>), and the Engineering, Planning or Building Departments in the subject City and County.

**FOR MORE INFORMATION:** For more information visit the State Office of Mine Reclamation's website at: [http://www.conservation.ca.gov/omr/abandoned\\_mine\\_lands/Pages/index.aspx](http://www.conservation.ca.gov/omr/abandoned_mine_lands/Pages/index.aspx)

## OIL & GAS WELL ADVISORY

California is currently ranked fourth in the nation among oil producing states. Surface oil production is concentrated mainly in the Los Angeles Basin and Kern County, and in districts elsewhere in the state. In recent decades, real estate development has rapidly encroached into areas where oil production has occurred. Because the state's oil production has been in decline since the 1980's, thousands of oil and gas wells have been shut down or abandoned, and many of those wells are in areas where residential neighborhoods now exist.

According to the California Department of Conservation ("DOC"), to date, about 230,000 oil and gas wells have been drilled in California and around 105,000 are still in use. The majority of remaining wells have been sealed ("capped") under the supervision of the DOC's Division of Oil, Gas and Geothermal Resources. A smaller number have been abandoned and have no known responsible operator -- these are called "orphan" wells. The state has a special fund that pays the cost of safely capping orphan wells, however, that program is limited in its scope and progress.

**Buyer should be aware that, while the DOC database is the most comprehensive source available for California oil and gas well information, the DOC makes no warranties that the database is absolutely complete, or that reported well locations are known with absolute accuracy.**

### For More Information

For a search of the state's databases of oil and gas wells and sites of known environmental contamination on or near the Property, please obtain the FANHD Residential Environmental Report. For general information, visit the California Department of Conservation, Division of Oil, Gas, and Geothermal Resources at <http://www.consrv.ca.gov/dog>.



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## TSUNAMI MAP ADVISORY

**DISCUSSION:** The California Emergency Management Agency (CalEMA), the University of Southern California Tsunami Research Center (USC), and the California Geological Survey (CGS) have prepared maps that depict areas of maximum tsunami inundation for all populated areas at risk to tsunamis in California (20 coastal counties). The maps were publicly released in December 2009 with the stated purpose that the maps are to assist cities and counties in identifying their tsunami hazard and developing their coastal evacuation routes and emergency response plans only.

These maps specifically contain the following disclaimer:

**Map Disclaimer:** This tsunami inundation map was prepared to assist cities and counties in identifying their tsunami hazard. It is intended for local jurisdictional, coastal evacuation planning uses only. This map, and the information presented herein, **is not a legal document and does not meet disclosure requirements for real estate transactions nor for any other regulatory purpose.** The California Emergency Management Agency (CalEMA), the University of Southern California (USC), and the California Geological Survey (CGS) make no representation or warranties regarding the accuracy of this inundation map nor the data from which the map was derived. Neither the State of California nor USC shall be liable under any circumstances for any direct, indirect, special, incidental or consequential damages with respect to any claim by any user or any third party on account of or arising from the use of this map.

A tsunami is a series of ocean waves or surges most commonly caused by an earthquake beneath the sea floor. These maps show the maximum tsunami inundation line for each area expected from tsunamis generated by undersea earthquakes and landslides in the Pacific Ocean. Because tsunamis are rare events in the historical record, the maps provide no information about the probability of any tsunami affecting any area within a specific period of time.

Although these maps may not be used as a legal basis for real estate disclosure or any other regulatory purpose, the CGS has, however, provided diagrams of the maps online which the public can view. To see a maximum tsunami inundation map for a specific coastal community, or for additional information about the construction and/or intended use of the tsunami inundation maps, visit the websites below:

State of California Emergency Management Agency, Earthquake and Tsunami Program:  
<http://myhazards.calema.ca.gov/>

University of Southern California -- Tsunami Research Center:  
<http://www.usc.edu/dept/tsunamis/2005/index.php>

State of California Geological Survey Tsunami Information:  
[http://www.conservation.ca.gov/cgs/geologic\\_hazards/Tsunami/index.htm](http://www.conservation.ca.gov/cgs/geologic_hazards/Tsunami/index.htm)

National Oceanic and Atmospheric Agency Center for Tsunami Research (MOST model):  
<http://nctr.pmel.noaa.gov/time/background/models.html>

**END OF NATURAL HAZARD DISCLOSURE REPORT SECTION**  
**See Terms and Conditions at end of this Report.**



# FANHD Residential Property Disclosure Reports

## Property Tax Disclosure Report

### For ORANGE County

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## California Property Tax Disclosure Report

The parties for whom this Report was prepared are the owner ("Seller") of the Residential Property ("Property") on the Report Date, the buyer ("Buyer") of the Residential Property from Seller as of the Report Date, and their respective licensed real estate agents ("Agents"). Seller, Buyer and the Agents are sometimes referred to herein as "Party" or "Parties."

### Part 1. Introduction and Summary

This Tax Report section discusses the results of an electronic search of specified government lists ("Databases") containing real property tax information and geographic data concerning the Residential Property. To understand the information provided, please read this entire Report.

#### Summary of Property Tax Determinations

The Residential Property:	IS	IS NOT		
A.		<b>X</b>	NOT SUBJECT TO a Mello-Roos Community Facilities District.	<a href="#">29</a>
B.		<b>X</b>	NOT SUBJECT TO a 1915 Bond Act District.	<a href="#">29</a>
C.	<b>X</b>		SUBJECT TO one or more other direct assessments.	<a href="#">30</a>
D.		<b>X</b>	NOT SUBJECT TO the State Responsibility Area Fire Prevention Fee (SRA Fee is suspended until 2031 by Assembly Bill 398 of 2017).	<a href="#">34</a>

Determined by First American Professional Real Estate Services, Inc.

**THIS IS A DATABASE REPORT ONLY:** The tax information in this Report only provides data derived from County Tax Assessor's and Treasure's Databases ("Databases") identified in this Report. While FANHD has made good faith efforts to report from the Databases as accurately as possible, the quality, accuracy, and currency ("Database Date") of the information contained in these Databases can vary greatly. For more information regarding a specific Database, please read Part 2 of this Report. By use of this Report, transferee agrees this is a Report product and not an insurance policy and is subject to the Terms and Conditions attached hereto and incorporated herein.

*This Report satisfies Seller's obligations to disclose (a) Mello-Roos and 1915 Act Bond Assessments applicable to the Residential Property as required by California Civil Code Section 1102.6b, and (b) Supplemental Taxes as required by California Civil Code Section 1102.6c.*





# FANHD Residential Property Disclosure Reports

## Property Tax Disclosure Report

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## Part 2. NOTICE OF SPECIAL TAX/ASSESSMENT

Special assessments, also referred to as direct or fixed assessments, are charges that are not based on the value of the property. These charges are levied to provide funding for services or improvements that directly benefit the property. Mello Roos Community Facility Districts and 1915 Bond Districts are also classified as special assessments. Certain special assessments may be subject to accelerated foreclosure if allowed to go delinquent.

**TO THE PROSPECTIVE PURCHASER OF THE RESIDENTIAL PROPERTY AT THE ADDRESS REFERENCED ABOVE: THIS IS A NOTIFICATION TO BUYER PRIOR TO PURCHASING THE RESIDENTIAL PROPERTY.**

### A. Mello-Roos Community Facilities Districts

**This Residential Property is NOT SUBJECT to Mello-Roos Community Facilities Districts.**

Database Date: FY 2018-2019

### B. 1915 Bond Act Assessment Districts

**This Residential Property is NOT SUBJECT to 1915 Bond Assessment Districts.**

Database Date: FY 2018-2019

### C. Accelerated Foreclosure Information

Certain assessment or bond issues may contain accelerated foreclosure liens which have priority over other real property taxes and are a legal right included as part of the security for the obligation. The issuers of such bonds are often contractually required to monitor and collect delinquent assessments quickly. Accordingly these assessments are not subject to the five (5) year waiting period applicable to ad valorem real property taxes. If the real property is subject to such an assessment and the taxes are not paid promptly, the real property may be foreclosed upon and sold at public auction on an expedited basis. **Therefore, it is extremely important that the real property tax bill be paid on time to prevent the accelerated foreclosure.**

### D. Notice of Property Assessed Clean Energy (PACE) Program

Property assessed clean energy (PACE) programs allow property owners to finance energy efficiency, water efficiency and renewable energy projects on residential and commercial structures through a voluntary special tax assessment on the property. PACE programs are offered by many city, county and regional planning agencies, and have repayment periods ranging from 5 to 20 years however some may be longer.

**WHAT THIS MEANS:** If a property owner voluntarily enters into a PACE program, a contractual assessment lien is placed on the property. The lien is repaid through installments collected on the property owner's secured county property tax bill. In certain situations the program administrator may bill the property owner directly. If the property is sold and the contractual assessment is not repaid in full, the new owner may be responsible for future assessments contributing towards repayment of the PACE contract.

**DISCLOSURES AT RESALE:** A PACE lien runs with the land. This means that the responsibility to repay the PACE lien may fall to the new owner upon transfer of the property unless the lien is paid off before closing. This fact may be material to a buyer's decision to purchase or price offered for the property. In addition, the buyer's lender may require the lien to be paid in full before closing (for certain federally backed mortgages, for example). Therefore, the property seller and his or her real estate agent may have a duty to disclose the existence of a PACE lien on the sale property.

**The Property IS NOT SUBJECT to a PACE Program Contract documented in the county's Fiscal Year 2018-2019 property tax roll. To discover a PACE lien on the Property executed more recently, the buyer should read the preliminary title report and obtain and read all exceptions listed therein. Note that, in the title report, lien exceptions are named as recorded with the county; therefore, a PACE lien may be listed under a name that is not obvious.**

### E. Approved Assessment Districts Which Have Been Formed and Authorized But Are Not Yet Funded

Certain assessment districts may have been formed and authorized but have not yet been funded. Accordingly no assessment lien will appear in the County Assessor records. However, the information regarding such districts may appear on your preliminary report issued by a title company. If the assessment district has not been formed or funded, the improvements have also not been constructed. If the district is subsequently formed, the assessments may then appear on the property tax bill.



# FANHD Residential Property Disclosure Reports

## Property Tax Disclosure Report For ORANGE County

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### Part 3. Current Property Tax Bill Summary

#### A. Summary of 2018-2019 Property Tax Bill

The following is a summary of Database information obtained from the ORANGE COUNTY Secured Property Tax Roll for Tax Year 2018-2019 ("Database Date"). This summary is provided for informational purposes only. The summary includes Ad Valorem taxes which are based on the property's Assessed Value as well as other Non- Ad Valorem Direct or Special Assessments. Upon transfer of ownership, the Assessed Value may be reset to the Current Market Value or Sale Price which may result in a substantial change in the Ad Valorem taxes assessed. Please see Parts 4 and 5 of this Report for more information regarding Ad Valorem taxes and Supplemental taxes.

Total Assessed Value:	\$3,343,418.00
1st Installment Due 11/01/2018	\$21,919.67
2nd Installment Due 02/01/2019	\$21,919.67
Total Annual Tax Liability	\$43,839.34

#### General Ad Valorem Taxes

AGENCY	DESCRIPTION	AMOUNT	CONTACT PHONE
ORANGE COUNTY	GENERAL ADVALOREM TAXES	\$36,927.38	714-834-2727
	<b>TOTAL AD VALOREM TAXES</b>	<b>\$36,927.38</b>	

#### Direct and/or Special Assessments

AGENCY	DESCRIPTION	AMOUNT	CONTACT PHONE
ORANGE COUNTY VECTOR CONTROL DISTRICT	VECTOR CONTROL CHG	\$6.24	(800) 273-5167
COSTA MESA SANITARY DIST	SANITARY ASMT	\$2,862.72	(949) 645-8400
ORANGE COUNTY VECTOR CONTROL DISTRICT	MOSQ,FIRE ANT ASSMT	\$26.18	(800) 273-5167
MUNICIPAL WATER DISTRICT	MWD WATER STDBY CHG	\$15.54	(714) 963-3058
ORANGE CO SANITATION DIST	OCSD SEWER USER FEE	\$4,001.28	714-834-2727
	<b>TOTAL DIRECT ASSESSMENTS</b>	<b>\$6,911.96</b>	

#### B. Available Senior Citizen Exemptions

Certain districts that levy special taxes or assessments may offer exemptions to Senior Citizens. These exemptions can result in substantial savings to qualified tax payers. The filing of an application along with annual renewal may be required. Below is the contact information for requesting details on filing exemptions for districts that may offer a Senior Citizen Exemption. Additional Direct Assessment Districts may offer exemptions. Therefore you may want to contact the districts to determine their policy on Senior Citizen Exemptions.

No Senior Citizen Exemptions listed as of the most recent update from the County.  
See Part 4B for additional information on other exemptions that may be available to Buyer.



# FANHD Residential Property Disclosure Reports

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### Part 4. Estimating Property Taxes After the Sale

Instantly calculate estimated property taxes and supplemental taxes on our website (or manually calculate them below):

<https://orderform.fanhd.com/Order/TaxCalcForm?guid=A5AF3D7624FB4AB09A449E02B0E05672>

#### A. Calculating Property Taxes After Sale (ESTIMATE ONLY)

##### PROPERTY TAX ESTIMATOR

The following calculation method is provided to assist Buyer in estimating the approximate amount of property tax charges that the Residential Property may be subject to for the upcoming tax year based on the assessed valuation being equal to the sales price. The amount derived is only an estimate and is not a substitute for a tax bill from the County, nor does it anticipate new property tax charges, fees or other changes in the property tax rates for future tax years.

1	Estimated Sales Price.....	• 1	\$	_____
2	Estimated Ad Valorem Tax Rate.....	• 2		<u>0.0110400</u>
3	Multiply line 1 by line 2. This is your Estimated Ad Valorem Tax.....	• 3	\$	_____
4	Direct Assessments including Mello Roos Special Taxes and 1915 Bond Act Assessments if applicable.....	• 4	\$	<u>6,911.96</u>
5	Add lines 3 and 4. Total Estimated Annual Tax Amount After Sale.....	• 5	\$	_____

The information in this subparagraph A is an estimate only. The purpose of this "ESTIMATOR" is to assist Buyer in planning for property taxes which will be applicable after the Sale Date. This "ESTIMATOR" requires the Buyer's projection of the purchase price of the Residential Property. Please note that potential exemptions and exclusions are not reflected in this estimate. **Additionally, unimproved or recently developed properties may be subject to additional Direct Assessments not included in this estimate. FANHD is not responsible or liable for any losses, liabilities or damages resulting from use of this Property Tax Estimator.**

#### B. Exemptions & Exclusions to Ad Valorem Taxes

California law provides certain exemptions from reassessments. The following is a list of common exemptions which may be available:

- Homeowner exemption (California Constitution Art XIII, §3 & R&T Code §218)
- Honorably discharged veterans (California Constitution Art XIII, §3 & R&T Code §205)
- Disabled veterans (California Constitution Art XIII, §4 & R&T Code §205)

California law also provides certain exclusions from reassessment. The following is a list of common exclusions which may be available:

- Persons over 55 years of age (R&T Code § 69.5)
- Severely and permanently disable persons (R&T Code § 69.5(a))
- Transfers between parents and children and grandparents and grandchildren (R&T Code § 63.1)
- Transfers into revocable trusts (R&T Code § 62)
- Interspousal transfers (R&T Code § 63)
- Improvements for seismic retrofitting (R&T Code § 74.5)
- Improvements for disabled access (R&T Code § 74.3)
- Replacement of property damaged or destroyed by disaster (R&T Code § 69)

In order to determine if Buyer may qualify for any exemptions or exclusions or to obtain a comprehensive list of available exemptions and exclusions, please contact the county tax assessor's office (714-834-2727) or visit the county website at <http://ocgov.com/gov/assessor>. Additional information is also available on the website for the California Board of Equalization at [www.boe.ca.gov](http://www.boe.ca.gov)



FANHD Residential Property Disclosure Reports  
Property Tax Disclosure Report  
For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

## Part 5. Supplemental Property Tax Information

### A. General Information Regarding Supplemental Taxes

California law mandates the county assessor to reappraise real property upon a change in ownership or completion of new construction. The assessor's office issues a supplemental assessment which reflects the difference between the prior assessed value and the new assessment. This value is prorated based on the number of months remaining in the fiscal tax year which ends June 30.

Notices of the supplemental assessment are mailed out to the property owners prior to the issuance of the supplemental tax bill or refund if the value is reduced. The taxes or refund based on the supplemental assessment are in addition to the regular annual tax bill.

The supplemental tax will be due from the current owner in addition to the regular tax assessment. Accordingly for the first year of ownership, Buyer should plan for this additional payment.

### B. Supplemental Property Tax Disclosure

The following notice is mandated by California Civil Code Section 1102.6c:

#### **NOTICE OF YOUR "SUPPLEMENTAL" PROPERTY TAX BILL**

**"California property tax law requires the Assessor to revalue real property at the time the ownership of the property changes. Because of this law, you may receive one or two supplemental tax bills, depending on when your loan closes.**

**The supplemental tax bills are not mailed to your lender. If you have arranged for your property tax payments to be paid through an impound account, the supplemental tax bills will not be paid by your lender. It is your responsibility to pay these supplemental bills directly to the Tax Collector.**

**If you have any question concerning this matter, please call your local Tax Assessor or Collector's Office."**

ORANGE County Assessor

Phone: 714-834-2727

Website: <http://ocgov.com/gov/assessor>



# FANHD Residential Property Disclosure Reports

## Property Tax Disclosure Report For ORANGE County

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### C. Calculating Supplemental Taxes After Sale (ESTIMATE ONLY)

Instantly calculate estimated property taxes and supplemental taxes on our website (or manually calculate them below):  
<https://orderform.fanhd.com/Order/TaxCalcForm?guid=A5AF3D7624FB4AB09A449E02B0E05672>.

#### SUPPLEMENTAL TAX ESTIMATOR

The following schedule is provided to estimate the potential amount of the supplemental taxes on a given property and does NOT include the amount of the regular annual ad valorem property tax. The following calculation provides an estimate of the supplemental property taxes that can be expected during the first year of ownership, and should be used for planning purposes only.

1	Estimated Sales Price.....	• 1	\$	_____
2	Estimated Current Assessed Value.....	• 2	\$	<u>3,343,418.00</u>
3	Subtract line 2 from line 1. Estimated Supplemental Assessed Value.....	• 3	\$	_____
4	Multiply line 3 by 0.0110400 (the Estimated Ad Valorem Tax Rate for the Residential Property). Estimated Full-Year <b>Supplemental</b> Tax Obligation.....	• 4	\$	_____

**If the Sale Date for the Residential Property falls during the months of January through May, Buyer will receive TWO supplemental tax bills: (a) one for the current partial tax year; and (b) one for the next full tax year. The supplemental taxes can be estimated by completing lines 5 through 8 below:**

5	Enter the Month-of-Sale Factor from TABLE 1 below.....	• 5		_____
6	Multiply line 4 by line 5. Estimated Supplemental Tax Bill # 1.....	• 6	\$	_____
7	Enter the amount on line 4. Estimated Supplemental Tax Bill # 2.....	• 7	\$	_____
8	Add lines 6 and 7. Total estimated Supplemental Tax Bill.....	• 8	\$	_____

**If the Sale Date for the Residential Property falls during the months of June through December, Buyer will receive ONE supplemental tax bill. The supplemental tax can be estimated by completing lines 9 and 10 below:**

9	Enter the Month-of-Sale Factor from TABLE 2 below.....	• 9		_____
10	Multiply line 4 by line 9. Total estimated Supplemental Tax Bill.....	• 10	\$	_____

**TABLE 1. Month-of-Sale Factor**

<b>Jan</b>	0.4167
<b>Feb</b>	0.3333
<b>Mar</b>	0.2500
<b>Apr</b>	0.1667
<b>May</b>	0.0833

**TABLE 2. Month-of-Sale Factor**

<b>Jun</b>	1.0000
<b>Jul</b>	0.9167
<b>Aug</b>	0.8333
<b>Sept</b>	0.7500
<b>Oct</b>	0.6667
<b>Nov</b>	0.5833
<b>Dec</b>	0.5000

The information in this subparagraph C is an estimate only. The purpose of this "ESTIMATOR" is to assist Buyer in planning for the supplemental taxes. The estimated supplemental tax is not a substitute for the supplemental bill and may not be relied upon as such. This "ESTIMATOR" requires the Buyer's projection of the purchase price of the Residential Property as well as month in which the transaction will be consummated. Please note that potential exemptions and exclusions are not reflected in these estimations FANHD is not responsible or liable for any losses, liabilities or damages resulting from use of this Supplemental Tax Estimator.



# FANHD Residential Property Disclosure Reports

## Property Tax Disclosure Report

### For ORANGE County

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## Part 6. State Responsibility Area Fire Prevention Fee

In 2011, the California Legislature and Governor enacted a "Fire Prevention Fee" on habitable structures in the State's wildland fire responsibility area ("SRA"). The yearly fee, levied on property owners, paid for various activities to prevent and suppress wildfires in the SRA, and was most recently at the rate of \$152.33 per habitable structure on the property.

**Effective July 1, 2017, as authorized by Assembly Bill 398 and signed by the Governor, that fire prevention fee is suspended until 2031.**

The fire prevention activities supported by the fee will continue, but instead will be funded through a different State program – one aimed at curbing industrial emissions of carbon dioxide (also known as California's "cap-and-trade" program). For more information, please refer to the text of the Assembly bill at the following link:  
[http://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill\\_id=201720180AB398](http://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=201720180AB398)



# FANHD Residential Property Disclosure Reports

## Property Tax Disclosure Report

### For ORANGE County

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## Part 7. Private Transfer Fee Advisory

**Private Transfer Fee.** This is a fee imposed by a private entity such as a property developer, home builder, or homeowner association, when a property within a certain type of subdivision is sold or transferred. (It is commonly known as a "Private Transfer Tax".) It is NOT the same as a city or county Documentary Transfer Tax. A Private Transfer Fee may apply in addition to government Documentary Transfer Taxes that are due upon sale or transfer of the Property.

**Transfer Fee Defined.** California Civil Code Section 1098 defines a "Transfer Fee".

**Effective January 1, 2008, if the payment of any Transfer Fee is required in the sale or transfer of the Property, Civil Code Section 1102.6e requires Seller to notify Buyer of the existence of the fee and to disclose certain specific information about the fee.**

**How to Determine the Existence of a Transfer Fee.** If a Transfer Fee does exist affecting the Property, the document creating the fee may be on file with the County Recorder as a notice recorded against the Property and should be disclosed in the preliminary (title) report on the Property. However, the preliminary (title) report will merely disclose the existence of the documents affecting title, not the content of the documents. The title of a document may also not be sufficient to disclose that a Transfer Fee is included in its terms. Accordingly Seller should (a) request the title company which issued the preliminary (title) report to provide copies of the documents shown as "exceptions," and (b) review each document to determine if it contains a Transfer Fee.

**Parties are advised that documents regarding any Transfer Fee should be obtained early in the sale process in order to avoid delays in the transaction process and to ensure full disclosure as required by law.**

**To determine if the Property is subject to a Transfer Fee, OBTAIN COPIES OF ALL OF THE EXCEPTIONS LISTED ON THE PRELIMINARY (TITLE) REPORT FROM THE TITLE COMPANY AND READ THEM TO DETERMINE IF ANY TRANSFER FEES ARE APPLICABLE.**

**END OF TAX DISCLOSURE REPORT SECTION**  
**See Terms and Conditions at end of this Report.**



# FANHD Residential Property Disclosure Reports

## Environmental Screening Report

### For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
 COSTA MESA, ORANGE COUNTY, CA 92626  
 ("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

## Environmental Screening Report

### Part 1. Introduction and Summary

The parties to the Transaction to which this Report applies ("Parties") are the owner ("Seller") of the Residential Property ("Property") on the Report Date, the buyer ("Buyer") of the Residential Property under contract of sale as of the Report Date, and their respective licensed real estate agents ("Agents"). Seller, Buyer and the Agents are sometimes referred to herein as "Party" or "Parties." FANHD and the Parties are the parties to the contract that is entered into by the purchase of this Report.

**This Report discloses the results of an electronic search of specified federal and state level environmental-hazard record systems ("Databases") that are known to include contamination sites ("Sites").**

The Databases are searched for hazard Sites at standard distances from the Property. The standard search distance is not the same for all Databases, but depends upon the nature of the environmental hazard represented in the Database. FANHD uses search distances that comply with the U.S. Environmental Protection Agency (EPA) "All Appropriate Inquiry" (AAI) standard for government records search (40 CFR Part 312.26) under the U.S. Small Business Liability Relief and Revitalization Act ("the Brownfields Law")

#### POINT AND LINE SOURCE METHODOLOGY

This Report does not identify the precise areas actually contaminated by an environmental hazard; rather, as a reasonable approximation, it identifies "point sources" for contamination, such as a specific Site address where a leaking underground tank was recorded. The address does not precisely reflect the location of the source of contamination on the Site, nor will it indicate the potential spread of any contamination from that source. In addition, any point source that lies beyond the standard distance searched for each Database will not be reflected in this Report -- even if it is known to be the origin of a larger contaminated area. Point sources are included in this Report as of the time they are identified in the government Database consulted by the Company. Please note that the Gas Transmission and Hazardous Liquid Pipeline disclosure (in Part 4) is based on the Property's location with respect to "line sources" represented in that Database.

The perchlorate contamination plume that is known to have affected groundwater in parts of Morgan Hill, San Martin, and possibly Gilroy is an example of a hazard Study Area. The point source responsible for it, reported to be in Morgan Hill, has not yet been officially listed on a publicly-available government site list. For current information about that Study Area, please contact the Santa Clara Valley Water District Perchlorate Hotline at 1-888-Hey-Noah (1-888-439-6624).

**To understand the information provided, please read this entire Environmental Screening Report including Part 1 through Part 6. Information about a specific Database or standard search distance is provided in Part 5.**

### Part 2. Sites Identified in Environmental Records Search

A Site must have a complete address in order for its location to be known and its distance from the Property measured. Only Sites having a complete address in the Database searched are included in this section. Site "Distance" is the straight line distance in miles between the geocoded address (latitude and longitude) of the Site and the geocoded address of the Property. If the Public Record includes a Site that is within the standard distance searched for that Database category, then that Site is (1) listed as "Found" in the table below and at the beginning of this disclosure Report is (2) shown on the "Map of Sites Found" and (3) noted as "IN" in the "Summary of Environmental Screening Determinations" for the applicable Database category. FANHD recommends further investigation of any Site(s) listed below.

Codes indicating the status of a Site are explained as follows:

**Open** = Site listed as undergoing clean-up, investigation, or referral to another agency; or as non-active, abandoned or absorbed but not closed or completed.

**Closed** = Site listed as clean-up completed, release secured, no further remedial action planned, case closed, or delisted.

**Active (or Inactive)** = Site facility listed as actively (or not actively) engaged in a type of activity regulated under RCRA.

**N/A** = Not Applicable - site listed as uncontaminated, or as using or storing hazardous substances.

**N/P** = Not Provided - site status not supplied on agency list used.

Found	None Found	Database Searched (with standard search distance)
	X	National Priorities List (Federal "Superfund" list) - 1 mile
	X	Federal Resource Conservation and Recovery Act (RCRA) - Corrective Actions List - 1 mile
	X	California State Response List (includes Active Annual Workplan, AWP, sites) - 1/2 mile





# FANHD Residential Property Disclosure Reports

## Environmental Screening Report

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X	California Spills, Leaks, Investigation and Cleanup (SLIC) List - 1/2 mile			
	Site Name	Address	Case No.	Status
	SIGMA CIRCUITS	2970 AIRWAY AVENUE, COSTA MESA, CA	SLT8R1824103	Closed
	ORANGE COUNTY FIRE STATION #33	18992 IKE JONES RD, SANTA ANA, CA 92707	T0605900437	Open
	SANTA ANA TOWER F.A.A.	18990 IKE JONES RD, SANTA ANA, CA 92707	T0605900442	Open
	CIMCO, INC.	265 BRIGGS AVENUE, COSTA MESA, CA	SLT8R0603944	Closed
	VALENTEC-WELLS, INC.	3190 PULLMAN STREET, COSTA MESA, CA 92626	SL208263881	Closed
	Olen Properties - Airport Business Center	3100 Airway Ave, Costa Mesa, CA 92626	T10000010077	Open
X	California Solid Waste Landfill Sites (SWIS) List - 1/2 mile			
X	California Leaking Underground Storage Tank (LUST) List (see status explanation below) - 1/4 mile			
	Site Name	Address	Case No.	Status
	JOHN WAYNE AIRPORT FIRE STN #33	366 PAULARINO ROAD, SANTA ANA, CA 92626	T0605901723	Closed
	CANON BUSINESS MACHINES	3191 RED HILL, COSTA MESA, CA 92626	T0605901019	Closed

**CLOSED SITES REMAIN OFFICIALLY LISTED:** All Sites listed on the State's Leaking Underground Storage Tank Information System (LUSTIS) have been identified to have had a leaking storage tank. Many LUST Sites have been cleaned up and their cases "Closed", and this is noted above if applicable. Parties should be aware that LUST Sites remain in the LUSTIS database even after they have been closed, and are included in this Report if found by our search. Leaking underground storage tanks are the most common type of contamination.

Storage tank leaks are often less extensive than other types of contamination releases and usually do not extend beyond the real property on which the tank is located. **For specific information about a Site listed above, please see Part 5 of this Report and contact the agency responsible for maintaining that Database.**

### PART 3. Sites Missing Key Location Information

Many environmental hazard Sites in the Databases searched have incomplete or inaccurate address information. Those Sites cannot be precisely or reliably located and could potentially be anywhere in the Property's city, county, or state. They are, therefore, considered "unlocatable".

A sample of unlocatable sites that may be in the vicinity is listed below. A full list of ALL unlocatable California sites that include a zip code is available at the web address below:

[http://www.firstamprs.com/sites/default/files/Current\\_List\\_of\\_Unlocatable\\_Sites\\_by\\_Zip\\_Code.xlsx](http://www.firstamprs.com/sites/default/files/Current_List_of_Unlocatable_Sites_by_Zip_Code.xlsx)

Status codes for the unlocatable Sites are the same as noted above for the Sites "Found".

No.	Site Name	Address	Case No.	Status	Database
1	La Habre Norge Village Cleaners	650 North Harbor Boulevard, La Habre, CA 90631	60002635	Open	CA_DTSC_RESPONSE
2	IRWD, MICHELSON PLANT-JUNCTION STRUCTURE NO. 2	NONE, IRVINE, CA	SL0605960845	Closed	CA_SLIC
3	DINKLER PROPERTY	226&230 RIO VISTA ST., N., ANAHEIM, CA 92806	T0605933432	Closed	CA_LUST
4	EXXON	0 MCFADDEN @ EDWARDS, HUNTINGTON BEACH, CA 92649	T0605957598	Closed	CA_LUST
5	ENERGY & ENVIRO RESEARCH	8001 IRVINE, SANTA ANA, CA 92705	T0605901295	Closed	CA_LUST
6	SAKIOKA FARMS	0 MAIN ST @ 55 FWY, COSTA MESA, CA 92626	T0605947216	Closed	CA_LUST
7	SOUTHERN CALIF GAS CO	0 GOLDEN WEST @ ELLIS, HUNTINGTON BEACH, CA 92647	T0605946959	Closed	CA_LUST
8	TRANSIT MIXED CONCRETE	7701 BLACK STAR CANYON, SILVERADO CYN, CA 92676	T0605987499	Closed	CA_LUST
9	HUNTINGTON BEACH LANDFILL	0 GOTHARD @ TALBERT, HUNTINGTON BEACH, CA 92647	T0605973269	Closed	CA_LUST



# FANHD Residential Property Disclosure Reports

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## PART 4. Oil & Gas Well Locations Within 1/4 Mile Of Property

No oil or gas well locations were identified within a radius of one-fourth (1/4) of one (1) mile of the Residential Property, based on a search of valid geographic coordinates contained in the current Statewide All Wells Database maintained by the California Department of Conservation, Division of Oil, Gas and Geothermal Resources (DOGGR) ("All Wells Database").

Buyer is advised that additional wells may exist in the area of the Property which are not contained in the All Wells Database. Wells that do not have valid geographic coordinates in the All Wells Database are not disclosed in this Report. The physical property boundaries of well locations and the Property are not factored into the calculation of the specified search radius.

**EXPLANATION:** The All Wells Database includes approximately 230,000 well location records. This database is searched for well locations within one-fourth (1/4) of one (1) mile around the geocoded point representing the Residential Property. Well locations, if any, within the specified parameters are listed in the table above.

Of the approximately 230,000 wells identified in the All Wells Database, 105,000 are classified as new, active, or idle in the latest Statewide All Wells Database release. The majority of remaining wells have been sealed under supervision of the DOGGR. A smaller number have been deserted and have no known responsible operator.

California has established laws with respect to well drilling, operation, maintenance, and abandonment to "prevent, as far as possible, damage to life, health, property, and natural resources; damage to underground oil and gas deposits from infiltrating water and other causes; loss of oil, gas, or reservoir energy, and damage to underground and surface waters suitable for irrigation or domestic purposes by the infiltration of, or the addition of, detrimental substances." (California Public Resources Code §3106).

The DOGGR is responsible for maintenance of orphaned wells. To defray the maintenance costs, oil companies pay the State 4.3 cents per barrel a year. A portion of this assessment funds the Orphan Well Plugging Fund ("Fund") with an annual \$1 million budget. Since its inception in the 1970's, the Fund has facilitated the plugging of wells by hired contractors. The selection process for wells to be plugged considers numerous factors including, but are not limited to, the proximity of wells to populated areas, the amount of pressure in well reservoirs, and other hazards.

For a complete listing and explanation of well status codes, visit the following DOGGR web page:

<http://www.conservation.ca.gov/dog/maps/Pages/GISMapping2.aspx>

**FOR MORE INFORMATION:** Ownership information of oil, gas, mineral, geothermal and other subsurface rights regarding the Residential Property may be disclosed in a preliminary (title) report or title commitment. The DOGGR does not use the County Assessor Parcel Number or site address to locate wells or leases, and therefore, the APN and address cannot be used to determine if there is a well on a specific property. To help tell if there is a well on a property, oilfield maps may be available on the DOGGR website (<http://www.conservation.ca.gov/dog/maps/Pages/GISMapping2.aspx>). In addition, the DOGGR Online Mapping System (<http://maps.conservation.ca.gov/doms/doms-app.html>) allows users to search well locations by API Number, Property Address, Geographic Coordinates, or Field Name. For detailed information about a specific well, reference the unique "API Number" that the DOGGR has assigned to it. The DOGGR website provides an online well search by API number at <http://opi.consrv.ca.gov/opi/opi.dll>.



# FANHD Residential Property Disclosure Reports

## Environmental Screening Report

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## Part 5. NPMS Gas Transmission and Hazardous Liquid Pipelines Within 2,000 Feet of the Residential Property

Buyer is advised to carefully review the limitations of the Public Record noted below as to the important limitations regarding the National Pipeline Mapping System (NPMS) and the NPMS Public Map Viewer used for making this determination. For more information please visit the NPMS Public Map Viewer (<https://www.npms.phmsa.dot.gov/PublicViewer/>).

**EXPLANATION:** Proximity to a pipeline does not of itself indicate a safety risk. However, on September 9, 2010, a Pacific Gas and Electric (PG&E) natural gas transmission pipeline exploded in San Bruno, California, causing loss of life and extensive property damage. Following this incident much attention has focused on the presence of natural gas and hazardous liquid pipelines in the vicinity of residential neighborhoods. As a result, PG&E has notified residents and businesses within 2,000 feet of PG&E's natural gas transmission pipelines about their proximity.

This disclosure covers gas "transmission" and hazardous liquid pipelines only. It is important to note that every home that uses natural gas is connected to a gas "distribution" pipeline. Distribution pipelines are generally of smaller size and lower pressure than transmission pipelines. This disclosure does not include distribution pipelines nor is it meant to indicate there is no risk associated with distribution lines. While proximity to a pipeline does not of itself indicate a safety risk, excavation near a pipeline poses a definite hazard. For this reason, this disclosure includes an advisory about how to spot and avoid buried pipelines on and near a property.

The U.S. Department of Transportation, Pipeline and Hazardous Materials Safety Administration (PHMSA) administers the national regulatory program to monitor the transportation of natural gas, liquefied natural gas (LNG), and hazardous liquids by pipeline. PHMSA and the U.S. Office of Pipeline Safety (OPS) maintain a database of pipeline information called the **National Pipeline Mapping System (NPMS)** in cooperation with other federal and state governmental agencies and the pipeline industry. The NPMS is created using data compiled from mandatory submissions to PHMSA made by operators of pipelines and LNG plants, and from voluntary submissions made by breakout tank operators. The data is processed by private contractors. Since 2002, transmission pipeline and LNG plant facility operators are required to update their submissions annually.

The PHMSA website provides a **Public Map Viewer** that allows the general public to view pipeline maps in one county at a time. The viewer displays maps and associated data identifying transmission pipelines, LNG plants, and breakout tanks stored in the NPMS database. The data include information about the pipeline commodity (e.g., natural gas or liquid fuel), pipeline operator, agency contact, etc. The Public Map Viewer can be accessed at the following address:  
<https://www.npms.phmsa.dot.gov/PublicViewer/>

This pipeline disclosure is based on a proximity search of the gas transmission pipelines and hazardous liquid pipelines depicted in NPMS Public Map Viewer at a scale of approximately 1:24,000. That map scale is the maximum resolution at which pipelines are displayed. At that map scale one inch on the map equals approximately 2,000 feet on the ground, which is the same scale as regulatory maps required for statutory natural hazard disclosure in California.

This pipeline disclosure is provided as an accommodation and is subject to the following **limitations in the Public Record:**

- Access to the original digital data in the NPMS database (on which the public maps are based) is restricted to federal, state, and local government agencies (including emergency responders). Pipeline operators are allowed access to their own pipeline data only.
- Pipeline locations in the NPMS database are accurate to plus or minus 500 feet.
- Neither the United States government nor any party involved in the creation and compilation of NPMS data and maps guarantees the accuracy or completeness of its product.
- Because the NPMS digital data are restricted from public access, any disclosure based on the NPMS Public Map Viewer may be subject to some positional inaccuracies in addition to those acknowledged by NPMS.
- Neither this disclosure nor NPMS data should ever be used as a substitute for calling "811" -- the federally-mandated "Call Before You Dig" one-call center -- prior to any digging project.

### How to Spot a Pipeline Easement

**Read the Preliminary Title Report** A pipeline right-of-way is a strip of land over and around pipelines where some of the property owner's legal rights have been granted to a pipeline company. A right-of-way agreement between the pipeline company and the property owner is also called an easement and is usually filed in the public records with property deeds. Rights-of-way and easements provide a permanent, limited interest in the land that enables the pipeline company to operate, test, inspect, repair, maintain, replace, and protect one or more pipelines on property owned by others. The agreement may vary the rights and widths of the right-of-way, but generally, the pipeline company's right-of-ways extend 25 feet from each side of a pipeline unless special conditions exist.

**To determine if the Property includes a pipeline right-of-way or easement, OBTAIN COPIES OF ALL OF THE EXCEPTIONS LISTED ON THE PRELIMINARY (TITLE) REPORT FROM THE TITLE COMPANY AND READ THEM.**

# FANHD Residential Property Disclosure Reports

## Environmental Screening Report

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**Call Before You Dig - Every Time!** In 2000, the U.S. Department of Transportation and the utility industry created the Common Ground Alliance (CGA), a trade association to work with all industry stakeholders in an effort to prevent damage to underground utility infrastructure and ensure public safety and environmental protection. The result is the "Call Before You Dig - 811 Service". Whether you are a homeowner or a professional excavator, every digging job requires a call to "811" - even small projects like planting trees or shrubs. If you hit an underground utility line while digging, you can harm yourself or those around you, disrupt service to an entire neighborhood and potentially be responsible for fines and repair costs. One call to 811 gets your underground utility lines marked for FREE.

**Signs of Buried Pipelines** Since pipelines are usually buried underground, line markers and warning signs like the ones shown here are used to indicate their approximate location along the pipeline route. The markers and signs are in high-visibility colors (yellow or orange) and are located at frequent intervals along the pipeline right-of-way. The markers can be found where a pipeline intersects a street, highway, railway, or waterway, and at other prominent points along the route. The markers display the material transported in the line, the name of the pipeline operator, and a telephone number where the operator can be reached in the event of an emergency. Pumping stations, tank farms, and cleared rights-of-way also help signal that a pipeline is located nearby.



Markers and warning signs only indicate the general location of a pipeline. They cannot be relied upon to indicate the exact position of the pipeline they mark. Also, the pipeline may not follow a straight course between markers. And, while markers are helpful in locating pipelines, they are limited in the information they provide. They provide no information, for example, about the depth or number of pipelines in the vicinity.

## EXPLANATION OF THE DATABASES USED IN THIS REPORT

This Report uses the following Databases as of the date specified:

### 1) NATIONAL PRIORITIES LIST ("NPL" - commonly called the "Superfund" list) as of 21 Feb 2019

The National Priorities List is a U.S. Environmental Protection Agency ("USEPA") database which includes Sites where known releases or threatened releases of hazardous substances, pollutants, or contaminants have occurred. As a part of the Superfund cleanup program, the NPL helps the USEPA determine which Sites warrant further investigation to assess human health and environmental risks, identify what remedial actions may be appropriate, notify the public of Sites believed to warrant further investigation, and serve notice to potentially responsible parties that the USEPA may initiate remedial action. Some NPL Sites encompass relatively large areas. Search Distance: one (1.0) mile. Responsible Agency: USEPA

Note: In 2014 the USEPA announced its intention to retire the Comprehensive Environmental Response, Compensation, and Liability Information System ("CERCLIS") which contains the NPL list. To replace CERCLIS the USEPA launched the Superfund Enterprise Management System ("SEMS") in December 2016. Like CERCLIS, SEMS identifies National Priority List ("NPL") and non-NPL sites subject to governing statutes. The content and structure of SEMS mirrors that of CERCLIS to an extent that does not impact site information provided in this Report.

**Public Record:** Facilities located in California listed as NPL Status code "A" (Site is Part of NPL Site), "D" (Deleted from the Final NPL), "F" (Currently on the Final NPL), "P" (Proposed for NPL), "R" (Removed from Proposed NPL), or "W" (Withdrawn) in the Active SEMS database obtained from USEPA. Facilities assigned NPL Status code "N" (Not on the NPL) are not disclosed in this Report.

**For More Information:** Contact the Environmental Information Center for US EPA Region 9 at (866) 372-9378 or via e-mail at [r9.info@epa.gov](mailto:r9.info@epa.gov) to request information for the individual Site Fact Sheet. This help-line may also provide the telephone number of the local Community Relations Coordinator for the Site in question and the location of the local information repository for that Site. The USEPA's official Internet website address is: <http://www.epa.gov/superfund/index.htm>

### 2) RESOURCE CONSERVATION & RECOVERY ACT--CORRECTIVE ACTION list ("RCRA-COR") as of 24 Jan 2019.

RCRA (pronounced "ric-ra") is a federal law enforced by the U.S. Environmental Protection Agency ("USEPA") that requires safeguards on the use and disposal of household, municipal, commercial and industrial refuse. The goals of the law are to protect human health and the environment from the potential hazards of waste disposal, to reduce the amount of waste generated, and to ensure that wastes are managed in an environmentally sound manner. Under the Corrective Action program, the USEPA permits and monitors the cleanup of hazardous waste contamination. Search Distance: one (1.0) mile. Responsible Agency: USEPA

**Public Record:** "Subject to Corrective Action" facilities identified using USEPA's RCRAInfo Hazardous Waste Query Form for California.



# FANHD Residential Property Disclosure Reports

## Environmental Screening Report

### For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

**For More Information:** Contact the Environmental Information Center for US EPA Region 9 at (866) 372-9378 or via e-mail at [r9.info@epa.gov](mailto:r9.info@epa.gov) to request information for the individual Site Fact Sheet. The USEPA's official RCRA website is: <https://www.epa.gov/rcra>

#### 3) CALIFORNIA ENVIROSTOR STATE RESPONSE list as of 07 Feb 2019.

The State Response list, a part of California's "Envirostor" database, identifies sites of confirmed hazardous materials releases where the Department of Toxic Substances Control ("DTSC") is involved in cleanup activities, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk, according to the DTSC. The State Response list includes the sites formerly contained in the "Active Annual Workplan (AWP)" list. Search Distance: 1/2 mile. Responsible Agency: State EPA/DTSC

**Public Record:** Sites listed as "State Response" under "Site\_Facility\_Type" in the EnviroStor Cleanup Sites database obtained from the Department of Toxic Substances Control. Please note that a given Site may have more than one record if the Site has more than one activity Status or EnviroStor ID assigned to it.

**For More Information:** Contact the State Environmental Protection Agency Department of Toxic Substances Control at: (916) 323-3400

#### 4) SPILLS, LEAKS, INVESTIGATION & CLEANUP list ("SLIC") as of 31 Jan 2019.

The California SLIC Program oversees soil and water investigations, corrective actions, and assessments at Sites with current or historic unauthorized discharges and covers all types of pollutants (such as solvents, petroleum fuels, heavy metals, pesticides, etc.). As of January 1, 2005, all SLIC data is required to be submitted to the Geotracker database of the State Water Resources Control Board ("SWRCB"). Information on individual Sites may be available online at <http://geotracker.waterboards.ca.gov>. Please note that according to the SWRCB, "data is undergoing data cleanup and may contain errors". **Search Distance: 1/2 mile. Responsible Agency: SWRCB**

**Public Record:** Sites identified as "Cleanup Program Site" in the GeoTracker database obtained from the State Water Resources Control Board GeoTracker website.

**For More Information:** For details about a particular site, please visit GeoTracker at <http://geotracker.waterboards.ca.gov> Using the Identifier tool and clicking on the site on the graphic map interface, you can access a report that includes the case number and contact telephone number for the agency with more information on this site. If you know case number, you may access the record using Case Finder at <http://geotracker.waterboards.ca.gov/search.asp>.

#### 5) SOLID WASTE INFORMATION SYSTEM list ("SWIS") as of 21 Feb 2019.

Solid waste landfill sites vary from state to state and may include active landfills, inactive landfills, incinerators, transfer stations, recycling facilities, and other facilities where solid waste is treated or stored. The California Integrated Waste Management Board ("CIWMB") tracks such Sites via its Solid Waste Information System database. SWIS contains information on facility type, regulatory and operational status, type of wastes received, and local enforcement actions. Please note that these Sites are simply regulated facilities and are not classified as being "contaminated" by the Board. Search Distance: 1/2 mile. Responsible Agency: CIWMB

**Public Record:** Sites listed in the "SwisGis.txt" database obtained from the California Integrated Waste Management Board Solid Waste Information System website.

**For More Information:** Contact the Board's "Solid Waste Information Center" at (916) 341 6320 and ask for the Associate Waste Management Specialist who should be able to answer some limited general questions. For more information, please contact the CIWMB in Sacramento or visit <http://www.calrecycle.ca.gov/SWFacilities/Directory/search.aspx> on the Internet.

#### 6) LEAKING UNDERGROUND STORAGE TANK list ("LUST") per GEIMS/GeoTracker Information Management System as of 31 Jan 2019.

The LUST database is also known as the "LUFT" database because it includes records of leaking underground fuel tanks. LUSTs may be a significant source of soil and groundwater contamination. The State Water Resources Control Board ("SWRCB") maintains a database of LUSTs known as the Leaking Underground Storage Tank Information System ("LUSTIS") which was recently supplanted by the statewide GEIMS/GeoTracker information management system. LUSTIS contains the locations of all reported LUSTs, as well as the contents and status of the LUSTs. Search Distance: 1/4 mile. Responsible Agency: SWRCB

**Public Record:** Sites identified as "LUST Cleanup Site" in the GeoTracker database obtained from the State Water Resources Control Board GeoTracker website.

**For More Information:** For general questions, telephone the State Water Resources Control Board's Clean Water Desk in Sacramento at (866) 480-1028. Information on specific Sites is available at [www.swrcb.ca.gov](http://www.swrcb.ca.gov) or visit their official Internet site at <http://geotracker.waterboards.ca.gov>.

#### 7) CALIFORNIA STATEWIDE ALL WELLS DATABASE as of 21 Feb 2019.



# FANHD Residential Property Disclosure Reports

## Environmental Screening Report

### For ORANGE County

**Property Address:** 3175 AIRWAY AVE  
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The California Division of Oil, Gas, and Geothermal Resources, California Department of Conservation ("DOC"), maintains a database of oil, gas and geothermal wells in the state. Of the approximately 230,000 wells identified in the All Wells Database, approximately 105,000 are still in use. The majority of remaining wells have been sealed under supervision of the DOGGR. A smaller number have been deserted and have no known responsible operator. **Search Distance: 1/4 mile. Responsible Agency: State Department of Conservation**

**Public Record:** Well locations listed in the Statewide All Wells Database obtained from the Department of Conservation, Division of Oil, Gas and Geothermal Resources.

**For More Information:** Contact the State Department of Conservation, Division of Oil, Gas and Geothermal Resources at: (916) 445-9686.

#### 8) NATIONAL PIPELINE MAPPING SYSTEM (NPMS) GAS TRANSMISSION AND HAZARDOUS LIQUID PIPELINES as of 15 Nov 2018.

The National Pipeline Mapping System (NPMS) is a geographic information system (GIS) created by the U.S. Department of Transportation, Pipeline and Hazardous Materials Safety Administration (PHMSA), Office of Pipeline Safety (OPS) in cooperation with other federal and state governmental agencies and the pipeline industry. The NPMS is created using data compiled from mandatory submissions made by pipeline, LNG (Liquid Natural Gas) plant operators, and voluntary submissions made by breakout tank operators. The data is processed by private contractors. Neither the United States government nor any party involved in the creation and compilation of NPMS data and maps guarantees its accuracy or completeness. NPMS data should be considered no more accurate than +/- 500 feet and must never be used as a substitute for contacting the appropriate one-call center prior to digging. PHMSA restricts access to the NPMS to federal, state, and local government agencies (including emergency responders). Pipeline operators are allowed access to their own pipeline data only. NPMS Public Map Viewer (<https://www.npms.phmsa.dot.gov/PublicViewer/>) allows the general public to view available data one county at a time and at a limited zoom level in accordance with PHMSA's security policy. Search Distance: 2,000 feet. Responsible Agency: PHMSA

**Public Record:** Gas transmission pipelines and hazardous liquid pipelines as depicted on the NPMS Public Map Viewer at a scale of 1:24,000.

**For More Information:** To identify a specific pipeline owner/operator, please use the NPMS Public Map Viewer at the URL provided above. For policy and technical questions regarding NPMS, please contact PHMSA.

#### WANT MORE INFORMATION?

There is no single government agency that handles information for all contaminated Sites. Multiple agencies are responsible for organizing clean-up efforts at different types of Sites. Each generally maintains files on the Sites they oversee with information on the type and extent of contamination, clean-up efforts etc. There is also the possibility that the file may have no additional information. For general information, refer to the discussions in this Report. If your question isn't answered there, call us here at FANHD. We will try and answer them for you.

In the list of databases above, there is the name and telephone number of the agency overseeing that site. Agencies are limited to answering general questions. **NOTE!** Additional information on a site may be limited and the government agency you contact will not venture opinions.

#### How to Obtain Generalized Environmental Information

Brochures published by the Environmental Protection Agency (EPA) are a good source of general information. County health departments may have a health and safety officer or a "hazmat" (hazardous materials) specialist that can answer general questions also. The telephone number for the local Department of Health should be listed in the telephone book.

- Environmental Protection Agency Drinking Water Hotline: **(800) 426-4791**
- Federal Environmental Protection Agency Public Information Office: **(866) 372-9378**
- California Environmental Protection Agency: **(916) 445-3846**

#### BACKGROUND ABOUT ENVIRONMENTAL HAZARDS

FANHD provides a consumer guide titled, "Guide to Environmental Hazards", as a supplement to this environmental Report. This "plain-English" supplement discusses and explains environmental hazards and what they mean for residential property transactions. The guide may be freely downloaded (as a PDF document) and printed from our website at the following address:

[http://www.firstampr.com/sites/default/files/jcp-lgs\\_residential\\_environmental\\_hazards\\_guide.pdf](http://www.firstampr.com/sites/default/files/jcp-lgs_residential_environmental_hazards_guide.pdf)



# FANHD Residential Property Disclosure Reports Terms and Conditions

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## TERMS and CONDITIONS

ACCEPTANCE OR USE OF THE WEBSITE, CUSTOMER SERVICE, OR ANY REPORT CONSTITUTES APPROVAL AND ACCEPTANCE OF THESE TERMS AND CONDITIONS AS STATED HEREIN.

The Website (defined below), Customer Service (defined below) and any Report (defined below) are subject to each of the following Terms and Conditions. Any User (defined below) accessing, using, or reviewing the Website, Customer Service, or any Report, including any portion thereof, agrees that the Website, Customer Service and Reports are subject to the following Terms and Conditions, and such User agrees to be bound by these Terms and Conditions, regardless of whether the User ordered a Report on the Website or over the telephone through Customer Service, and regardless of whether the User paid for the Report. Use of any kind of the Website or a Report by any User constitutes acceptance of these Terms and Conditions, which are incorporated by this reference into every Report.

### A Report is not an insurance policy.

A Report is made for the Property (defined below) and solely for the transaction for which it was originally purchased ("Transaction"). The Property shall not include any property beyond the boundaries of the real property described in a Report. The Property shall not include any structures (whether located on the Property, or not), easements, or any right, title, interest, estate, or easement in any abutting streets, roads, alleys, lanes, ways, or waterways.

**IMPORTANT NOTICE:** Transferor(s) and transferee(s) shall read a complete Report in its entirety before the close of escrow. A "Signature Page" or "Summary Pages" document may be included in the electronic delivery of the Report. Those documents do not replace the complete Report or remove the need to read a complete Report, and do not remove the requirement to disclose. The Signature Page and Summary Pages documents are subject to these Terms and Conditions.

### 1. Definitions.

- a. **"Company"** shall mean First American Professional Real Estate Services, Inc., a California corporation, operating through its Natural Hazard Disclosure division, "FANHD."
- b. **"Company Content"** shall mean all editorial content, graphics, data, and information contained in the Report or on the Website, any portion thereof, including the selection, coordination, and arrangement of the editorial content, graphics, data, and information on the Website, and the hierarchy of the Website.
- c. **"Customer Service"** shall mean Company's customer service telephone service department or representatives.
- d. **"User"** shall mean any person or entity.
- e. **"Property"** shall mean the real property specifically described in a Report.
- f. **"Report"** shall mean any residential disclosure report prepared by the Company, including but not limited to a FANHD Residential Property Disclosure Report, available through the Website or Customer Service.
- g. **"Website"** shall mean the www.fanhd.com website, the www.disclosures.com website, the www.reodisclosure.com website, and any other individual sites as may be added to, or available through, the foregoing or any other Company website, including, without limitation, the data and computer code, underlying, contained on, or transmitted from the Website, a Report, and the Company Content. Any reference herein to the Website shall be to each individual item and also to the Website as a whole.

2. **No Third Party Reliance on Any Report.** Only the transferor(s) and transferee(s), and their agents/brokers, if any, involved in the Transaction (collectively, the "Recipients") may use and rely on a Report and only after they have paid in full for the Report. While disclosures made on the Natural Hazard Disclosure Statement in a Report may indicate certain risks to the Property, the disclosures are only "...between the transferor, the transferor's agents, and the transferee, and shall not be used by any other party, including, but not limited to, insurance companies, lenders, or governmental agencies, for any purpose." Cal. Civil Code section 1103.2, subdivision (g).

3. **Seller and Seller's Agent's Responsibility of Full Disclosure.** Recipients are obligated to make disclosures, and always disclose material facts, that are within their actual knowledge.

4. **Scope of Any Report.** A Report is limited to determining whether the Property is located in those specified natural hazard zones and property tax districts, and in proximity to those specified environmental sites (depending on the report product ordered), as defined in the Report. The Report is not a geologic report or a land survey, and no site inspection has been made in producing the Report. Company makes no determination, expresses no opinion or view, and assumes no responsibility in any Report concerning the right, entitlement, or ability to develop or improve the Property. Company has no information concerning whether the Property can be developed or improved. No determination is made, and no opinion is expressed or intended by any Report concerning structures or soils on or outside of the Property, including, without limitation, habitability of structures or the Property, suitability of the Property for construction or improvement, potential for soil settlement, drainage, soil subsidence, or other soil or site conditions. The Recipient(s) is advised to consult the local Planning Department to determine whether factors beyond the scope of any Report may limit the transferee(s) ability to use or improve the Property.

The Report is not a title report, and no determination is made and no opinion is expressed, or intended, by the Report as to title to the Property or liens against the Property, recorded or otherwise, or whether the Property is comprised of legal lots in conformance with the California Subdivision Map Act or local ordinances. The Report is not a property inspection report, and no determination is made and no opinion is expressed, or intended, by the Report concerning architectural, structural, mechanical, engineering, or legal matters, or the marketability or value of the Property. Company has not conducted any testing or physical or visual examination or inspection of the Property, nor is the Report a substitute for any such testing, physical or visual examination, or inspection.

5. **Tax and Environmental Disclosures (if included in Report).** No determination is made and no opinion is expressed, or intended, by a Report concerning the existence of property tax liabilities, or the existence of hazardous or toxic materials or substances, or any other defects, on, under, or in proximity to the Property, unless specifically described in the Report. Company's total liability for any error or omission in its disclosures relating to taxes and/or environmental matters shall be limited to actual proven damages not to exceed \$10,000.



# FANHD Residential Property Disclosure Reports Terms and Conditions

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6. **Company Database Updates.** To the extent databases are used in preparing a Report, each database is updated by the responsible agency at various intervals. Updates for a database are determined by the responsible agency and may be made at any time and without notice. The Company maintains an update schedule and makes reasonable efforts to use updated information. For these reasons, the Company reports information as of the date when the database was last updated by the Company. That date is specified as the "Database Date" for each database. The Tax Report discloses PACE assessments documented in the county's Fiscal Year 2018-2019 annual secured property tax roll. The Report may disclose PACE contracts where PACE taxes were first assessed or liens were recorded after the Fiscal Year 2018-2019 secured property tax roll, where recordation data is available to FANHD. To discover a PACE lien on the Property executed more recently, the buyer should read the preliminary title report and obtain and read all exceptions listed therein. Note that, in the title report, lien exceptions are named as recorded with the county; therefore, a PACE lien may be listed under a name that is not obvious.
7. **Statutory and Additional Disclosures, Advisories, and Local Addenda (if included in Report).** No determination is made and no opinion is expressed, or intended, by a Report concerning the need to purchase earthquake or flood insurance for the Property. In preparing the Report, Company accurately reported on information contained in public maps and databases ("Government Records"). Company reviewed and relied upon those Government Records specifically identified and described in the Report. Company has not reviewed or relied upon any Government Records that are not specifically identified in the Report. Company also has not reviewed any plat maps, survey maps, surveyor maps, assessor maps, assessor parcel maps, developer maps, or engineering maps, whether or not such maps have been recorded. No determination is made and no opinion is expressed, or intended, by the Report concerning any matters identified in Government Records that were not reviewed by Company. Local Addenda, where applicable, are included "AS IS" as an accommodation to the local real estate board that provided the content; Company assumes no responsibility for the accuracy of any information included in the Local Addenda.
8. **FEMA Flood Determination Certificate (if accompanying the Report).** No determination is made, and no opinion is expressed or intended by a Report concerning the requirement for or cost of flood insurance on the Property. Recipient(s) understands that a lender may require flood insurance to secure its loan collateral independent of whether FEMA may require flood insurance under the National Flood Insurance Program on a federally backed mortgage. The FEMA Flood Determination Certificate ("Flood Certificate") that may accompany the Report, is produced by a third-party expert certified by FEMA to provide Flood Certificates. Company assumes no liability for errors in that third-party flood determination.
9. **Changes to Government Record after Report Date.** A Report is issued as of the Report Date identified in the Report. Company shall have no obligation to advise any Recipient of any information learned or obtained after the Report Date even if such information would modify or otherwise affect the Report. Subsequent to Company's acquisition of Government Records, changes may be made to said Government Records, and Company is not responsible for advising Recipients of any changes. Company will update the Report upon request and at no charge during the transaction process for which the Report was issued, but not to exceed one year from the date of the Report. Likewise, Company is not liable for any impact on the Property that any change to the Government Records may have.
10. **Government Record Sources.** Company relies upon the Government Records specifically identified in a Report without conducting an independent investigation of their accuracy. Company assumes no responsibility for the accuracy of the Government Records identified in the Report. Company makes no warranty or representation of any kind, express or implied, with respect to the Report. Company expressly disclaims and excludes any and all other express and implied warranties, including, without limitation, warranties of merchantability or fitness for a particular purpose. The Company Report is "AS IS."
11. **Not for Credit Purposes.**

The Company Content available in any Report has not been collected for credit purposes and is not intended to be indicative of any consumer's credit worthiness, credit standing, credit capacity, or other characteristics listed in Section 1681(a) of the Fair Credit Reporting Act, 15 U.S.C. § 1681 et seq. The Report shall not be used:

  - a. as a factor in establishing an individual's eligibility for credit or insurance,
  - b. in connection with underwriting individual insurance,
  - c. in evaluating an individual for employment purposes,
  - d. in connection with a determination of an individual's eligibility for a license or other benefit granted by a governmental authority,
  - e. in any way that would cause the Report to constitute a "consumer report" under the Fair Credit Reporting Act, 15 U.S.C. § 1681 et seq., or
  - f. in any other manner that would cause such use of the Report to be construed as a consumer report by any pertinent governmental authority.

## 12. Limitation of Company's Liability

- a. Company is not responsible for:
  - Any inaccuracies or incompleteness of the information in the Public Records.
  - Inaccurate address information provided for the Property.
  - Any other information not contained in the Public Records as of the Report Date.
  - Any information which would be disclosed by a physical inspection of the Property.
  - Any information known by you, a Recipient, a User, the transferor or transferee, or their agents/brokers.
  - The health or risk to humans or animals that may be associated with any of the disclosed hazards.
  - The costs of investigating or remediating any of the disclosed hazards.
- b. In no event shall Company or its data suppliers be liable for any damages resulting from the inability or failure to access or interface with the Website or Customer Service.
- c. Except as otherwise expressly set forth in these Terms and Conditions, Company's total liability and responsibility to all Users accessing the Website, Customer Service, or any Report collectively for any and all liabilities, causes of action, claim or claims, including, but not limited to, claims for breach of contract or negligence, shall be for actual proven damages only caused directly by Company's error. In no event shall Company's total liability exceed the difference between the amount actually paid for the Property and the fair market value on the date of the disclosure, as measured by a retrospective appraisal performed by a licensed professional appraiser under the Uniform Standards of Professional Appraisal Practice. Company expressly disclaims any liability for Recipients' or Users' indirect, incidental and/or consequential damages, including, without limitation, lost profits, even if such damages are foreseeable, and you, User and Recipients hereby waive and release any right to assert a claim against Company for such amounts. The Parties, and each of them, expressly waive the benefits of California Civil Code Section 2778 and 1542 and any other similar provisions. Section 1542 provides that "A general release does not





# FANHD Residential Property Disclosure Reports

## Terms and Conditions

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extend to claims which the creditor does not know or suspect to exist in his or her favor at the time of executing the release, which if known by him or her must have materially affected his or her settlement with the debtor.

- d. **Product and Service Claims.** User shall provide prompt notice to Company, and a reasonable opportunity to cure, any known error, omission or mistake that may result in a claim on products or services provided under these Terms and Conditions, prior to making a claim against the Company. In addition, User shall use their best efforts to mitigate any losses resulting from any products or services provided pursuant to these Terms and Conditions. If User does not perform according to the requirements of this section, Company will not be liable. User also must provide sufficient documentation, as deemed appropriate by Company, to evidence any out-of-pocket, actual monetary loss.
- e. **Links.** Where Company provides hypertext links to other Internet websites on the Website, or in any Report, the Company does so for informational purposes only, and such links are not endorsements by Company of any products or services on such sites. Company shall not accept, and shall not incur, any liability for such products or services and makes no endorsement or approval of the same.

**13. Reporting of Risk Elements for Condominium Projects, Planned Unit Developments, and Other Properties with Common or Undivided Interests.** Because California's Residential Natural Hazard Disclosure Law requires disclosure if any portion of the Property is located within a specified natural hazard area/zone, a Report must indicate that the subject Property falls within the area/zone if any portion of such a condominium project, planned unit development, or common area is located within a specified hazard area/zone. However, if the property owner has a shared interest in common area or other parcels which extend beyond the subject property's parcel boundary, the Company is not always able to determine if the common area is within a special natural hazard area/zone. Consult with the property's home owners association(s) to determine said risk and responsibility.

#### **14. User Account and Information.**

- a. To obtain and use a Report, User must order the Report through the Website or over the telephone through Customer Service or by email. To order the Report online, User must register for an account on the Website and provide information required in the Website registration form. As part of that registration, User agrees to accurately furnish all contact and other information requested by Company and notify Company immediately of any change in the information.
- b. Company reserves the right to refuse or reject any request to create an account for any or no reason at Company's sole discretion. User solely is responsible for their account, contact information and other information made available through User's account or otherwise via the Website. User shall use reasonable care to protect the confidentiality of their account log-in information and will not share it with any other person or entity. User will be entirely responsible for the conduct of any person using their account information to access the Website, Customer Service, or any Report.
- c. User only shall access the Website using a password or other security mechanism to prevent unauthorized access. Sharing of User access is prohibited, and any automation of accessing information is strictly prohibited unless expressly authorized in writing by Company. It is User's sole responsibility to maintain the confidentiality of all usernames and passwords, and User shall be responsible for all charges relating to the use of said usernames and passwords whether or not authorized by User. In no event shall User use the Website, Customer Service, or any Report for illegal purposes or in any manner that is defamatory, libelous, unlawfully threatening or unlawfully harassing, or that otherwise violates any federal, state or local statute, law or regulation, for debt collection, skip tracing, or electronic telephone directory assistance or otherwise breaches or violates these Terms and Conditions.

**15. Confidentiality.** User acknowledges that the Website and any Report contain valuable commercial products, the development of which has involved the expenditure of substantial time and money. User shall take appropriate measures and shall initiate strict security measures to prevent the accidental or otherwise unauthorized use or release of any and all proprietary and confidential information of the Company and any third parties associated with the Report or provided through the Website or Customer Service.

**16. License to Use Website, Customer Service, and Any Report.** Subject to User's compliance with these Terms and Conditions, Company grants User a limited, non-exclusive, revocable, non-assignable, personal and non-transferable license to access and make use of the Website, Customer Service, and any Report solely for the purposes specified in these Terms and Conditions, and not for any other purpose whatsoever. The foregoing license does not include any resale or commercial use of the Website, Customer Service, Report, or Company Content obtained from the Website, Customer Service, or any Report. The Website, Report, and the Company Content therein, and any portion thereof, may not be reproduced, duplicated, copied, sold, resold, visited, or otherwise exploited for any commercial purposes without Company's express written consent. This license does not include any derivative use of this Website or the Report, or any Company Content therein nor any use of data mining, robots, or similar data gathering and extraction tools. User may not frame or utilize framing techniques to enclose any trademark, logo, or other proprietary information (including images, text, page layout, or form) of the Website, the Report or the Company Content without express written consent of the Company. User may not use any meta tags or any other "hidden text" or trademarks without the express written consent of the Company. Any unauthorized use terminates the permission or license granted by the Company.

**17. Use of the Website, Customer Service, and Report.** User acknowledges and agrees that their use of and access to the Website, Customer Service, and any Report may be logged and monitored. User agrees that Company controls the terms of all access to, and use of, the Website (including any upgrades, modifications or updates thereto), Customer Service, and all products, services, and materials contained therein that are delivered by means of the Website, including the Reports, and all third-party products and information and data that may be included therein. The Company reserves the right to revise or alter the Website, Customer Service, the Reports, and the provisions of these Terms and Conditions at any time, in its sole discretion. By accessing or using the Website, Customer Service, or a Report, User agrees not to use the Website, Customer Service, or Report in any way that:

- is unlawful, fraudulent, tortious, or in any other manner Company deems in its sole discretion to be inappropriate or impermissible;
- may harm Company, any Recipient, or any other person or entity;
- violates or infringes the rights of the Company or any third party;
- gains or tries to gain unauthorized access to the Website, Customer Service, Company's computers and networks, any Report, or the Company's data, or that otherwise modifies or interferes with the permitted use or operation of the Website or Customer Service, or the permitted use of the Report;
- imposes an unreasonable or disproportionately large load on Company's infrastructure, including but not limited to transmitting spam or using other unsolicited communications or techniques;
- repurposes, copies, excerpts, disassembles, decompiles, manipulates, alters, damages, or deletes any Company Content or removes or modifies any copyright or other intellectual property notices that appear on the Website or any Report;
- contains computer viruses or other disruptive, damaging or harmful files or programs; or



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- otherwise violates these Terms and Conditions, or any other terms, guidelines, or policies provided by Company.

In addition, User represents and warrants that:

- the information and other content that User provides using the Website, Customer Service, or Report does not infringe, violate, misappropriate or otherwise conflict with the rights of the Company or any third party; complies with all applicable local, state, national, and other laws, rules and regulations; and does not violate these Terms and Conditions;
- User will use their true legal name, address, electronic mail address, and only provide true, accurate and complete information on the Website;
- User will not impersonate another party or misrepresent or falsify their affiliation with another person, such as by using another user name, password or other account information or another name, likeness, image or photograph, or using fictitious personal or address information;
- User is at least 18 years of age, or the legal age of majority where User resides;
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- the performance of User's obligations under these Terms and Conditions will not violate, conflict with, or result in a default under any other agreement, including confidentiality agreements between User and third parties.

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- Company retains all rights that are not otherwise expressly granted in these Terms and Conditions.
- At Company's request, User shall return or delete any and all Website or Report content or portion thereof in their possession.

20. In the event of a dispute involving a violation of Paragraphs 15, 16, 17, 18, or 19 of these Terms and Conditions, such dispute shall not be subject to the Small Claims or Arbitration provisions set forth in Paragraph 23 below. In any litigation to stop a violation of those Paragraphs, the prevailing party shall be entitled to recover its reasonable attorneys' fees, expert fees and costs.

21. **Pricings/Billing and Payment Processing.** Company reserves the right to change any Report pricing, including whether a Report is billed for, at any time without notice. To the extent applicable, charges or fees for any Report will be accumulated under the licensee account number and will be invoiced either through escrow or directly to licensee, depending upon how licensee sets up their account. In the event that any credit card payments are processed by a third-party card processing company, such third-party card processing company will be contractually required by Company to use commercially adequate security and confidentiality measures. That agreement requires the card processing company to use adequate security and confidentiality measures to protect User's payment information. All payment information that User provides through the Website will be



# FANHD Residential Property Disclosure Reports Terms and Conditions

**Property Address:** 3175 AIRWAY AVE  
COSTA MESA, ORANGE COUNTY, CA 92626  
("Property")

**APN:** 427-091-12  
**Report Date:** 02/26/2019  
**Report Number:** 2435120

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23. **Small Claims or Arbitration.** This provision constitutes an agreement to arbitrate disputes on an individual basis. Any party may bring an individual action in small claims court instead of pursuing arbitration. All disputes and claims arising out of or relating to the Website, Customer Service, or any Report, except for those covered by Paragraph 20 above, must be resolved by binding arbitration. This agreement to arbitrate includes, but is not limited to, all disputes and claims between Company, transferor(s) and transferee(s) and claims that arose prior to purchase of the Report, but it excludes disputes and claims covered by Paragraph 20 above. This agreement to arbitrate applies to transferor(s) and transferee(s) successors in interest, assigns, heirs, spouses, and children. As noted above, a party may elect to bring an individual action in small claims court instead of arbitration, so long as the dispute falls within the jurisdictional requirements of small claims court.

Any arbitration must take place on an individual basis. Company, transferor(s) and transferee(s) agree that they are waiving any right to a jury trial and to bring or participate in a class, representative, or private attorney general action, and further agree that the arbitrator lacks the power to grant relief affecting anyone other than the individual claimant. If a court decides that any of the provisions of this paragraph are invalid or unenforceable because the provisions would prevent the exercise of a non-waivable right to pursue public injunctive relief, then any dispute regarding the entitlement to such relief (and only that relief) must be severed from the arbitration and may be litigated in court.

The arbitration is governed by the Consumer Arbitration Rules (the "AAA Rules") of the American Arbitration Association ("AAA"), as modified by this Agreement, and will be administered by the AAA. Company will pay all AAA filing, administration and arbitrator fees for any arbitration it initiates and for any arbitration initiated by another party for which the value of the claims is \$75,000 or less, unless an arbitrator determines that the claims have been brought in bad faith or for an improper purpose, in which case the payment of AAA fees will be governed by the AAA Rules. **A COPY OF THESE RULES IS AVAILABLE FROM THE AAA'S WEB SITE AT [WWW.ADR.ORG](http://WWW.ADR.ORG) OR ON REQUEST FROM THE COMPANY. THE ARBITRATION AWARD MAY INCLUDE ATTORNEY'S FEES IF ALLOWED BY FEDERAL, STATE, OR OTHER APPLICABLE LAW AND MAY BE ENTERED AS A JUDGMENT IN ANY COURT OF PROPER JURISDICTION.**

The arbitration will take place in the same county in which the property covered by the Report is located. The Federal Arbitration Act will govern the interpretation, applicability and enforcement of this arbitration agreement. This arbitration agreement will survive the termination of the Report.

24. **Term; Termination.** The application of these Terms and Conditions will commence upon User's acceptance of the provisions of these Terms and Conditions by clicking "I Accept," calling Customer Service, or in any way accessing any Report or portion thereof and shall continue in perpetuity, unless sooner terminated pursuant to the terms hereof (the "Term"). Notwithstanding the foregoing, upon written notice to User, the Company may immediately terminate these Terms and Conditions, and terminate User's access to and use of the Website, Customer Service, and all Reports, for any reason at any time.

25. **Notices.** Any notice or other communication required or permitted under these Terms and Conditions shall be sufficiently given if delivered in person or sent by one of the following methods:

- a. Registered U.S. mail, return receipt requested (postage prepaid);
- b. Certified U.S. mail, return receipt requested (postage prepaid); or
- c. Commercially recognized overnight service with tracking capabilities.

Notices to the Company shall be sent to 4 First American Way, Santa Ana, California 92707, with a copy to the Company's counsel at the same address marked Attention: Legal Department. Notices to User shall be sent to the address entered by User in the Website. Notices or communications shall be deemed properly delivered as of the date personally delivered or sent by mail or overnight service.

26. **Severability.** Except as otherwise provided above, if any provision of these Terms and Conditions is determined to be invalid or unenforceable for any reason, then such provision shall be treated as severed from the remainder of the Terms and Conditions, and shall not affect the validity and enforceability of all of the other provisions of the Terms and Conditions.

27. **Other Agreements.** These Terms and Conditions constitute the entire, integrated agreement between Company and any User using, possessing, or accessing the Website and/or Report, and supersede and replace all prior statements, representations, negotiations, and agreements.

**END OF REPORT**

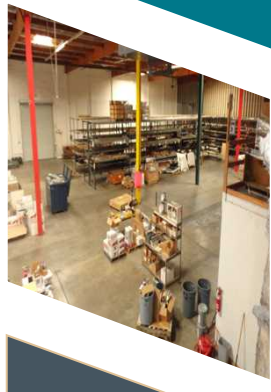
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**F.3 - 3175 Airway Costa Mesa CA Property Condition Report**

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EBI Consulting

# Acquisition Property Condition Report



**EBI Consulting**  
environmental | engineering | due diligence

# Acquisition Property Condition Report

Prepared for:

City of Costa Mesa  
77 Fair Drive  
Costa Mesa, CA 92628



3175 Airway Avenue

3175 Airway Avenue  
Costa Mesa, California

EBI Project No. 1319000059

February 26, 2019





February 26, 2019

Mr. Adam B. Eliason  
City of Costa Mesa  
77 Fair Drive  
Costa Mesa, CA 92628

**Subject:** Acquisition Property Condition Report, 3175 Airway Avenue  
3175 Airway Avenue, Costa Mesa, California  
**EBI Project #1319000059**

Dear Mr. Eliason:

Attached please find our Acquisition Property Condition Report, (the *Report*) for the above-mentioned asset (the Subject Property). During the property survey and research, our property surveyor met with agents representing the Subject Property, or agents of the owner, and reviewed the property and its history. The *Report* was completed according to the terms and conditions authorized by you.

The exclusive purpose of this Acquisition Property Condition Report (the *Report*) is to observe the general physical condition and maintenance status of the property, to suggest repair or maintenance items considered customary for the property to continue in its current operation compared to properties of similar age and condition, and to assist City of Costa Mesa, in its Due Diligence effort in evaluating the Property.

This *Report* was performed utilizing methods and procedures consistent with established commercial practices and in conformance with industry standards. The suggestions represent *EBI's* opinion based on written, graphic or verbal information, the property condition and data available to us at the time of the survey. Factual information regarding operations, conditions or data provided by the Client, occupants, owner or their representative has been assumed to be correct and complete.

The *Report* speaks only as of its date in the absence of a specific written update of the *Report* signed and delivered by EBI Consulting.

*EBI* is an independent contractor, not an employee of either the issuer or the borrower, and its compensation was not based on the findings or recommendations made in the *Report* or on the closing of any business transaction.

Thank you for the opportunity to prepare this *Report*, and assist you with this project. Please call us if you have any questions or if we may be of further assistance.

Respectfully Submitted,

David Candy, P.E.  
Author/Project Engineer

Luis Munoz 407.399.4747  
Reviewer/Senior Program Manager  
[lmunoz@ebiconsulting.com](mailto:lmunoz@ebiconsulting.com)

Niko Paiz  
Account Executive

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# EXECUTIVE SUMMARY TABLE

<i>Property Name:</i> <b>3175 Airway Avenue</b> <i>Address:</i> <b>3175 Airway Avenue</b> <i>City and State:</i> <b>Costa Mesa, California</b> <i>Site Survey Date:</i> <b>February 19, 2019</b> <i>Report Date:</i> <b>February 26, 2019</b> <i>EBI Project #:</i> <b>1319000059</b>		<i>Property Type:</i> <b>Industrial</b> <i>Property Age:</i> <b>47</b> <i>No. of units or tenants:</i> <b>2</b> <i>Square feet:</i> <b>29,816</b> <i>Analysis Term:</i> <b>10</b>								
Section #	Section Name	Condition					Action Required	Immediate Repairs	Short Term Repairs	Replacement Reserves
		Excellent	Good	Fair	Poor	NA				
<b>SITE CONDITIONS</b>										
2.1	Topography and Drainage		✓				✓	\$1,591	\$3,054	
2.2	Pavement and Parking		✓	✓					\$19,394	\$6,255
2.3	Site Amenities & Landscaping		✓	✓					\$1,500	
2.4	Utilities		✓							
<b>BUILDING CONDITIONS</b>										
3.1	Substructure		✓						\$2,138	
3.2	Superstructure		✓						\$4,472	
3.3	Facades (Walls, Windows & Doors)		✓				✓	\$47,037		\$29,041
3.4	Roofing		✓						\$7,213	\$25,548
3.5	Basements/Attics					✓				
3.6	ADA Compliance				✓		✓	\$16,808		
<b>INT. FINISHES &amp; COMPONENTS</b>										
3.7	Interior Finishes & Components				✓					
3.8	Mold		✓							
<b>BUILDING SYSTEMS</b>										
4.1	Plumbing		✓				✓	\$850		\$1,000
4.2	HVAC		✓	✓	✓		✓	\$43,145		\$15,392
4.3	Electrical			✓	✓		✓	\$500		\$21,417
4.4	Fire/Life Safety			✓	✓		✓	\$7,026		
4.5	Elevators					✓				
<b>MATERIAL CODE VIOLATIONS</b>										
5.0	Codes			✓						
<b>OTHER STRUCTURES, AMENITIES, SPECIAL INTEREST ITEMS</b>										
	None					✓				
<b>TOTALS:</b>								<b>\$116,958</b>	<b>\$37,771</b>	<b>\$98,653</b>
							Dollars per sf/yr			
Present Value of Replacement Reserves Cost Estimate							\$0.33			\$98,653
Inflated Value of Replacement Reserves Cost Estimate							\$0.40			\$118,539
Immediate Repairs and Deferred Maintenance Cost Estimate								\$154,729		
Short Term Repairs Cost Estimate									\$37,771	
Total Deferred Maintenance Cost Estimate, After Multiplier								\$185,674		

---

## EXECUTIVE SUMMARY & PROPERTY DESCRIPTION

---

The Subject Property, known as 3175 Airway Avenue, is located in Costa Mesa, California at 3175 Airway Avenue. The Subject Property was reportedly constructed in 1972. The Subject Property consists of a one-story, approximately 29,816-net rentable square foot<sup>±1</sup>, multi-tenant, industrial facility on a 1.34-acre lot.

The Subject Property was vacant at the time of the survey:

The Subject Property lease structure is reportedly 100% triple net – with the tenant(s) reportedly responsible for all maintenance, upkeep and keeping in compliance the entire premises and improvements thereupon. The landlord reportedly has no maintenance responsibilities during their tenure. The following Immediate, Short-Term and Replacement Reserve Items noted in this Report and accompanying cost analysis tables are listed in the case of a lease default by the tenant during the analysis term.

David Candy of *EBI* surveyed the property on February 19, 2019 and was provided access but was otherwise unaccompanied. At the time of the survey, the weather was sunny and approximately 62° Fahrenheit. During the survey, representative areas of the site, all interior tenant spaces, mechanical spaces, and mechanical equipment and building components were observed.

*EBI's Pre-Survey Questionnaire* was forwarded to the designated property contact. The information requested in the questionnaire assists in *EBI's* research of the Subject Property to obtain pertinent property data; discover existing physical deficiencies, chronic problems, the extent of repairs, if any, and their costs; and pending repairs and improvements. The *Pre-Survey Questionnaire* was completed and returned.

The Subject Property appears to be in fair condition. It is *EBI's* professional opinion that the Remaining Useful Life (RUL) of the Subject Property is estimated to be not less than 40 years, based on its current condition and maintenance status, assuming any recommended Immediate Repairs or Replacement Reserves are completed, and appropriate routine maintenance and replacement items are performed on an annual or as-needed basis. Please see the Executive Summary Table for a compilation of recommended Immediate Repairs and/or Replacement Reserves.

---

## ESTIMATE OF REPLACEMENT VALUE FOR INSURANCE PURPOSES

---

The estimate of insurable replacement value was not included in the scope of this analysis and report.

---

## SUBJECT PROPERTY SUMMARY

---

The following summary describes and comments on the primary Subject Property components. Please see the body of the *Report* for complete survey results for all sections.

---

<sup>1</sup> Square footage obtained from the Owner's representative.

---

## PAVEMENT & PARKING

---

The property is improved with asphalt-paved vehicle parking areas located at the west, north and east sides of the building, with concrete loading dock, truck maneuvering and service areas. A single entry drive provides access to the Subject Property at the southwest corner from Airway Avenue from the south and at the northeast corner from McCormick Avenue from the east.

*Overall Condition*            **Good to Fair**

---

## LANDSCAPING & AMENITIES

---

The property has moderate established landscaping at the front and east side of the site and building and in islands in the parking area. The property signage is limited to tenant identification signage on the glass entrance doors and the building address on the façade.. Concrete walkways and exterior stairs and ramps are provided.

*Overall Condition*            **Good to Fair**

---

## BUILDING STRUCTURE & FACADES

---

The building structure consists of pre-cast tilt-up concrete exterior walls, wood interior columns and a panelized wood roof structure of glu-lam beams, purlins and subpurlins with a plywood roof deck.

The primary exterior materials consist of painted, precast, tilt-up, concrete wall panels and aluminum framed storefront assemblies with glass entrance doors at the southwest and northeast corner office areas.

The facades have painted contrasting-colored, banding along the top of the wall panels. A two-story main lobby at the southwest corner with a glazed storefront system accentuates the primary tenant office area and entry. A secondary sub-tenant entrance with storefront system is provided at the northeast corner of the building.

*Overall Condition*            **Good to Fair**

---

## ROOF

---

The Subject Property has a low-slope built-up roof with a mineral cap with an applied white silicone coating.

The Subject Property has small secondary roofs within two recessed mechanical equipment wells consisting of low-slope built-up roofs with a mineral cap with an applied white silicone coating.

*Overall Condition*            **Good to Fair**

---

## MAJOR MECHANICAL SYSTEMS

---

The building office areas are heated and cooled by rooftop-mounted, packaged gas heating/electric cooling HVAC units. The building warehouse areas are heated with a suspended gas-fired unit heater. No warehouse mechanical cooling is provided.

Two 30-gallon electric water heater provides hot water for restroom fixtures.

Fire and life safety equipment includes an automatic wet-pipe fire sprinkler system with exterior localized alarm, however no fire control panel or monitored fire alarm system is provided. No elevators serve the building. No emergency generators are present.

*Overall Condition*                      **Good to Fair to Poor**

### ***SYSTEM RESPONSIBILITY***

---

Maintenance, repair and replacement of the roofs, facades, landscaping, pavement and parking, mechanical systems, interior finishes and plumbing, electrical, HVAC and life safety systems and components at the property are reportedly the responsibility of the Subject Property tenant(s).

The lease structure is triple net, NNN. However, various electrical, plumbing, sprinkler, fire alarm and life safety items are recommended as Immediate Repairs, Short Term Repairs, and/or Replacement Reserves. The work is needed for code compliance or in case of lease default by the tenant.

The building is currently vacant. General day-to-day maintenance is currently not being performed. Repair and maintenance of large-scale equipment, i.e., roofing, fire and smoke detection and alarm systems, etc., are subcontracted to outside vendors. The level and quality of on-site maintenance repairs reviewed while at the Project Site exhibited considerable deferred maintenance.

### ***INTERIOR COMPONENTS***

---

Interior spaces consist of the main and secondary entrance lobbies, stairways, corridors, office areas, conference room, break room, restrooms and warehouse areas. All interior spaces are tenant spaces. There are no common areas.

*Overall Condition*                      **Fair to Poor**

### ***SUBJECT PROPERTY DESCRIPTION***

---

The Subject Property is comprised of the improvements described above, situated on a rectangular-shaped parcel with an address of 3175 Airway Avenue. The Subject Property has approximately 368 feet of frontage along Airway Avenue and 146 feet in depth along McCormick Avenue.

Local surface arteries, Interstate, and state highway systems provide access to the property. The Subject Property is located approximately 0.24 miles northwest of the Orange County Airport, 0.55 miles southeast of the 405 Freeway and 0.38 miles southeast of the 55 Freeway.

The site is essentially level, generally sloping southeast matching surrounding topography. There is an approximately 2 to 3 foot elevation change and landscaped berm from the building pad elevation down to the municipal curb along Airway Avenue along the south property line and at the southeast corner of the site, tapering to grade at the northeast corner of the site along the east property line along McCormick Avenue. The site is graded to provide tailgate high truck loading docks along the west building elevation and at the exterior loading dock at the northeast corner of the building and site. Loading docks along the north building elevation are grade-level drive-in types.

The Subject Property is improved with one rectangularly-shaped building. The building has rough dimensions of 230 feet in length along the north wall and varies in depth from 144 feet at the west end to 95 feet in depth at the east end and is configured so that the building is one story tall on all sides with a

two-story interior primary tenant office area at the southwest corner and extending along the south wall and a secondary two-story interior sub-tenant office area at the northeast corner.

Each tenant space is directly accessed from the exterior and there are no common interior areas and no areas intended for public access, such as showrooms.

The interior is divided into office areas and warehouse areas. Support areas include the management offices, receiving and warehouse areas, utility areas, restrooms and an employee break room.

The warehouse portions of the building have clear heights of approximately 24 feet.

In general, the Subject Property appears to have been constructed within industry standards with minimal maintenance since being vacated.

---

## **MUNICIPAL INFORMATION & ZONING**

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### **MUNICIPAL INFORMATION**

Readily available, reasonably ascertainable and publicly viewable municipal records at *City of Costa Mesa Building Safety Division, Planning Division, and Department of Finance*, were reviewed on-line and/or were provided by the owner.

According to information provided by the *Building Safety Division*, the subject building was constructed and first occupied 1972. According to the available information at the time of the survey, with the exception of the tenant upgrades, no significant additions or alterations have been completed at the Subject Property since construction in 1972.

### **ZONING**

The municipal zoning office personnel were consulted, the zoning office files were reviewed, and/or the zoning ordinance was reviewed to determine the zoning of the Subject Property. According to the information provided the Subject Property appears to be located within a *MP Zoning district* and appears to be a conforming use.

## 1.0 PURPOSE & LIMITATIONS

---

The exclusive purpose of this Acquisition Property Condition Report (the *Report*) is to observe the general physical condition and maintenance status of the property, to suggest repair or maintenance items considered customary for the property to continue in its current operation compared to properties of similar age and condition, and to assist City of Costa Mesa, in its Due Diligence effort in evaluating the Property. Amendments to *EBI's* limitations as stated herein that may occur after issuance of the *Report* are considered to be included in this *Report*. *EBI's* liability to a purchaser wishing to use this *Report* is limited to the cost of the *Report*. By accepting draft and final *Reports*, City of Costa Mesa agrees to these terms and limitations.

The information reported was obtained through sources deemed reliable, a visual site survey of areas readily observable, easily accessible or made accessible by the property contact and interviews with owners, agents, occupants, or other appropriate persons involved with the Subject Property. Municipal information was obtained through file reviews of reasonably ascertainable standard government record sources, and interviews with the authorities having jurisdiction over the property. Findings, conclusions and recommendations included in the *Report* are based on our visual observations in the field, the municipal information reasonably obtained, information provided by the Client, and/or a review of readily available and supplied drawings and documents. No disassembly of systems or building components or physical or invasive testing was performed. *EBI* renders no opinion as to the property condition at un-surveyed and/or inaccessible portions of the Subject Property. *EBI* relies completely on the information provided during the site survey, or provided or obtained during the writing of the draft *Report*, whether written, graphic or verbal, provided by the property contact, owner or agent, or municipal source, or as shown on any documents reviewed or received from the property contact, owner or agent, or municipal source, and assumes that information to be true and correct. *EBI* assumes no responsibility for property information or prior reports withheld or not provided during preparation of the *Report* for any reason whatsoever. The observations in this *Report* are valid on the date of the survey. *EBI* uses the date of first occupancy to establish the Subject Property age.

The gathering of data and information for this and extent of the physical survey for the production of this *Report* has been limited, by contract and agreed upon Scope of Work to visual observations and a walk through of the property. Assumptions regarding the overall condition of the property have been developed based upon a survey of representative areas of the Subject Property. As such, no representation of *all* aspects of *all* areas or components is made.

Immediate Repairs as may be identified during the survey are typically limited to life, safety, health, building code violation or building or property stabilization issues observed at the Subject Property. Routine, normal or customary annual maintenance or preventative maintenance items are not reported or included in this *Report*.

Short Term Repairs as may be identified during the survey are typically repairs that are not life, safety, stabilization or code issues, but deferred maintenance or repairs necessary or of significant cost so to warrant them as a Short Term Repair, and/or that can't be completed within a short timeframe due to the magnitude of the issue, the scope of work or weather.

This assessment is based on the evaluator's opinion of the physical condition of the improvements and the estimated expected remaining useful life of those improvements, based on his observations in the field at the time of the survey, and the written or verbal information received. The conclusions presented are based on the evaluator's professional judgment. The actual performance of individual components or systems may vary from a reasonably expected standard and may be affected by circumstances that are not readily ascertainable or viewable, or that occur after the date of the survey.

Where quantities cannot be determined from information provided or physical takeoffs, lump sum estimates or allowances are used. The costs shown are based on professional judgment and the apparent or actual extent of the observed defect, including the cost to design, procure, construct and manage the repair or replacement. Where property-unique or specialty equipment is present, *EBI* relies solely on data regarding maintenance and/or replacement costs provided by the designated site contact or on-site individuals with first-hand knowledge of the specific equipment.

*EBI* provides Pre-Survey Questionnaires for completion by the designated site or property contact, as provided by City of Costa Mesa or their agent. The information requested in the questionnaire assists in our research of the Subject Property to obtain pertinent property data, discover existing physical deficiencies, chronic problems, the extent of repairs, if any, and their costs, and pending repairs and improvements. If the completed Pre-Survey Questionnaire is not returned as of this *Report*, this is a limiting factor in our analysis. If the questionnaire is returned at a later date showing a material difference from information provided in the *Report*, we will forward the questionnaire to you under separate cover. If no response is received, or no material difference is noted in the questionnaire, our *Report* will not be modified.

*EBI* may not have been provided with roof design or installation details, and may not have been provided with warranty information (see Section 3.4). *EBI* has relied on general industry performance of similar type roofs and general observations of the surface covering of the roof to determine if roof replacement is warranted during the analysis term. *EBI* is not responsible for roof failure that may occur earlier than estimated due to hidden conditions or defects that cannot be readily ascertainable by general observation.

*EBI* may not have been provided with façade reports, and cannot opine on costs to repair façades of buildings five stories or more without receipt of current façade reports (see Section 3.3). *EBI* has relied on general industry performance of similar façade systems and general observations of the surfaces of the façades to determine if repair or replacement is warranted during the analysis term. *EBI* is not responsible for façade failures that may occur earlier than estimated due to hidden conditions or defects that cannot be readily ascertainable by general observation.

If the municipality in which the Subject Property is located has governing ordinances requiring façade studies, and a copy is not provided to *EBI*, this is a limiting factor in our assessment and analysis. Prudent property management will have had façade reports completed on their high-rise property, and if a copy of the report is not provided to *EBI*, this too, is a limiting factor in our assessment and analysis.



The survey was conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession, and in accordance with generally accepted practices of other consultants currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended. The *Report* speaks only as of its date, in the absence of a specific written update of the *Report*, signed and delivered by EBI.

Any additional information that becomes available after our survey and draft submission concerning the Subject Property should be provided to EBI so that our conclusions may be revised and modified if necessary, at additional cost. This *Report* has been prepared in accordance with our Standard Conditions for Engagement, which is an integral part of this *Report*.

#### CONDITION

EBI uses terms describing conditions of the various site, building, and system components. The terms used are defined below. It is important to note that a given “condition” term will be applied to the condition of the *overall* system, which does not preclude that a part or a section of the system or component may be in a different condition.

Excellent	The majority of the component(s) or system(s) are in new or like new condition, and little or no maintenance is recommended.
Good	The majority of the component(s) or system(s) are performing their function. The component(s) or system(s) may show signs of normal aging or wear and tear, and some remedial and routine maintenance or rehabilitation work may be necessary.
Fair	The component(s) or system(s) are marginally performing, but may be obsolete and/or is approaching the end of its expected useful life. The component or system may exhibit Deferred Maintenance, evidence of previous repairs, or workmanship not in compliance with commonly accepted standards. Significant repair or replacement may be recommended to prevent further deterioration, restore it to good condition, prevent premature failure, or to prolong its expected useful life.
Poor	The component(s) or system(s) are either failed or cannot be relied upon to continue performing its original function as a result of having exceeded its typical expected useful life, excessive Deferred Maintenance or state of disrepair. Present condition could contribute to or cause the deterioration of other adjoining elements or systems. Immediate Repair or replacement is recommended.

#### ABBREVIATIONS

EBI may use various abbreviations to describe various site, building or system components or legal descriptions. Not all abbreviations may be applicable to all *Reports*. The abbreviations most often utilized are defined below.

ACT	Acoustic Ceiling Tile	FRT	Fire retardant treated plywood
ABS	Acrylonitrile-Butadiene-Styrene	GFI	Ground Fault Interrupt (circuit)
ADA	Americans with Disabilities Act	GWB	Gypsum Wall Board
AHU	Air Handling Unit	HCP	Handicapped Person
APA	American Plywood Association	HID	High Intensity Discharge (lighting)
BTU	British Thermal Unit (a measurement of heat)	HVAC	Heating, Ventilating and Air Conditioning
BTUH	British Thermal Units per Hour	HWH	Hot Water heater
CFM	Cubic Feet per Minute	KVA	Kilovolt Ampere
CMU	Concrete Masonry Unit	MBH	Thousand BTUs per Hour
CPVC	Chlorinated Poly Vinyl Chloride	MDP	Main Distribution Panel
EIFS	Exterior Insulating Finishing System	OSB	Oriented Strand Board
EPDM	Ethylene Propylene Diene Monomer	PTAC	Packaged Terminal Air Conditioning (Unit)
EUL	Expected Useful Life, Effective Useful Life	PVC	Poly Vinyl Chloride
FF&E	Furniture, Fixtures & Equipment	RTU	Roof Top Unit
FCU	Fan Coil Unit	RUL	Remaining Useful Life
HCP	Handicapped Person	TPO	Thermoplastic polyolefin
FEMA	Federal Emergency Management Agency	UBC	Uniform Building Code
FHA	Forced Hot Air	VAV	Variable Air Volume box
FHW	Forced Hot Water	VCT	Vinyl Composition Tile
FIRM	Flood Insurance Rate Map	VWC	Vinyl Wall Covering
FOIA	Freedom Of Information Act		

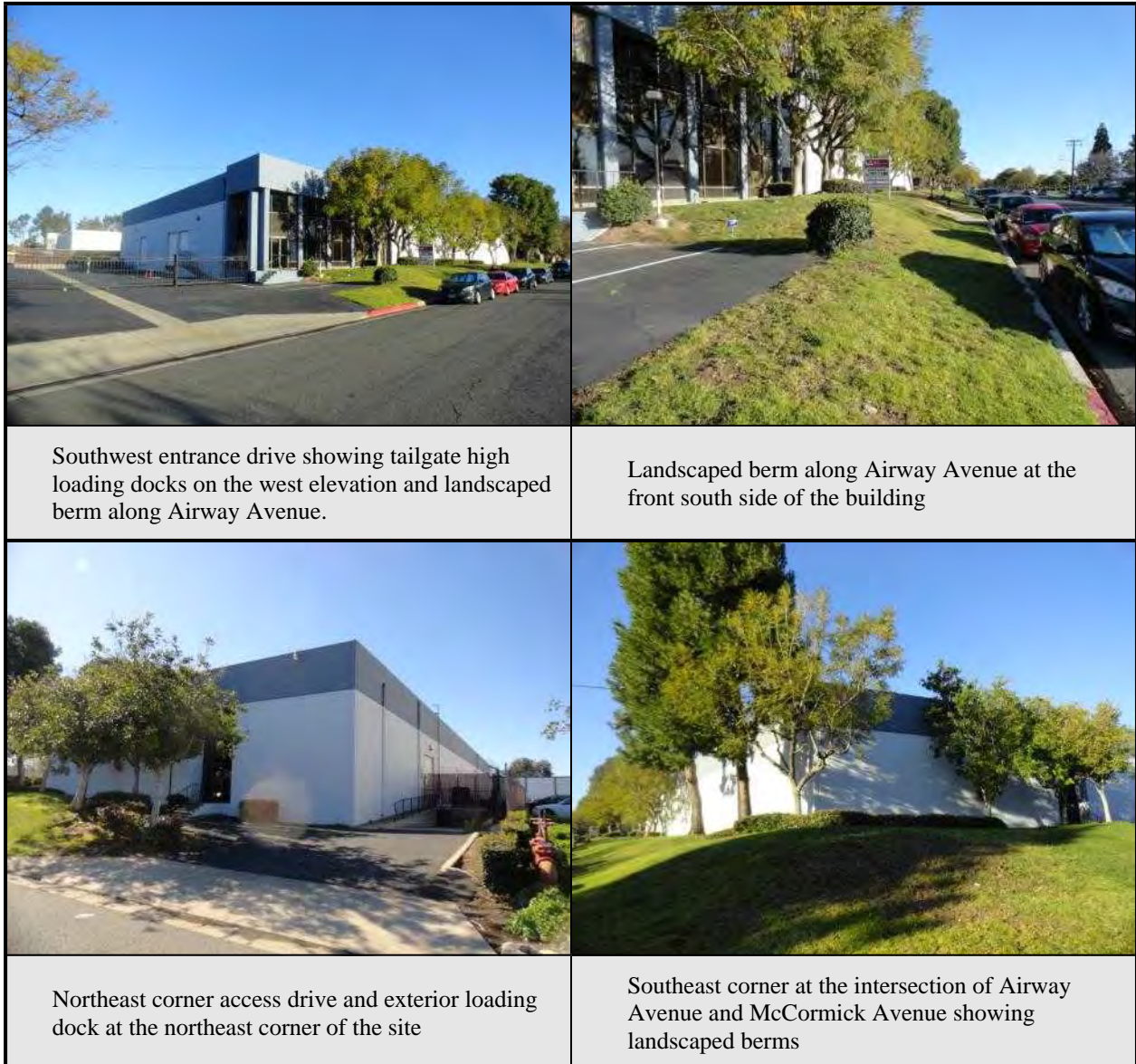
## 2.0 SITE CONDITIONS

### 2.1 TOPOGRAPHY

#### DESCRIPTION

The Subject Property is essentially level surrounding the building pad, generally sloping southeast matching surrounding topography. There is an approximately 2 to 3 foot elevation change and landscaped berm from the building pad elevation down to the municipal curb along Airway Avenue along the south property line and at the southeast corner of the site. This slope tapers to grade at the northeast corner of the site, along the east property line along McCormick Avenue.

The site is graded locally to provide three tailgate high truck loading docks along the west building elevation and at the exterior loading dock at the northeast corner of the building and site. Two loading dock doors along the north building elevation are grade-level drive-in types.



### CONDITION

No topography problems were reported or observed. Detriments or problems such as ground fractures, settlement areas, or evidence of erosion or chronically standing water were not observed.

### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**



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**Legend**

- ★ Project Site
- Site Radius at 1/4 and 1/2 mile

USGS 24K Quad: Tustin, CA 1986, Newport Beach (digital), CA 1986

Date: 2/8/2019

**Figure 2 - Topographic Map**

**3175 AIRWAY AVE  
 3175 AIRWAY AVE  
 COSTA MESA, CA 92626**

PN: 131900059

## 2.2 PAVEMENT AND PARKING

### DESCRIPTION

According to the site plans, the property is improved with parking areas for a total of 37 parking spaces. According to a count in the field, the subject property is striped for a total of 8 parking spaces. Currently only 2 spaces at the southwest building entrance, 2 spaces at the northeast building entrance and 4 spaces in the parking area at the southwest corner of the site are striped. The site plans provided in the offering memorandum show an additional 29 spaces previously striped along the west property line west of the building. Recent asphalt sealcoating has covered these parking spaces over, without restriping. The existing parking includes no standard handicapped-accessible spaces and no van handicapped-accessible spaces. See *Section 3.6 Americans with Disabilities Act (ADA) Accessibility* for additional handicapped-accessible parking information.

The parking areas have asphalt pavement. The pavement at the loading dock, truck maneuvering area and service area is comprised of concrete.

The parking is configured in lots at the southwest and northeast entrances to the building and at the southwest corner of the site. Two entry drives provide access to the Subject Property at the southwest corner of the site from Airway Avenue from the south and at the northeast corner of the site from McCormick Avenue from the east.

The parking areas have cast-in-place concrete curbing. The loading areas have concrete aprons for truck ingress and egress.

Based on a total parking capacity of 37 spaces and a building floor area of 29,816 square feet, we estimate a ratio of 1.24 parking spaces/1000 SF of building floor area. Parking requirements at the time of original construction are unknown; however, at least the original 37 total spaces should be provided if possible during pavement restriping.





Four parking spaces are provided at the southwest corner of the site



Plans show a total of 29 additional parking spaces along the west side of the building and along the west property line



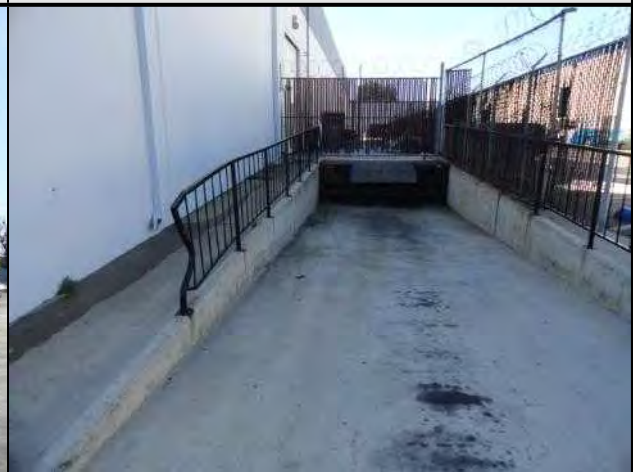
Asphalt paving condition showing seal coating applied over incomplete crack repairs



Asphalt paving condition showing seal coating applied over incomplete crack repairs



Tailgate high loading docks and concrete aprons along west building elevation



Exterior tailgate high loading dock and apron at the northeast corner of the building

	
Drive-in dock door and concrete apron with cracks on the north elevation at the east end	Drive-in dock door and concrete apron with cracks on the north elevation at the west end

### CONDITION

No problems were reported regarding the adequacy of the parking areas.

The asphalt paved areas are in good to fair condition. No problems with the paved areas were observed. However, linear cracking in the asphalt pavement were noted at a number of locations beneath the recently applied seal coating. Crack repairs were inadequate. Based on observed conditions, Immediate Repairs are recommended for crack repairs, seal coating and striping, including striping for additional parking spaces west of the building.

Based on the observed condition of the parking and drive areas and the average effective useful life of pavement and pavement sealants and striping, repairs to the asphalt, the application of sealants and striping of the parking and/or lane markings are recommended as Replacement Reserves.

The concrete pavement was noted to be in fair condition with cracking noted at the loading dock area. Based on observed conditions, Short Term Repairs are recommended for concrete pavement repairs. Based on the observed condition, reported age and average effective useful life, Replacement Reserves are recommended for concrete pavement repairs during the analysis term.

The curbs are in good condition and will be maintained as part of operational expenses during the analysis term.

### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **Patching, crack sealing, sealing and striping**
- **Patch and repair concrete**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **Patching, crack sealing, sealing and striping**
- **Patch and repair concrete**

## 2.3 LANDSCAPING, SITE IMPROVEMENTS & SITE AMENITIES

### DESCRIPTION

The property has moderate established mature landscaping at the front of the site along Airway Avenue and along the east side of the site along McCormick Avenue, around the south and east sides of the building and in islands in the parking areas.

An automatic irrigation system is present in the landscaped areas, equipped with a multi-station controller and a backflow preventer at the connection to the domestic water system.

Signage is limited to tenant identification on the office area entrance glass doors and a vertical tenant identification sign at the northeast corner office entrance.

Concrete onsite walkways are provided for pedestrian traffic at the office area entrances. Two exterior stairs, one ramp and one sloping walkway provide access to the building at office area entrances and the west side of the warehouse area. They are constructed with concrete with the stairs and ramp provided with steel pipe railings.

Lighting is provided by facade-mounted fixtures equipped with HID lamps, spaced around the building perimeter and at service areas and soffit mounted recessed downlight fixtures equipped with compact fluorescent lamps at building entrances.

Other site amenities include a chain link fencing and a masonry trash enclosure.



Typical landscaping



Landscape irrigation system backflow preventer view





Concrete stairs and steel railings at southwest entrance



Concrete ramp and railing into warehouse area on the west elevation



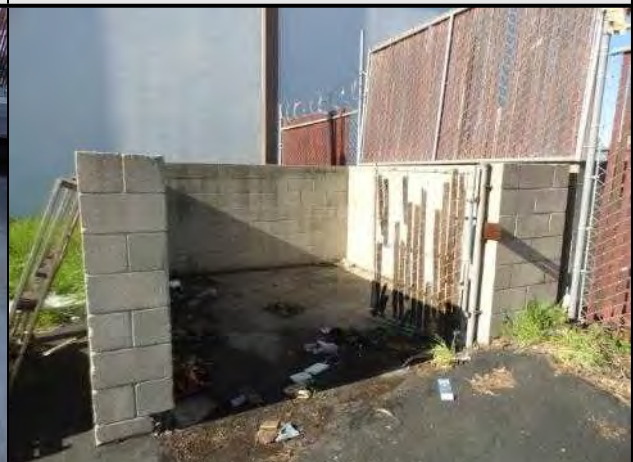
Concrete stairs, railing and signage at the northeast building entrance



Concrete walkway leading to secondary entrance to the southwest office area



Damaged railing at northeast corner exterior loading dock



Masonry trash enclosure and chain link fencing



**CONDITION**

The property landscaping appears to be in good condition. Landscape maintenance is handled as an operating expense.

The sidewalks appear to be in good to fair condition with no observed areas of deterioration or significant trip hazards. The walkway to the secondary southwest entrance exhibits some minor vertical displacement at expansion joints and should be observed in the future for tripping hazards. Based on observed conditions, Short Term Repairs are recommended for sidewalk repairs.

The railing at the exterior loading dock at the northeast corner of the building exhibits impact damage. Based on observed conditions, Short Term Repairs are recommended for railing repair.

The building signage appear to be in good condition and will be maintained as part of operational expenses during the analysis term.

The exterior light fixtures appear to be in good condition. The lighting levels were not evaluated at night, however, the height, spacing and number of fixtures appear to be adequate and are consistent with neighboring properties of this type. Routine maintenance is recommended during the analysis term.

Dumpster enclosure appears to be in fair condition and will be maintained as part of operational expenses during the analysis term.

The site stairs appear to be in good condition and will be maintained as part of operational expenses during the analysis term.

The chain link and wrought -iron fencing and rolling access gates are in good condition and will be maintained as part of operational expenses during the analysis term.

## RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **Repair concrete sidewalks**
- **Repair wrought-iron railing at northeast corner exterior loading dock**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

## 2.4 MUNICIPAL SERVICES & UTILITIES

### 2.4.1 Water & Sewer

#### DESCRIPTION

*Mesa Water* provides water service and the City of Costa Mesa/County of Orange provides sewer service to the Subject Property site. The sewer is discharged by gravity into the municipal lines beneath the abutting street. The domestic water service is provided with a backflow preventer.

### 2.4.2 Gas/Oil

#### DESCRIPTION

*Southern California Gas Company* provides natural gas service to the Subject Property. No oil service is provided to the Subject Property.

### 2.4.3 Electrical

#### DESCRIPTION

*Southern California Edison* provides electric service to the site. The service enters the property overhead to a pole and pole-mounted transformer located along the west side of the site, and then runs underground with secondary feeders to the main switchgear located in the warehouse area along the west building wall. A separate service is provided for the sub-tenant space located at the northeast corner of the warehouse, overhead from a pole-mounted transformer to a weather head with conduit down to a main disconnect and breaker panel in the sub-tenant space. The utility reportedly owns and maintains the lines up to the poles on the property lines. The secondary feeders to the switchgear are the responsibility of the Subject Property owner.

### 2.4.4 Storm Drainage

#### DESCRIPTION

The storm water flow from the site is directed by the site topography, resulting in sheet flow dispersal to curbs extending along the perimeter of parking areas and concrete swales in the center of parking areas and driving isles leading off site to municipal drainage systems along the adjacent road frontages. The building roof drain through parapet scuppers into sheet metal downspouts discharging to surface drainage systems on grade. The storm drainage system is the responsibility of the Subject Property owner



Storm water drainage systems



Storm water drainage swales



Storm water is directed off site to municipal systems



Power is provided from pole-mounted transformers with secondary feeders underground to the main switchboard in the warehouse area



Power for the sub-tenant space at the northeast corner of the building is provided overhead down to electrical panel and main breaker



Water meter in yard box with reduced pressure backflow preventer

## OVERALL CONDITION

There were no reported or observed problems with the Subject Property water, sewer, gas, oil, electric, or storm water drainage connections, systems, sizes, or capacities. Drainage appears sufficient, as areas of ponding or standing water were not observed during the survey. The utilities appear to be configured and operated in a manner consistent with their intended use, adequate for the use type, and appear to be in good condition.

## RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

## 2.5 NATURAL HAZARDS

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### DESCRIPTIONS

#### 2.5.1 Seismic

Chapter 16 of the 1997 edition of the Uniform Building Code (UBC) was reviewed to determine the Seismic Zone of the Subject Property. Chapter 16 includes calculations for and mapping of earthquake (seismic) loads on structures. Figure 16-2, Seismic Zone Map of the United States delineates differing ratings of seismic load. These ratings indicate the severity of how horizontal ground motion and sub-surface soil types affect a structure. Figure 16-2 shows the United States having seismic Zones ranging from 0 to 4.

#### 2.5.2 Flood Zone

The Federal Emergency Management Agency (FEMA) maps and rates flood hazard zones throughout the United States. These zones are depicted on a Flood Insurance Rate Map (FIRM), designated by Community Map and Panel numbers. The flood hazard zones range from Zone A or AE (A1 – A130), with Base Flood Elevations (BFE) determined, to Zone X, unshaded, areas outside the 500-year floodplain. EBI utilizes CDYS' RiskMeter (Transamerica Data) First American Flood Data Services' Flood Insights mapping system to obtain the Flood Zone Determination of the Subject Property. First American Flood Data Services searches the FEMA FIRM map and panel to obtain the Flood Zone Determination of the Subject Property.

#### 2.5.3 Wind Zone

FEMA maps and rates wind hazard zones, Special Wind Regions and Hurricane-Susceptible Regions throughout the United States. These zones are depicted on a Map of Wind Zones in the United States on FEMA's website – [www.fema.gov/fima/tsfs13.shtm](http://www.fema.gov/fima/tsfs13.shtm) and <http://www.fema.gov/graphics/library/wmap.gif>.

## CONCLUSIONS

### 2.5.1 Seismic

According to Figure 16-2 in the *UBC*, the Subject Property appears to be located in Zone 4, with a high probability of damaging ground motion.



### 2.5.2 Flood Zone

The Subject Property Flood Zone Determination appears to be Zone X, defined as an area outside the 100- and 500-year floodplains, as shown on First American Flood Data Services' Flood Hazard Certification, Community Map #060216, Panel #0286J, dated December 3, 2009.

## FloodInsights Report For: 3175 Airway Ave, Costa Mesa CA 92626

33.680155/-117.870670

Geocoding Accuracy: MP

Original Input Address: 3175 Airway Ave, Costa Mesa CA 92626

### Flood Zone Determinations

**SFHA**                      **Within 250 feet of multiple flood zones?**

Out                              No

**Map Number**

06059C0286J

Community	Community_Name	Zone	Panel	Panel_Date	Cobra
060216	COSTA MESA, CITY OF	X	0286J	December 3, 2009	COBRA_OUT

**FIPS Code**                      **Census Tract**

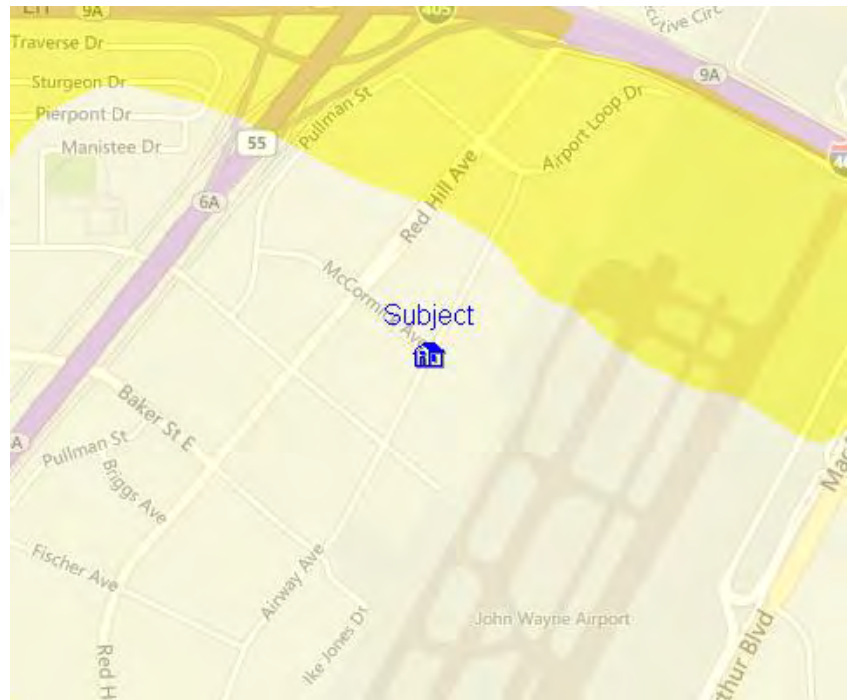
06059                              06059062610

### FloodMap Legend

#### Flood Zones

- Areas inundated by 500-year flooding
- Areas outside of the 100- and 500-year floodplains
- Areas inundated by 100-year flooding
- Areas inundated by 100-year flooding with velocity hazard
- Floodway areas
- Floodway areas with velocity hazard
- Areas of undetermined but possible flood hazards
- Areas not mapped on any published FIRM

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### 2.5.3 Wind Zone

Based on FEMA's Map of Wind Zones in the United States, the Subject Property appears to be located in Zone I, up to 130 mph winds. The Subject Property is not located in a Hurricane Susceptible Region and is not located in a Special Wind Region.





### 3.0 BUILDING CONDITIONS

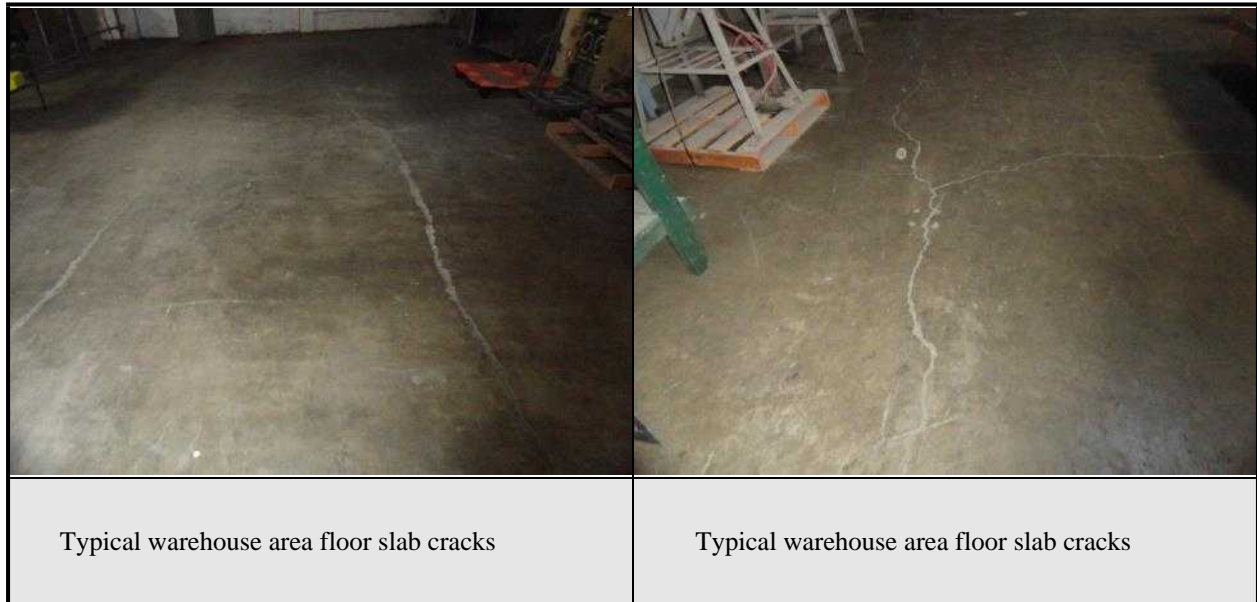
#### 3.1 SUBSTRUCTURE

##### DESCRIPTION

The majority of the Subject Property substructure was not visible due to the surrounding grade. Construction documents were not available for our review. Based on our visual survey the property appears to have cast-in-place, reinforced concrete foundations supporting the exterior walls and load bearing interior walls and/or columns.

Concrete slabs-on-grade of underdetermined thickness are provided throughout the building. The design and construction of the foundation footings is intended to properly spread out the building's vertical loads without exceeding the bearing capacity of the underlying soil. In cold climates the footings are constructed below the prescribed frost level to minimize movement due to freeze-thaw conditions. Varying sizes of steel reinforcing bars typically exist in the foundation walls and footings for tensile and bending strength. The concrete floor slabs are typically reinforced with welded wire mesh or steel reinforcement bars or fiber mesh for added flexural strength and to minimize cracking.

The concrete slabs are generally constructed over a compacted gravel or sand base and vapor barrier to aid in preventing water migration from the bearing soil to the slab.



##### CONDITION

The majority of the Subject Property substructure was not visible due to the surrounding grade. The substructure appears to be sound and in good condition. No indications of problems with the substructure were reported or observed. Unless visible, EBI's assessment of substructure condition is primarily based on obvious irregularities with the superstructures (including limited observations of exterior and interior construction and finishes) and the condition of the slab-on-grade when present. The condition of substructure hidden construction elements, or defects not readily observable, cannot be opined on, and is beyond the standard scope of work for this project.

Based on limited observations, the substructures appear to be in good overall condition and are performing as designed. No obvious indications of irregularities, including differential settlement, sloped floors, significant cracks, out of plumb building elevations, or other perceived movement, were reported or observed. However, cracks and previous repaired cracks in the warehouse floor slab were observed. Based on observed conditions, Short Term Repairs are recommended for epoxy compound repairs of floor slab cracks.

### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **Concrete floor slab crack repairs in warehouse areas**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

## 3.2 SUPERSTRUCTURE

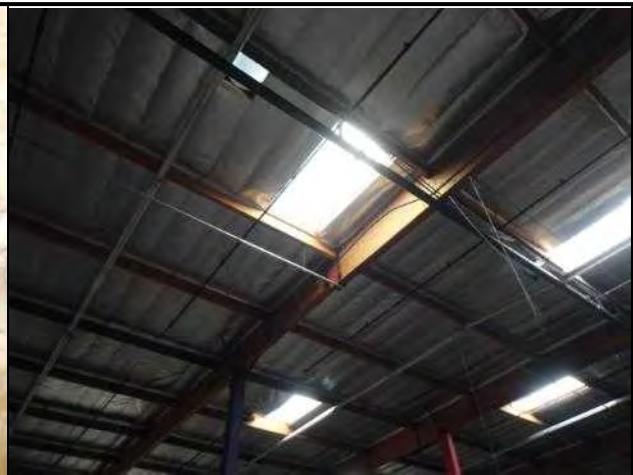
### DESCRIPTION

The superstructure is partially obscured from view by interior and exterior finishes.

The superstructures reportedly consists of structural, tilt-up, precast concrete exterior wall panels with interior wood columns, glue-laminated beams and solid sawn wood purlins and subpurlins supporting a plywood roof deck. Interior office area structures consist of solid sawn wood wall stud framing supporting wood beams, floor joists and plywood floor decks.



Overview of structure in warehouse



Typical roof framing, also showing foil insulation on underside of roof deck



Detail of roof structure



Roof deck framing at the exterior wall panels



Office area separation walls seen from the warehouse area



Occupancy separation wall framing between primary tenant space and sub-tenant space



Office area framing



Office area second floor deck framing

## CONDITION

Based on the overall appearance and observed general condition of the building, the superstructure appears to be sound and in good condition. No problems were noted or reported. Fire retardant treated plywood was not reported or observed.

The underside of the roof deck has foil insulation applied that is not cut back to provide air circulation/ventilation to prevent formation of condensation between the foil and roof deck. The condensation has the potential to cause corrosion of the framing brackets and fasteners. Where foil insulation was loose or missing and observation of the framing brackets and fasteners was possible, corrosion was not observed. Based on observed conditions, Short Term Repairs are recommended to cut back the foil insulation to provide increased ventilation and prevent future condensation and corrosion.

## RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **Cut back foil insulation to allow ventilation**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

## 3.3 FACADES

### DESCRIPTION – FACADES

During the site survey, representative building facades were viewed from the surrounding grade, from windows at upper floors and adjacent roofs. In-depth analysis of the façades is beyond the scope of work for this *Report*.

The primary exterior materials consist of painted, precast, tilt-up, concrete wall panels and aluminum framed storefront assemblies with glass entrance doors at the southwest and northeast corner office areas.

The facades have painted contrasting-colored, banding along the top of the wall panels. A two-story main lobby at the southwest corner with a glazed storefront system accentuates the primary tenant office area and entry. A secondary sub-tenant entrance with storefront system is provided at the northeast corner of the building.

### DESCRIPTION – EXTERIOR DOORS AND WINDOWS

The exterior doors consist of average-quality, commercial-grade, aluminum and glass doors accessing the entrance lobbies. Service and access doors are painted hollow insulated metal.

A two-story main lobby at the southwest corner with a single-pane glazed storefront system accentuates the primary tenant office area and entry. A secondary sub-tenant entrance with single-pane glazed storefront system is provided at the northeast corner of the building.

Three 10' wide x 12' high tail-gate high loading docks with roll-up doors are provided on the west building elevation. One has a manual dock leveler and bumpers. Two 12' wide x 14' high drive-in roll-up dock doors are provided on the north building elevation. One exterior tail-gate high loading dock with manual leveler and bumpers is provided at the northeast corner of the building. The roll-up doors are painted steel and equipped with manual chain-operators.



Southwest corner elevation, showing south (front) and west facades



Southeast corner elevation, showing south (front) and east facades



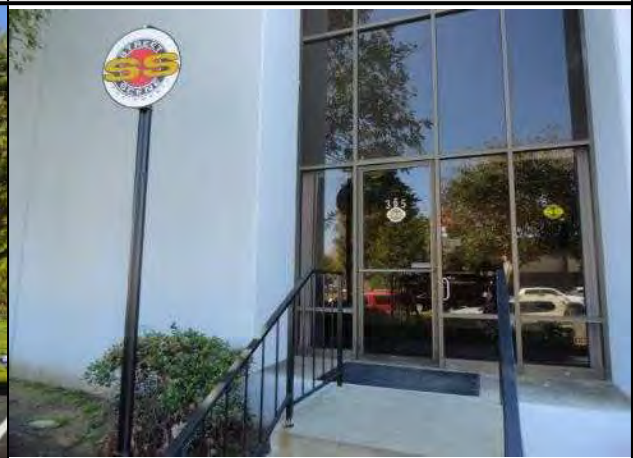
Northwest corner elevation, showing west and north facades



Northeast corner elevation, showing south (front) and east facades



Details at the southwest main building entrance



Details at the northeast sub-tenant space entrance



Secondary entrance and stairway egress at the southwest office area



Details of storefront glazing system



Typical condition of vertical panel joints



Typical condition of vertical panel joints



Typical poor condition of glazing gaskets and sealants



Typical poor condition of glazing gaskets and sealants

## CONDITION

The estimate of the façade condition is based on representative observed areas of the exterior walls and the age of the improvements. These do not represent a comprehensive or in-depth façade survey. Therefore, observations in this Report cannot be the sole source of façade analysis. Concealed and/or obscured façade material attachment systems were not viewed. The condition of the façades' hidden defects, if any, or defects not readily observable from the viewing areas mentioned above, cannot be opined on, and is beyond the standard scope of work.

The observed areas of the facades appear to be in fair condition overall.

The painted finishes appear to be in fair condition, exhibiting fading, chalking and limited peeling. Based on observed conditions, Short Term Repairs are recommended for exterior wall painting. Based on the reported age and observed condition of the Subject Property's painted finishes on the facades, and on other exterior building components, and the average effective useful life of paint coatings, Replacement Reserves are recommended for exterior painting during the analysis term.

The observed vertical concrete tilt-up panel joint sealants appear to be in fair condition, weathered and exhibiting initial drying and cracking. Based on observed conditions, Short Term Repairs are recommended for renewal of the vertical panel joint sealants. Based on their observed condition, reported age and average effective useful life, Replacement Reserves are recommended for renewal of the vertical panel joint sealants during the analysis term.

Aside from normal wear, the observed doors appear to be in good condition and will be maintained as part of operational expenses during the analysis term.

The observed windows and doors appeared to be weather tight and in good to fair condition. There is considerable evidence of aging glazing gaskets and aging wet-sealing throughout the storefront systems. The window gaskets are reported to be 47 years old. Based on observed conditions, Short Term Repairs are recommended for renewal of window and door sealants.

Exterior and interior areas of the Subject Property building were visually surveyed for the presence of termites or termite activity. No observations were conducted within concealed locations (construction elements behind exterior or interior wall finishes, and other building components, etc.). No disassembly of systems or building components or physical or invasive testing was performed. EBI renders no opinion as to the property condition at un-surveyed and/or inaccessible portions of the Subject Property. During the visual survey of the Subject Property, evidence of termite activity was not observed.

## RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **Concrete wall panel vertical joint sealant renewal**
- **Renewal of the sealants around the windows and doors**
- **Exterior painting**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **Exterior painting**

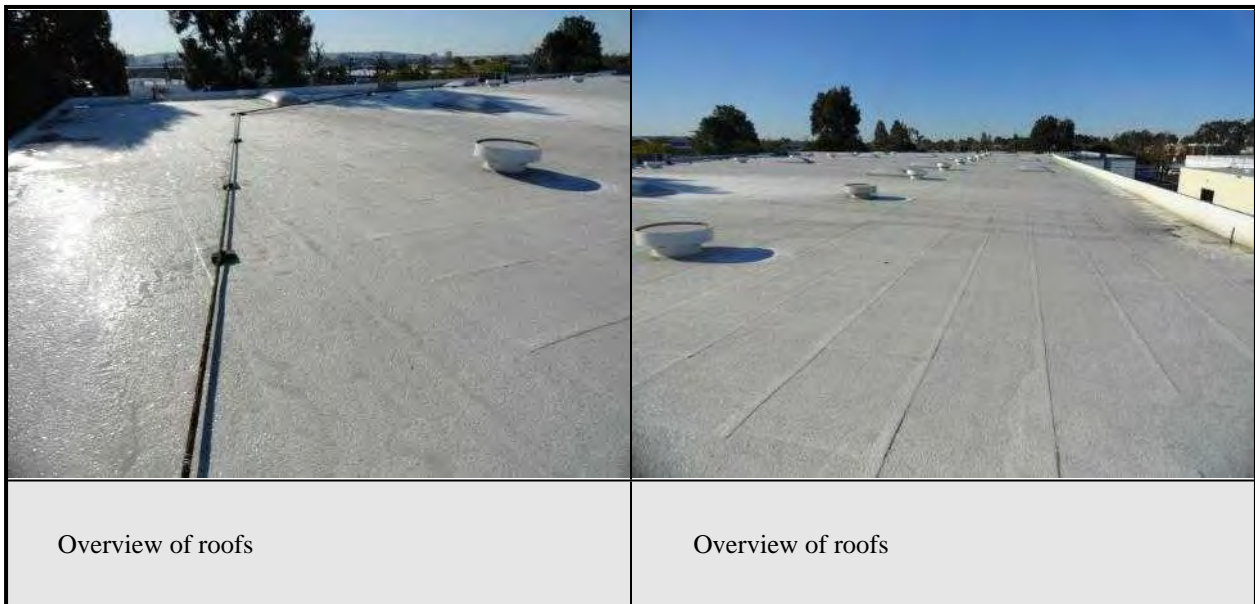
### 3.4 ROOFING

#### DESCRIPTION

As part of the survey, the Roof was surveyed by a representative of EBI Consulting, and a separate Roof Report was completed. The report recommended certain actions and repairs as Immediate or Short Term Repairs. The following is a brief description of the roof as reported in the above referenced report. Please refer to the report for a more detailed description of the roofing system and findings. A copy of the Roof Report is included in *Appendix E* of this *Report*.

The Subject Property has a low-slope built-up roof with a mineral cap with an applied white silicone coating.

The Subject Property has small secondary roofs within two recessed mechanical equipment wells consisting of low-slope built-up roofs with a mineral cap with an applied white silicone coating.



#### CONDITION

Please refer to the detailed conditions and recommendations in the Roof Report from EBI Consulting. The report provides recommendations for Immediate Repairs, or Short Term Repairs and/or Replacement Reserve work items, and the work described therein is recommended to be performed accordingly. The recommendations from the Report are included in the bulleted Recommendations below. A copy of the Roof Report is included in *Appendix E* of this *Report*.

#### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **Roof repairs**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **Proactive Roof Maintenance Program (PMP)**



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### 3.5 BASEMENTS/ATTICS

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#### DESCRIPTION

The Subject Property has no basement or attic spaces.

#### CONDITION

Not applicable.

#### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

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### 3.6 HANDICAPPED ACCESSIBILITY

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#### DESCRIPTION

The *Americans with Disabilities Act (ADA), Title III, 28 CFR Part 36*, enacted July 26, 1990 and effective January 26, 1992, governs public accommodation and commercial properties. *Title III* of the *ADA* divides facilities into two basic categories: places of *public accommodation* and *commercial facilities*, with different obligations for each facility type. The provisions of *Title III* provide that persons with disabilities should have accommodations and access to public facilities that are equal, or similar, to those available to the general public. Assessment of any other *Titles*, or their provisions of the *ADA*, including those that govern employer and/or tenant responsibilities, is specifically excluded from this Scope of Work and *Report*. Since tenants and employers at properties are usually responsible for making their leased areas *ADAAG*-compliant, assessment for *ADAAG* compliance in these areas was not completed.

Regardless of a property's age, these areas and facilities must be maintained and operated to comply with the *Americans with Disabilities Act Accessibility Guidelines (ADAAG)*. Facilities initially occupied after the effective date are required to fully comply with the *ADAAG*. Existing facilities constructed prior to this date are held to the lesser standard of compliance as *Title III* calls for owners of buildings occupied prior to the effective date to expend "reasonable" sums, and make "reasonable efforts", to make "practicable" or "readily achievable" modifications to remove barriers, unless said modification would create an undue financial burden on the property or is structurally infeasible. When renovating buildings occupied prior to the effective date, the area renovated, and the path of travel accessing the renovated area, must comply with the *ADAAG*. As an alternative, a *reasonable accommodation* pertaining to the deficiency must be made. The definitions of "reasonable," "reasonable efforts," "practicable," and "readily achievable," are site dependent and vary based on the owner's financial status.

Due to the unique nature of each property, the extent of analysis required, and the many variables of compliance with the *ADAAG* guidelines, the evaluation of costs for full *ADAAG* compliance is beyond the scope of this *Report*. A separate *ADAAG Compliance Audit* may be ordered and may reveal aspects of the property that are not in compliance.

For the purposes of this *Report* the survey is limited to visual observations of only a representative sample of areas readily observable or easily accessible, and to those areas set forth in *EBI's Modified Accessibility Compliance Checklist and Costs* included in Appendix C of this *Report*. The survey is limited to identifying potential routine maintenance or renovation actions that can increase accessibility

over time and may or may not, achieve full ADAAG compliance. Places of *public accommodation* at the Subject Property were visually observed for general compliance with the major requirements of the ADA, taking into consideration the current use of the property, its age and renovation history. No actual measurements were taken to verify compliance.

If you have additional questions concerning the ADA and the ADAAG, calls can be made to the *United States Department of Justice (USDOJ) ADA Hotline* at (800) 514-0301 followed by touching “7” on the touch tone keypad. Additionally, information is available online at the *USDOJ ADA website* at <http://www.usdoj.gov/crt/ada/adastd94.pdf> or <http://www.access-board.gov/adaag/html/adaag.htm>.

Given the existing number of parking spaces at the property of 37, the property must have 2 handicapped-accessible spaces to be considered to be in compliance with ADA, and one van-accessible parking space to be considered in compliance. The property has no parking spaces configured to be ADA compliant. To bring the property into compliance with regard to ADA and its stated parking requirements, 2 handicapped-accessible spaces, one of which must be a van-accessible parking space are required to be added. This information is presented in *EBI’s Modified Accessibility Compliance Checklist and Costs below*.

	
<p>Southeast main office entrance and west warehouse area entrance and parking are not ADA compliant</p>	<p>Secondary office area entrance/egress exit and sloping walkway are not ADA compliant</p>
	
<p>Northeast entrance sub-tenant office entrance and parking is not ADA compliant</p>	<p>Restrooms are not ADA compliant</p>



### CONDITION

No areas of the Subject Property fall into the *public accommodation* category. If the future tenant will have interior areas that fall into the *public accommodation* category, it is a tenant responsibility to provide facilities that are ADA compliant. No ADA compliant features are currently provided.

A visual review of the property, in conformance with *EBI's Modified Accessibility Compliance Checklist and Costs*, concluded that the Subject Property is not in general conformance with the *ADAAG*. Modifications to correct observed *ADAAG* deficiencies for the Subject Property and their associated estimated costs, are detailed in *EBI's Modified Accessibility Compliance Checklist and Costs* immediately following.

### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **Complete ADA compliance upgrades**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

# MODIFIED ACCESSIBILITY COMPLIANCE CHECKLIST AND COSTS

3175 Airway Avenue  
 3175 Airway Avenue  
 Costa Mesa, California  
 EBI Project #131900059

Compliance Checklist				Recommended Actions and Estimated Costs					
Building History		Yes	No	Not Applicable	Comments/Disposition	Quantity	Unit Price	Units	Total Cost
1	Has the management previously completed an ADA compliance review?		✓						
2	Have any ADA improvements been made to the property?		✓						
3	Does a Barrier Removal Plan exist for the property?		✓						
4	Has the Barrier Removal Plan been reviewed/approved by an arms-length third party such as an engineering firm, architectural firm, building department, other agencies, etc.?		✓						
5	Has building ownership or management received any ADA-related complaints that have not been resolved?		✓						
6	Is any litigation pending related to ADA issues?		✓						
Parking		Yes	No	Not Applicable	Comments/Disposition	Quantity	Unit Price	Units	Total Cost
1	Does there appear to be sufficient handicapped-accessible parking spaces with respect to the total number of reported spaces?		✓		Provide additional handicapped-accessible parking spaces to bring property into compliance.	1	\$200	each	\$200
2	Does there appear to be sufficient van-accessible parking spaces available (96" wide/ 96" aisle for van)?		✓		Provide additional van-accessible parking spaces (1 of every 8 handicapped-accessible spaces) to bring property into compliance.	1	\$250	each	\$250
3	Do the accessible spaces appear to be marked with the International Symbol of Accessibility on the paving?		✓		Provide handicapped-accessible parking designation on the paving in each space.	1	\$200	each	\$200
4	Do the accessible spaces appear to be marked with the International Symbol of Accessibility on a vertically-mounted sign?		✓		Provide handicapped-accessible parking designation vertically-mounted at the nose of each accessible space.	1	\$150	each	\$150
5	Do the van-accessible spaces appear to be marked with a sign reading "Van-Accessible"?		✓		Provide signage denoting 'van-accessible' status of each van space beneath vertically-mounted handicapped-accessible signage.	1	\$150	each	\$150
6	Does there appear to be at least one accessible route provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading zones, if provided, and public streets and sidewalks?		✓		Provide delineated accessible route within the site as required, such as adjacent to parking spaces, crossing hazardous vehicle areas, and from main roadways or public transportation stops, to bring the property into compliance.	19	\$7	per linear foot	\$133
7	Do curbs on the accessible route appear to have depressed, ramped curb cuts at drives, paths, and drop-offs?		✓		Provide ramped curb cuts as necessary along the site's accessible route and at passenger drop-off areas. Provide roughened surface to delineate cuts from adjacent walks or paved areas.	1	\$1,500	each	\$1,500
8	Does signage appear to exist directing you to accessible parking and an accessible building entrance?		✓		Provide signage delineating path from parking spaces to accessible building entrance.	1	\$150	each	\$150
Ramps		Yes	No	Not Applicable	Comments/Disposition	Quantity	Unit Price	Units	Total Cost
1	If there is a ramp from parking to an accessible building entrance, does it appear to meet slope requirements? (1:12)			✓	Rear warehouse man-doors at grade level can be used for access to warehouse and office areas.				
2	Are ramps that appear longer than six feet (6'-0") complete with railings on both sides?			✓					
3	Does the width between railings appear to be at least 36 inches?			✓					
4	Is there a level landing for every 30 feet of apparent horizontal length of ramp, at the top, and at the bottom, of ramps and switchbacks?			✓					
Entrances and Exits		Yes	No	Not Applicable	Comments/Disposition	Quantity	Unit Price	Units	Total Cost
1	Does the main accessible entrance doorway appear to be at least 32 inches wide?	✓							
2	If the main entrance does not appear to be accessible, are there alternate entrances that appear to be accessible?	✓							
3	Does the alternate accessible entrance appear to be able to be used independently?	✓							
4	Is the door hardware easy to operate (lever/push type hardware, no twisting required, and not higher than 48 inches above the floor)?	✓							
5	Do main entry doors, other than revolving doors, appear to be available?	✓							
6	If there are two main doors in series, does the minimum space between the doors appear to be 48 inches plus the width of any door swinging into the space?			✓					
Paths of Travel		Yes	No	Not Applicable	Comments/Disposition	Quantity	Unit Price	Units	Total Cost
1	Does the main path of travel appear to be free of obstruction and appear to be wide enough for a wheelchair (at least 36 inches wide)?	✓							
2	Does a visual scan of the main path reveal any obstacles (phones, fountains, etc.) that appear to protrude less than four inches into walkways or corridors?	✓							
3	Do floor surfaces appear to be firm, stable, and slip resistant (carpets wheelchair friendly)?	✓							
4	Does it appear that at least one wheelchair-accessible public telephone is available? (only required if public phones are provided for the general public)			✓					
5	Does it appear that wheelchair-accessible facilities (toilet rooms, exits, etc.) are properly identified with signage?		✓		Provide signage for wheelchair-accessible facilities.	1	\$25	each	\$25
6	Is there an apparent path of travel that does not require the use of stairs?	✓							
7	If audible fire alarms are present, does it appear that visual alarms (strobe light alarms) are also installed in all common areas?			✓					
Elevators		Yes	No	Not Applicable	Comments/Disposition	Quantity	Unit Price	Units	Total Cost
1	Do the call buttons appear to have visual signals to indicate when a call is registered and answered?			✓					
2	Does the "UP" button appear to be above the "DOWN" button?			✓					
3	Does there appear to be visual and audible signals inside cars indicating floor change?			✓					
4	Does there appear to be standard raised and Braille marking on both jambs of each hoist way entrance?			✓					
5	Do elevator doors appear to have a reopening device that will stop and reopen a car door if an object or a person obstructs the door?			✓					
6	Do elevator lobbies appear to have visual and audible indicators of car arrival?			✓					

## MODIFIED ACCESSIBILITY COMPLIANCE CHECKLIST AND COSTS

3175 Airway Avenue  
 3175 Airway Avenue  
 Costa Mesa, California  
 EBI Project #1319000059

Compliance Checklist				Recommended Actions and Estimated Costs					
7	Does the elevator interior appear to provide sufficient wheelchair turning area (51" x 68")?		✓						
8	Do elevator controls appear to be low enough to be reached from a wheelchair (48 inches front approach/54 inches side approach)?		✓						
9	Do elevator control buttons appear to be designated by both Braille and by raised standard alphabet characters (mounted to the left of the button)?		✓						
10	If a two-way emergency communication system is provided within the elevator cab, does it appear to be usable without voice communication?		✓						
Restrooms		Yes	No	Not Applicable	Comments/Disposition	Quantity	Unit Price	Units	Total Cost
1	Do common area public restrooms appear to be located on an accessible route?	✓							
2	Do pull handles appear to be push/pull or lever type?	✓							
3	Does there appear to be audible and visual fire alarm devices in the toilet rooms?		✓		Provide audible and visual fire alarm devices in toilet rooms.	2	\$75	each	\$150
4	Do corridor access doors appear to be wheelchair-accessible (at least 32 inches wide)?	✓							
5	Do public restrooms appear large enough to accommodate a wheelchair turnaround (60" turning diameter)?		✓		Modify layout to accommodate a wheelchair turnaround or convert into one-person restroom.	2	enter est. cost	lump sum	\$10,400
6	In unisex toilet rooms, does there appear to be safety alarms with pull cords?			✓					
7	Do the stall doors appear to be wheelchair accessible (at least 32" wide)?		✓		Widen stall doors at accessible stall to meet minimum clearance required.	2	\$500	per stall door	\$1,000
8	Do grab bars appear to be provided in toilet stalls?		✓		Provide compliant grab bars installation.	2	\$250	per set	\$500
9	Do the sinks appear to be provided with clearance for a wheelchair to roll under (29" clearance)?		✓		Provide minimum undersink clearance for wheelchair access to sink.	2	\$500	per sink	\$1,000
10	Do sink handles appear to be operable with one hand without grasping, pinching or twisting?		✓		Provide blade sink handles for faucet operation.	2	\$250	per faucet	\$500
11	Do exposed pipes under sink appear to be sufficiently insulated against contact?		✓		Provide pipes beneath sinks with insulation.	2	\$50	per sink	\$100
12	Do soap dispensers, towel dispensers and other accessories appear to be reachable (48" from floor for frontal approach, 54" for side approach)?		✓		Relocate bathroom accessories to appropriate mounting heights for accessibility.	2	\$50	per accessory	\$100
13	Does the base of one mirror appear to be mounted no more than 40" from the floor?		✓		Provide tilted mirror for wheelchair use, or remount flat mirror at accessible height.	2	\$150	per mirror	\$300
<b>Total Estimated Cost of Accessibility Compliance Recommendations:</b>									<b>\$16,808</b>

### 3.7 INTERIOR FINISHES & COMPONENTS

#### DESCRIPTION

The interior areas into which entry was made possible by the site contact are finished with average quality, but dated materials. The finishes generally consist of the materials listed in the table below.

<i>TYPICAL INTERIOR FINISHES</i>			
AREA OR ROOM	FLOOR	WALLS	CEILING
Lobbies	Carpeting, vinyl floor	Painted GWB	Suspended acoustic tile, Painted GWB
Offices	Carpet	Painted GWB	Suspended acoustic tile
Restrooms	Ceramic tile, vinyl floor tile	Ceramic tile	Painted GWB
Stairs	Vinyl floor tile	Painted GWB	Suspended acoustic tile
Mechanical/Utility Rooms	Vinyl floor tile, bare concrete	Painted GWB	Exposed structure
Warehouse	Bare concrete	Bare concrete, painted concrete, painted GWB	Open wood structure with foil insulation

The Subject Property has interior tenant areas consisting of lobbies, support areas, interior corridors, stairways, conference rooms and break rooms. There are no interior common areas at the Subject Property.



Main entrance lobby at southwest corner of the building

Main lobby viewing east into office areas and corridor



Typical office area finishes on ground floor



Ground floor office area secondary egress doorway



Second floor office area finishes



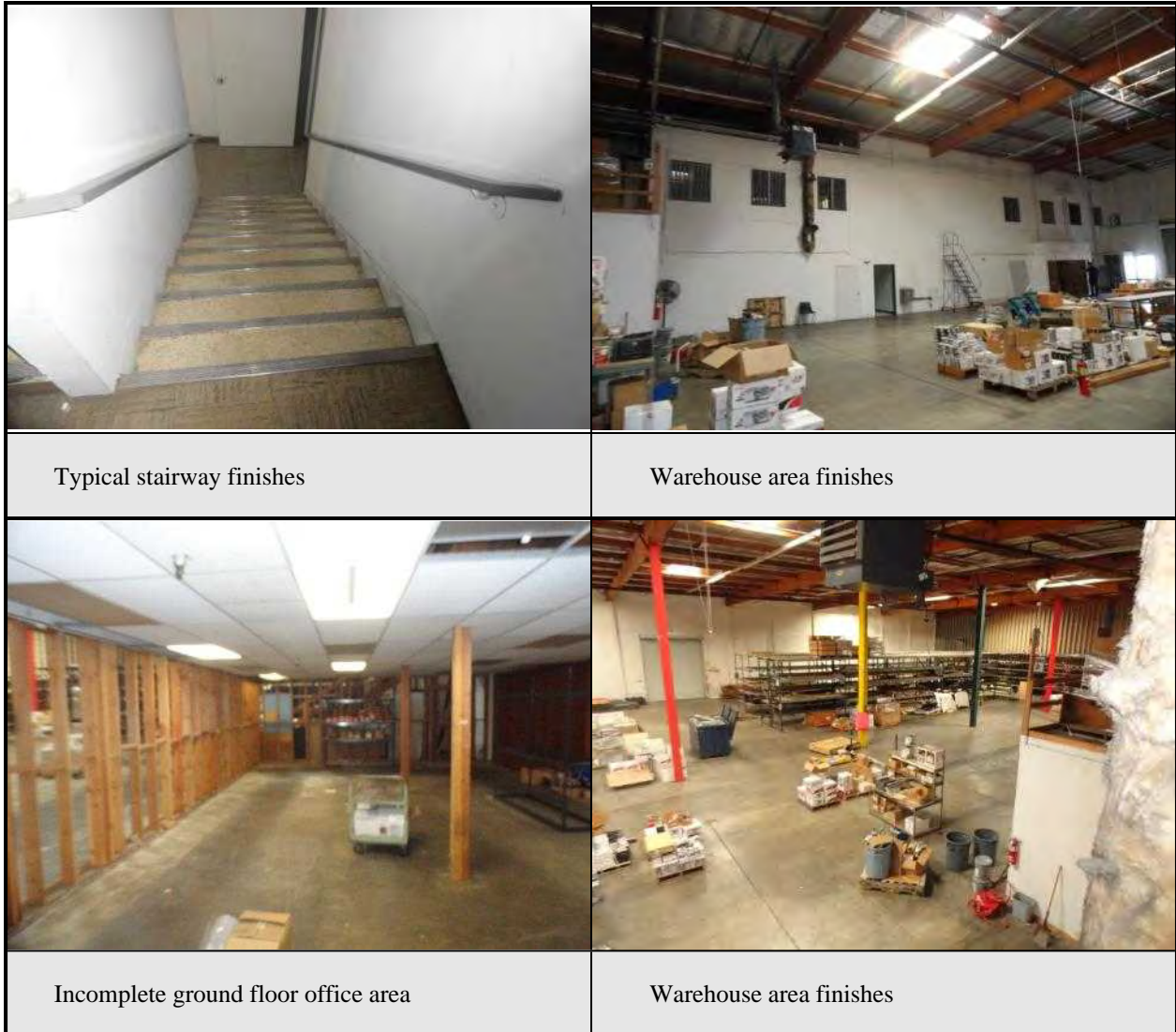
Sub-tenant office area entrance lobby at the northeast corner of the building



Sub-tenant office area at the northeast corner of the building



Typical restroom finishes and fixtures



### CONDITION

The building and interior spaces appear to have been vacant for a prolonged period of time. A representative sampling of the tenant spaces were surveyed and comments regarding their condition are listed below.

The interior finishes were worn, damaged or partially demolished. Comprehensive tenant improvements and refurbishment will be necessary before occupancy. The tenant improvements, refurbishment and renovations are a future tenant responsibility. New tenant refurbishment is not calculated in this *Report* as reserves for this work are typically carried elsewhere during underwriting.

### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- None

Please see Table 1 for the recommended Short Term Repairs listed below:

- None

Please see Table 2 for the recommended Replacement Reserves listed below:

- None



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### 3.8 SUSPECT MOLD AND MOISTURE

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Interior areas of the Subject Property buildings to which access was provided, and in which building elements were readily observable, were reviewed for the presence of moisture and visible or olfactory evidence of microbial development (suspect mold). No observations were conducted within concealed locations (construction elements behind wall and ceiling finishes, and other building components, etc.). No sampling or testing was performed to confirm the presence of invisible airborne microbial elements. In addition to *EBI's* observation efforts, property personnel did not indicate the presence of moisture or suspect mold during the survey, or in *EBI's* Pre-Survey Questionnaire.

Representative Subject Property observations and interviews revealed no obvious visual or olfactory indications of the presence of active moisture or suspect mold activity. No recommendations concerning moisture or mold are made at this time.

#### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

## 4.0 BUILDING SYSTEMS

### 4.1 BUILDING PLUMBING

#### DESCRIPTION

As part of the survey, the plumbing fixtures and equipment was surveyed by a representative of EBI Consulting, and a separate MEP FLS Report was completed. The report recommended certain actions and repairs as Immediate or Short Term Repairs. The following is a brief description of the plumbing equipment as reported in the above referenced report. Please refer to the report for a more detailed description of the equipment and findings. A copy of the Plumbing Report is included in *Appendix E* of this *Report*.

Observed domestic water distribution piping is copper. Sanitary sewer, waste, drain and vent piping is PVC and cast-iron.

Natural gas distribution piping is malleable black steel with natural gas used in the rooftop gas/electric HVAC units.

Domestic hot water is provided at the building by two electric water heaters. The domestic hot water temperature set point is controlled locally, at the water heaters. The water supplied by the city appears to come in at a high enough pressure that booster pumps and fire pumps are not necessary to distribute water throughout the building.

The subject property has 7 total restrooms with total fixture counts of 7 toilets, 7 restroom sinks, 2 urinals, 1 shower, and 2 water bubblers. Typical toilets are 1.6 gpf, floor-mounted, vitreous china with stainless steel or chrome plated metal fittings. Typical restroom sinks are 1.2 gpm, wall-mounted or surface mount style with solid surface countertops. The urinals are rated for 0.6 gpf and the showerhead flowrate is estimated to be 2.0 gpm. All plumbing fixtures are manual valves. There is also a break room sink that is missing a faucet fixture and drain piping.





Figure 2.1.3 – Nonfunctional urinal



Figure 2.1.4 – Typical restroom sink

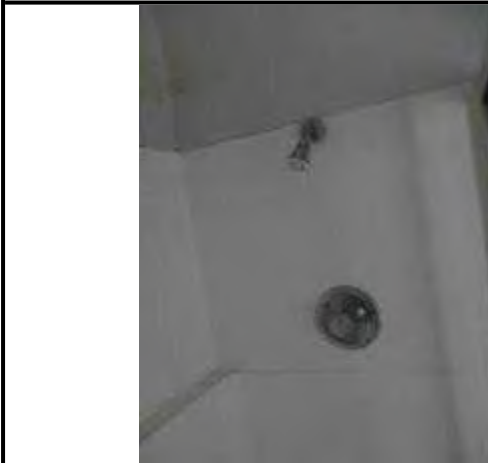


Figure 2.1.5 – Private restroom showerhead



Figure 2.1.6 – Water bubbler

### CONDITION

Please refer to the detailed conditions and recommendations in the MEP FLS Report from EBI Consulting. The report provides recommendations for Immediate Repairs, or Short Term Repairs and/or Replacement Reserve work items, and the work described therein is recommended to be performed accordingly. The recommendations from the Report are included in the bulleted Recommendations below. A copy of the MEP FLS Report is included in *Appendix E* of this Report.

### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- None

Please see Table 1 for the recommended Short Term Repairs listed below:

- **Replace electric hot water heater 30-gallon (Qty. 2)**
- **Replace break room sink fixture and piping (Qty. 1)**
- **Replace urinal, manual flush, water saving 0.5 gpf (Qty. 1)**

Please see Table 2 for the recommended Replacement Reserves listed below:

- None

## 4.2 HVAC

### DESCRIPTION

As part of the survey, the plumbing fixtures and equipment was surveyed by a representative of EBI Consulting, and a separate MEP FLS Report was completed. The report recommended certain actions and repairs as Immediate or Short Term Repairs. The following is a brief description of the plumbing equipment as reported in the above referenced report. Please refer to the report for a more detailed description of the equipment and findings. A copy of the Plumbing Report is included in *Appendix E* of this Report.

The HVAC equipment consists of packaged rooftop-mounted air conditioners with natural gas furnaces which serve the various office spaces in the building. There are a total of 5 units, but only the 2 most recently installed Carrier units are fully operational with capacities of 5 tons each. The older Day & Night units have each had their natural gas shut-off valves closed and 2 out of 3 of them have been abandoned completely with electricity disconnected. One office is supplemented by a thru-wall air conditioner that dispels heat into the warehouse. The warehouse is largely unconditioned with the exception of a single gas-fired unit heater. The building does not contain any dedicated exhaust fans.



Figure 2.4.1 – Older Day & Night HVAC



Figure 2.4.2 – Abandoned HVAC unit



Figure 2.4.3 – Supplemental thru-wall AC



Figure 2.4.4 – Gas Unit Heater

## CONDITION

Please refer to the detailed conditions and recommendations in the MEP FLS Report from EBI Consulting. The report provides recommendations for Immediate Repairs, or Short Term Repairs and/or Replacement Reserve work items, and the work described therein is recommended to be performed accordingly. The recommendations from the Report are included in the bulleted Recommendations below. A copy of the MEP FLS Report is included in *Appendix E* of this Report.

## RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **Replace 3-ton rooftop package unit – 100% OA, Single Zone (Qty. 3)**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **Replace 4-ton rooftop package unit – 100% OA, Single Zone (Qty. 1)**

## 4.3 BUILDING ELECTRICAL

### DESCRIPTION

As part of the survey, the Subject Property electrical equipment was surveyed by a representative of *EBI Consulting*, and a separate MEP FLS Report was completed. The report recommended certain actions and repairs as Immediate or Short Term Repair, and includes Replacement Reserves. The following is a brief description of the electrical equipment found at the Subject Property as reported in the above referenced report. Please refer to the report for a more detailed description of the equipment and findings. A copy of the MEP FLS Report is included in *Appendix E* of this Report.

The incoming electrical service feeds main service switchboard; feeding secondary runs to circuit breaker panels located throughout the Subject Building where it is distributed to the point of use. The main service switchboard is rated for 600-Amp, 240-Volt, 1-phase, 3-wire service and was manufactured by General Electric. The electrical circuit breaker panels vary in age and manufacturer, but most are rated for 225 Amp capacity. There are currently 2 E-MON D-MON electric sub meters measuring the energy consumption of separate electrical panels and end uses. Also present at the site is a phase converter which allows certain machinery to be operated with 3-phase electrical service.

The building is almost exclusively by T12 fluorescent lighting fixtures in both the warehouse and office areas. A portion of the lighting was disabled at the electrical breaker panels and was not tested for quality control. The Subject Property reportedly has branch copper wiring and standard electrical devices, switches, and fixtures consistent with the Subject Property use type.



Figure 2.3.1 – Incoming electrical service



Figure 2.3.2 – Electrical Switchboard



Figure 2.3.3 – Electrical Breaker Panels



Figure 2.3.4 – Typical T12 fluorescent lighting

### CONDITION

Please refer to the detailed conditions and recommendations in the MEP FLS Report from EBI Consulting. The report provides recommendations for Immediate Repairs, or Short Term Repairs and/or Replacement Reserve work items, and the work described therein is recommended to be performed accordingly. The recommendations from the Report are included in the bulleted Recommendations below. A copy of the MEP FLS Report is included in *Appendix E* of this *Report*.

### RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **Replace nonfunctional lighting fixtures (Qty. ~5)**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **Replace 600A Main Circuit Breaker, single phase (Qty. 1)**
- **Replace panel board, 3 wire, 225 amp main lugs, 36 circuits (Qty. 2)**
- **Retrofit T12 fluorescent lighting with T8 or linear LED (Qty. ~200)**

#### 4.4 BUILDING & SITE FIRE & LIFE SAFETY

##### DESCRIPTION

As part of the survey, the Subject Property fire and life-safety equipment was surveyed by a representative of *EBI Consulting*, and a separate MEP FLS Report was completed. The report recommended certain actions and repairs as Immediate or Short Term Repair, and includes Replacement Reserves. The following is a brief description of the fire and life-safety equipment found at the Subject Property as reported in the above referenced report. Please refer to the report for a more detailed description of the equipment and findings. A copy of the MEP FLS Report is included in *Appendix E* of this Report.

Observed fire and life safety systems serving the Subject Property includes a wet fire sprinkler system, wet stand pipes, and fire department hose connections. There was not a central fire alarm panel present at the property, though there appeared to have once been addressable zones for the fire safety alarm system as several alarms were seen with zone number labels printed. There is no active alarm monitoring service or auto-dialer. Handheld fire extinguishers are provided appropriately throughout the Subject Property.



Figure 2.5.1 – Fire extinguisher inspection tag



Figure 2.5.2 – Fire sprinkler system inspection tag



Figure 2.5.3 – Spare sprinkler head box



Figure 2.5.4 – Non-illuminated Exit signage

## CONDITION

Please refer to the detailed conditions and recommendations in the MEP FLS Report from EBI Consulting. The report provides recommendations for Immediate Repairs, or Short Term Repairs and/or Replacement Reserve work items, and the work described therein is recommended to be performed accordingly. The recommendations from the Report are included in the bulleted Recommendations below. A copy of the MEP FLS Report is included in *Appendix E* of this *Report*.

## RECOMMENDATIONS

Please see Table 1 for the recommended Immediate Repairs listed below:

- **Replace central fire alarm panel (Qty. 1)**
- **Install Emergency Exit lights (Qty. 7)**
- **Install Emergency battery pack lights (Qty. 3)**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

## 4.5 ELEVATORS

---

### DESCRIPTION

The Subject Property has no elevators.

### CONDITION

Not applicable.

Please see Table 1 for the recommended Immediate Repairs listed below:

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**



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## 5.0 CODE VIOLATIONS

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### 5.1 BUILDING & PLANNING DEPARTMENT

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#### DESCRIPTION

The Costa Mesa Building & Safety Division and Planning Division were consulted for open material violations, and to obtain, *readily available, reasonably ascertainable* and *publicly viewable* documents regarding the Subject Property.

#### CONCLUSION

This municipality provides responses to file inquiries for research purposes. The response time varies on municipal workload. *EBI* has submitted an inquiry for potential outstanding violations on file for the Subject Property. No response has been received as of this *Report*. If a response showing a material violation is provided to *EBI*, *EBI* will forward that notice under separate cover. If no response is received or no material violations are noted, our *Report* will not be modified.

#### RECOMMENDED ACTION ITEMS

Please see Table 1 for the recommended Action Items listed below:

- **None**

### 5.2 FIRE DEPARTMENT

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#### DESCRIPTION

The Costa Mesa Fire & Rescue Department was consulted for open material violations.

#### CONCLUSION

This municipality provides responses to file inquiries for research purposes. The response time varies on municipal workload. *EBI* has submitted an inquiry for potential outstanding violations on file for the Subject Property. No response has been received as of this *Report*. If a response showing a material violation is provided to *EBI*, *EBI* will forward that notice under separate cover. If no response is received or no material violations are noted, *EBI's Report* will not be modified.

#### RECOMMENDED ACTION ITEMS

Please see Table 1 for the recommended Action Items listed below:

- **None**

## 6.0 REFERENCES

### 6.1 REFERENCES CONTACTED

#### DESCRIPTION

A number of sources were contacted during the preparation of this *Report*. The following individuals were interviewed, and state, county or local municipal departments consulted. Documentation applicable to the Subject Property in those departments was requested and reviewed when and where available and/or reasonably ascertainable. Individuals listed without phone numbers were contacted in person or by e-mail.

ACQUISITION PROPERTY CONDITION REPORT REFERENCES				
RESOURCE	CONTACT	INFORMATION PROVIDED	PHONE OR WEB	DATE
Costa Mesa, California Building Division	Staff	Code compliance & violations, Certificates of Occupancy	714.754.5273	2/19/19
Costa Mesa, California Planning Division	Staff	Zoning information	714.754.5610	2/19/19
Costa Mesa, California Fire & Rescue Department	Staff	Fire history & code violations	714.754.5106	2/19/19
Property Owner	Mr. Steve Millen	Property information	714.540.5566	2/14/19

## 7.0 IMMEDIATE REPAIRS AND REPLACEMENT RESERVES

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The cost estimates shown on the tables are based on data obtained from the Owner for items already planned, quotes from contractors, EBI's in-house acquisition database costs and our experience with costs and estimates for similar issues, property and building types, city cost indexes, and assumptions regarding future economic conditions. These projected costs are augmented by cost estimate resource documents such as the National Construction Estimator, Means Building Construction Cost Data, or Means Facilities Maintenance and Repair Cost Data Publications.

### 7.1 IMMEDIATE REPAIRS & SHORT TERM REPAIRS - TABLE 1

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Each of the Immediate Repair items noted during the survey are listed on the following page on Table 1, and compiled on the Executive Summary Table. Items are grouped and cross-referenced by Report section. Immediate Repairs as may be identified during the survey are typically limited to life, safety, health, building code violation or building or property stabilization issues observed at a Subject Property.

Each of the Short Term Repair items noted during the survey are listed on the following page on Table 1, and compiled on the Executive Summary Table. Items are grouped and cross-referenced by Report section. Short Term Repairs as may be identified during the survey are typically repairs that are not life, safety, stabilization or code issues, but deferred maintenance or repairs necessary or of significant cost so to warrant them as a Short Term Repair, and/or that cannot be completed within a short timeframe due to the magnitude of the issue, the scope of work or weather.

### 7.2 REPLACEMENT RESERVES - TABLE 2

---

Each of the Replacement Reserve items noted during the survey are listed in *Table 2 – Replacement Reserves*, and compiled on the *Executive Summary – Immediate Repairs and Replacement Reserves* table. Items are grouped and cross-referenced by *Report* section. Routine operational or customary annual maintenance items are not reported or included in this *Report*.

**TABLE 1 - IMMEDIATE REPAIRS & SHORT TERM REPAIRS**

SECTION NUMBER		SECTION NAME	RECOMMENDED WORK	QUANTITY	UNIT COST	UNIT DESCRIPTION	ESTIMATED IMMEDIATE REPAIR COST	Short Term Repair?	ESTIMATED SHORT TERM REPAIR COST	COMMENTS OR ADDITIONAL DESCRIPTION			
<b>3175 Airway Avenue</b>		<b>Site Survey Date:</b> 02/19/19		<b>Building Area:</b> 29,816		<b>Report Date:</b> 02/26/19		<b>Number of Units:</b> 2					
<b>Covina Mesa, California</b>		<b>Property Type:</b> Industrial		<b>Number of Floors:</b> 1		<b>Number of Buildings:</b> 1		<b>Property Age:</b> 47					
<b>EBI Project # 131900059</b>		<b>Analysis Term:</b> 10											
<b>SITE CONDITIONS</b>													
2.1	Tops	None											
2.2	Pav't/Pkg	Repair asphalt paving cracks and provide additional parking space striping.	1	\$14,894.00	per square foot		✓	\$14,894		Pavement sealcoating was recently performed without adequate crack repair and parking space striping is incomplete.			
2.2	Pav't/Pkg	Repair concrete pavement	1,000	\$4.50	linear foot		✓	\$4,500		The concrete pavement was noted to be in fair condition with cracking noted at the loading dock area.			
2.3	Amenities	Repair wrought-iron railing at northeast corner exterior loading dock	1	\$1,500.00	allowance		✓	\$1,500		The railing at the exterior loading dock at the northeast corner of the building exhibits impact damage.			
2.4	Utilities	None											
<b>BUILDING CONDITIONS</b>													
3.1	Substruct.	Repair concrete floor slab cracks in warehouse areas	450	\$4.75	per linear foot		✓	\$2,138		Cracks and previous repaired cracks in the warehouse floor slab were observed.			
3.2	Superstruc.	Allowance to cut back foil insulation to allow ventilation of panelized wood roof structure and framing brackets	29,816	\$0.15	allowance		✓	\$4,472		The underside of the roof deck has foil insulation to provide air circulation/ventilation to prevent formation of condensation between the foil and roof deck.			
3.3	Facades	Exterior painting (stucco/EI/FS)	17,816	\$2.45	per square foot	\$43,561				The painted finishes appear to be in fair condition, exhibiting fading, chalking and limited peeling.			
3.3	Facades	Renew/recaulk expansion & control joints	990	\$1.55	linear foot	\$1,529				The observed vertical concrete tilt-up panel joint sealants appear to be in fair condition, weathered and exhibiting initial drying and cracking.			
3.3	Facades	Renew/recaulk windows and doors	1,260	\$1.55	linear foot	\$1,947				There is considerable evidence of aging glazing gaskets and aging wet-sealing throughout the storefront systems.			
3.4	Roof	Roof repairs	1	\$7,213.00	allowance		✓	\$7,213		As recommended in EBI's Roof Report.			
3.5	Bent/Attic	None											
3.6	ADA	Complete ADA compliance upgrades	1	\$16,808	lump sum	\$16,808				Complete ADA compliance upgrades as detailed in the Modified Accessibility Compliance Checklist.			
<b>INTERIOR FINISHES &amp; COMPONENTS</b>													
3.7	Interior F & C	None											
3.8	Mold	None											
<b>BUILDING SYSTEMS</b>													
2.1	Plumbing	Replace residential electric water heater (40 gal.)	2	\$1,527.06	each		✓	\$3,054.12		As recommended in EBI's MEP FLS Report.			
2.1	Plumbing	Plumbing fixture replacement	1	\$400.00	each	\$400.00				As recommended in EBI's MEP FLS Report.			
2.1	Plumbing	Urinal, manual flush, water saving 0.5 gpf	1	\$1,191.40	each	\$1,191.40				As recommended in EBI's MEP FLS Report.			
4.1	Plumbing	Install seismic shut-off device on natural gas service	1	\$850.00	each, # per year	\$850				As recommended in EBI's MEP FLS Report.			
4.2	HVAC	Replace rooftop package unit (3-ton) - 100% OA, Single Zone	3	\$14,381.75	each	\$43,145				As recommended in EBI's MEP FLS Report.			
4.3	Electric	Replace nonfunctional lighting fixtures	5	\$100.00	each	\$500				As recommended in EBI's MEP FLS Report.			
4.4	FL Safety	Replace central fire alarm panel (apartments main)	1	\$4,775.96	each	\$4,776				As recommended in EBI's MEP FLS Report.			
4.4	FL Safety	Install/replace Emergency exit lights	7	\$225.00	each	\$1,575				As recommended in EBI's MEP FLS Report.			
4.4	FL Safety	Install/replace Emergency battery pack lights	3	\$225.00	each	\$675				As recommended in EBI's MEP FLS Report.			
4.5	Elevators	None											
<b>MATERIAL CODE VIOLATIONS</b>													
5.0	Codes	None											
<b>TOTAL</b>							\$116,958		\$37,771				
<b>20% MARK-UP FOR GENERAL CONDITIONS, OH&amp;P, PERMITS, ENGINEERING, CONTINGENCY</b>							\$23,392		\$7,554				
<b>TOTAL DEFERRED MAINTENANCE</b>							\$185,674						
<b>PROPERTY AND LOAN INFORMATION</b>				Building Area	29,816			Property Age	47 yrs	No. of Floors	1	Survey Date	2/19/19
				Tenants or Units	2			Property Type	Industrial	No. of Buildings	1	Report Date	2/26/19

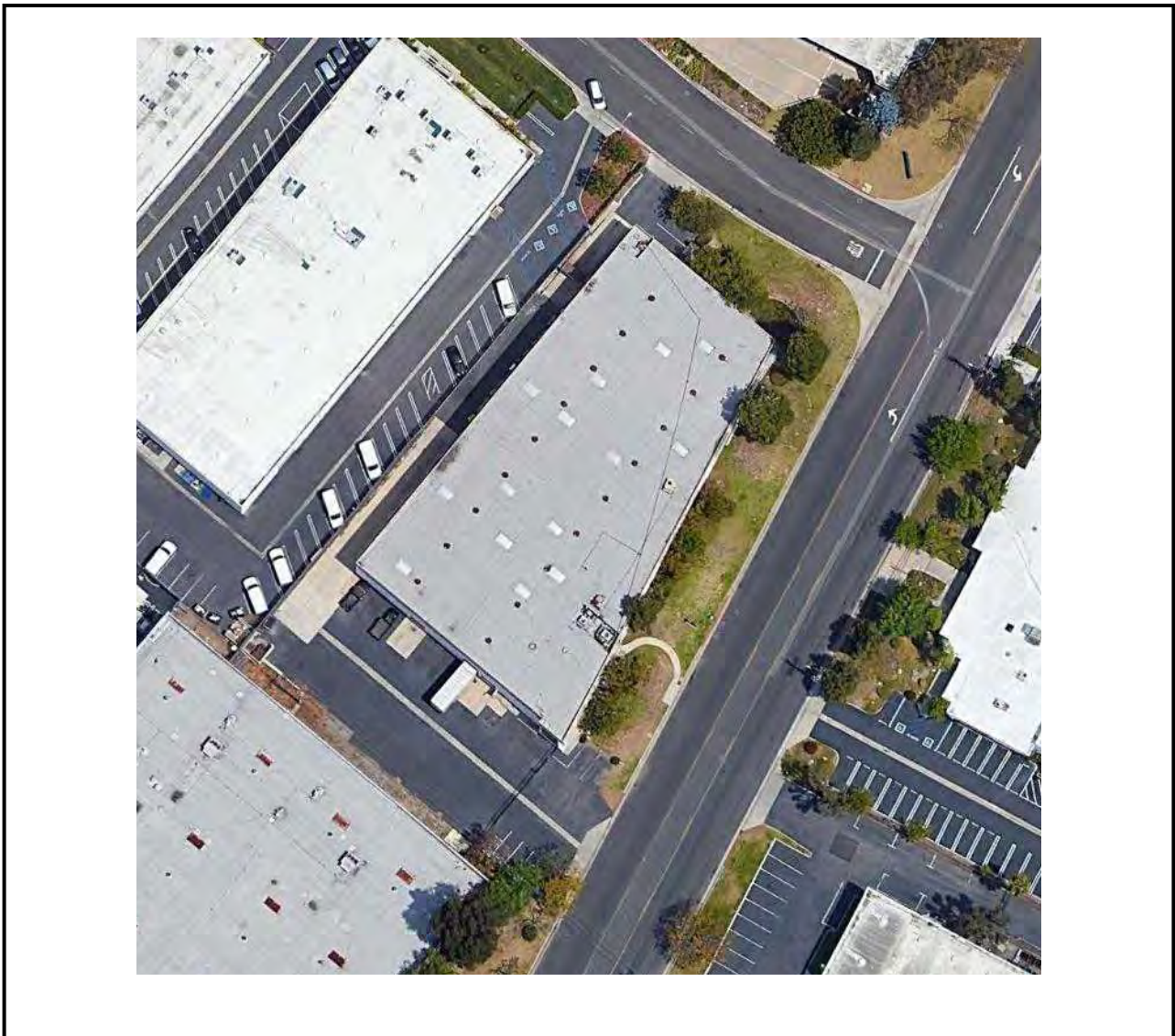
**TABLE 2 - REPLACEMENT RESERVES**

3175 Airway Avenue 3175 Airway Avenue Costa Mesa, California EBI Project # 1319000059			Site Survey Date: 02/19/19 Report Date: 02/26/19 Property Type: Industrial Number of Buildings: 1 Number of Floors: 1				Building Area: 29,816 Number of Units: 2 Property Age: 47 Analysis Term: 10															
SECTION NUMBER	SECTION NAME	RECOMMENDED WORK	AVERAGE EFFECTIVE USEFUL LIFE	EFFECTIVE AGE	REMAINING USEFUL LIFE	TOTAL QUANTITY OVER TERM	APPROXIMATE QUANTITY PER YEAR	UNIT COST	UNIT DESCRIPTION	ESTIMATED COST PER YEAR	Annual Costs										RECOMMENDED TOTAL OVER THE TERM	
											2019	2020	2021	2022	2023	2024	2025	2026	2027	2028		
											YEAR 1	YEAR 2	YEAR 3	YEAR 4	YEAR 5	YEAR 6	YEAR 7	YEAR 8	YEAR 9	YEAR 10		
<b>SITE CONDITIONS</b>																						
2.1	Topo.	None																				
2.2	Pvm't/Pkg	Patching, crack sealing, sealing and striping	5	1	4	29,788	14,894	\$0.21	per square foot	\$3,128				3,128						3,128		\$6,255
2.2	Pvm't/Pkg	None																				
2.3	Amenities	None																				
2.4	Utilities	None																				
<b>BUILDING CONDITIONS</b>																						
3.1	Substr.	None																				
3.2	Superstr.	None																				
3.3	Facades	Exterior painting (stucco/EIFS)	10		10	17,816	17,816	\$1.63	per square foot	\$29,041											29,041	\$29,041
3.4	Roof	Proactive Roof Maintenance Program (PMP)	-	-	-	9	1	\$2,838.70	allowance	\$2,839		2,839	2,839	2,839	2,839	2,839	2,839	2,839	2,839	2,839	2,839	\$25,548
3.5	Bsm't/Attic	None																				
3.6	ADA	None																				
<b>INTERIOR FINISHES &amp; COMPONENTS</b>																						
3.7	Interior F & C	(Tenant improvements/tenant responsibility)																				
3.8	Mold	None																				
<b>BUILDING SYSTEMS</b>																						
4.1	Plumbing	Replace rooftop steel natural gas piping (-250')	50	47	3	1	1	\$1,000.00	allowance	\$1,000			1,000									\$1,000
4.2	HVAC	Replace rooftop package unit (4-ton) - 100% OA, Single Zone	20	14	6	1	1	\$15,391.85	each	\$15,392					15,392							\$15,392
4.3	Electric	Replace Main Circuit Breaker, single phase (600 Amp)	60	52	8	1	1	\$5,283.60	each, # per year	\$5,284									5,284			\$5,284
4.3	Electric	Replace panel board, 3 wire, 225 amp main lugs, 36 circuits	60	52	8	2	2	\$3,066.56	each, # per year	\$6,133									6,133			\$6,133
4.3	Electric	Retrofit T12 lighting with T8 or linear LED	20	-		200	40	\$50.00	each, # per year	\$2,000	2,000	2,000	2,000	2,000	2,000							\$10,000
4.4	F/L Safety	None																				
4.5	Elevators	None																				
<b>ANNUAL RECOMMENDATIONS, UNINFLATED</b>											2,000	4,839	5,839	7,966	4,839	18,231	2,839	14,255	5,966	31,879	<b>\$98,653</b>	
<b>INFLATION FACTOR, IN PERCENTAGE 1.030</b>											100.00%	103.00%	106.09%	109.27%	112.55%	115.93%	119.41%	122.99%	126.68%	130.48%		
<b>ANNUAL RECOMMENDATIONS, INFLATED @ 3.00% AFTER YEAR ONE</b>											2,000	4,984	6,194	8,705	5,446	21,134	3,390	17,532	7,558	41,595	<b>\$118,539</b>	
<b>Notes:</b>											<b>NET PRESENT VALUE OF RECOMMENDED TOTAL ANNUAL RESERVES</b>										<b>\$98,653</b>	
1.											<b>PRESENT VALUE OF RECOMMENDED TOTAL ANNUAL RESERVES PER SF PER YEAR</b>										<b>\$0.33</b>	
2.											<b>INFLATED VALUE OF RECOMMENDED TOTAL ANNUAL RESERVES PER SF PER YEAR</b>										<b>\$0.40</b>	

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## APPENDIX A - PHOTOGRAPHS

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AERIAL PHOTOGRAPH



1. Southwest access drive and street view of property



4. Southeast corner elevation showing front south and east facades



2. Northeast access drive and street view of the property



5. Northeast corner elevation showing east side and north rear facades



3. Southwest corner elevation showing front south façade and west side facade



6. Northwest corner elevation showing west side façade and north rear facade



7. Southwest corner main entrance into the building



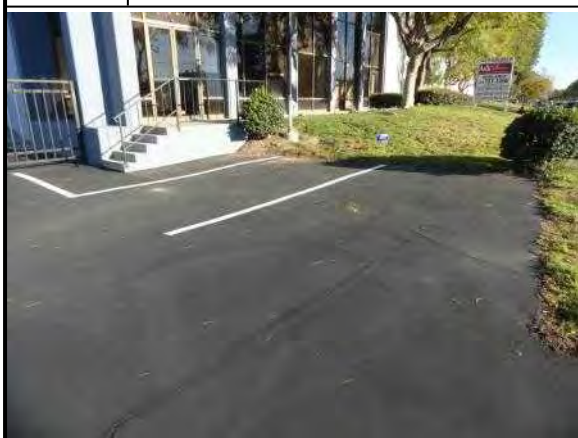
10. Overview of the parking and entrance gate at the southwest corner of the site



8. Northeast corner office entrance and northeast corner parking



11. Parking spaces were previously striped along the west side of the building but not restriped after sealcoating



9. Parking spaces at southwest building entrance



12. Typical asphalt paving condition showing improperly repaired cracks before seal coating





**13.** Typical asphalt paving condition showing improperly repaired cracks before seal coating



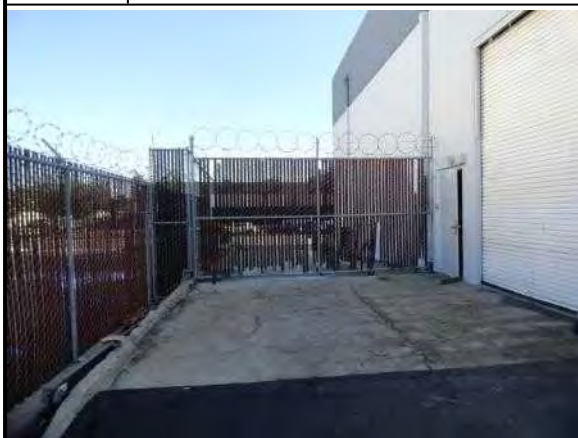
**16.** One of two drive-in dock doors on the west end of the north elevation



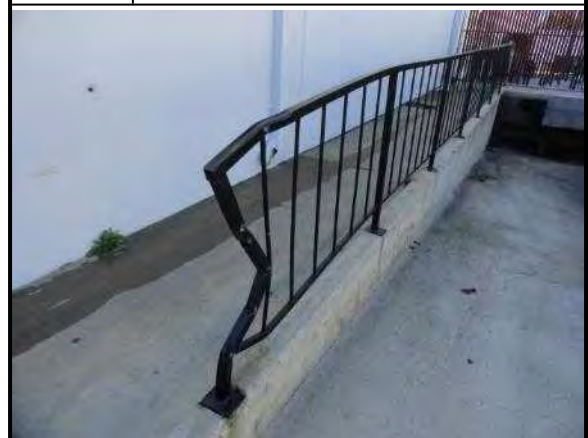
**14.** West façade showing three tailgate high loading docks



**17.** Exterior tailgate-high loading dock at the northeast corner of the building



**15.** One of two drive-in dock doors on the east end of the north elevation



**18.** Damaged wrought-iron railing at the exterior loading dock



19. Typical apron at loading docks



22. Trash bin enclosure at northwest corner of site



20. Exterior stairs at southwest entrance



23. Concrete walkway at secondary egress exit from office area



21. Exterior ramp and stairs on west elevation



24. Typical landscaping and sloping berm at the front of the building



25. Landscaped berms along the east side of the building



28. Overview of roof



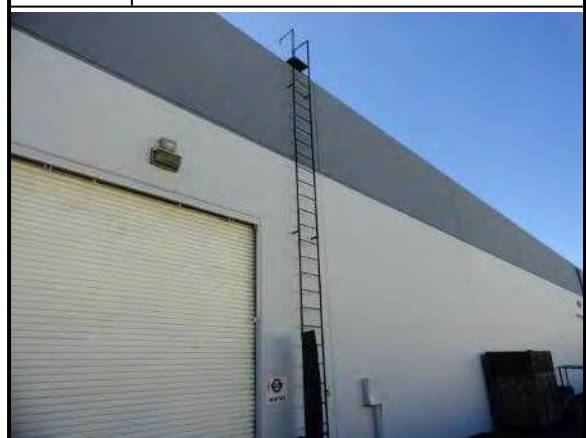
26. Landscape irrigation system backflow preventer



29. Typical skylight has no fall protection



27. Landscape irrigation controller



30. Roof access ladder does not have a safety cage or proper security shield to control access



**31.** Typical parapet drain scupper



**34.** Typical roof skylight seen from inside the warehouse area showing no fall protection



**32.** Roof in mechanical well over main office area



**35.** Typical roof framing in the warehouse area



**33.** Roof in mechanical well over northeast office area



**36.** Typical structural framing at the exterior wall and pilaster with no seismic hold down bracket upgrading evident



37. Typical interior wood column to roof beam connection



40. Typical framing of second floor deck in office area



38. Occupancy separation wall between main tenant space and sub-tenant space



41. Main entrance lobby at southwest corner of the building



39. Incomplete fire separation wall between warehouse areas and office areas



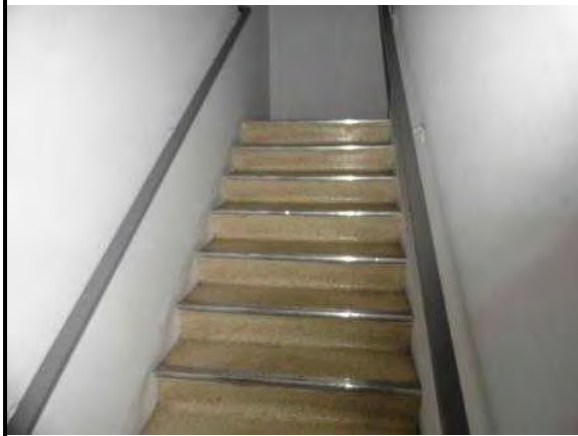
42. Entrance lobby at the northeast corner of the building



43. Typical office area finishes



46. Typical second floor office area finishes



44. Typical stairway finishes



47. Typical warehouse area finishes



45. Typical restroom finishes and fixtures



48. Typical second floor office area finishes



49. Domestic water service meter box and reduced pressure backflow preventer



52. Typical restroom fixtures and finishes



50. Typical domestic water heater



53. Warehouse shipping and receiving area office



51. Typical restroom fixtures and finishes



54. Warehouse shipping and receiving area office interior finishes



55. Gas/electric rooftop unit serving northeast corner office areas



58. Southwest office area gas/electric rooftop unit



56. Southwest corner office area gas/electric rooftop units



59. Warehouse area suspended unit heater



57. Southwest office area gas/electric rooftop unit



60. General Electric main switchboard, meter and submeters





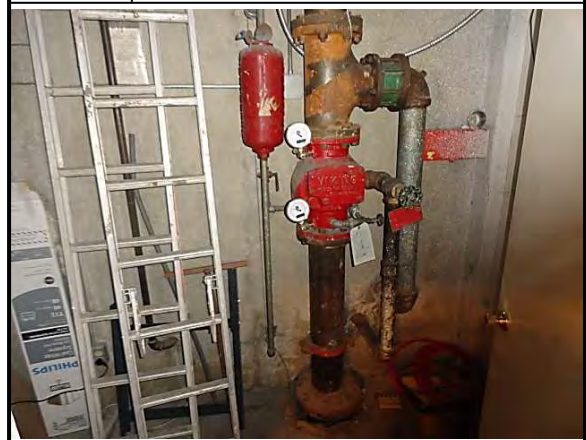
**61.** Power pole and pole-mounted transformer with feeders underground to the main switchboard in the warehouse



**64.** Switchgear serving the northeast office area



**62.** Overhead power drop to the switchgear in the northeast office area



**65.** Fire riser



**63.** Service disconnect serving northeast office area



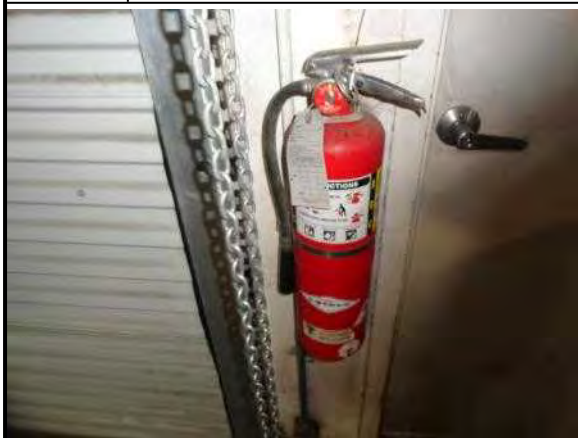
**66.** Fire riser showing disconnected flow switch



67. Fire sprinkler system detector-check assembly



70. Typical fire hydrant



68. Typical portable fire extinguisher



71. Security monitoring panel



69. Fire hose drop in warehouse area



72. Security monitoring is provided by ADT

## APPENDIX B - FIGURES, DRAWINGS, AND PLANS

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EBI GIS, Sources: Esri, HERE, Gamin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community

### Legend

- ★ Project Site
- ⋯ Site Radius at ¼ and ½ mile

Date: 2/8/2019

**Figure 1: Site Location Map**

**3175 AIRWAY AVE  
3175 AIRWAY AVE  
COSTA MESA, CA 92626**

PN: 1319000059





**EBI Consulting**  
environmental | engineering | due diligence

## APPENDIX C - OTHER RELEVANT DOCUMENTS

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## APPENDIX D - PROFESSIONAL QUALIFICATIONS

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**YEARS EXPERIENCE: 40**

**TECHNICAL SPECIALTIES**

- Property Condition Assessment
- Construction Management
- Facilities Engineering

**EDUCATION**

- Bachelor of Science- Aerospace Engineering- 1970  
California State University – Pomona; Pomona, California

**REGISTRATIONS**

- Professional Engineer – California M19579
- General Building Contractor – California B327573

**PROFESSIONAL EXPERIENCE**

Mr. Candy is currently employed by EBI as a Property Condition Assessment Senior Engineer specializes in performing engineering and architectural property condition assessments. Mr. Candy has over 40 years of professional engineering experience in the administration, design and provision of construction services for all types of construction and engineering projects. Mr. Candy has served public and private sector clients performing property condition assessments, design engineering and building construction services.



## **REPRESENTATIVE PROJECT EXPERIENCE**

- **Property Condition Assessments (PCA)**  
Performed PCAs and report production in accordance with ASTM standards for forty years assessing the comprehensive physical condition and expected useful life of all building and site elements, with additional specialization in evaluation of mechanical systems, electrical systems, plumbing systems, fire & life safety systems and vertical transportation systems. PCAs included recommendations of remedial action and associated budget estimates using both a long and short term basis.
- **Engineering Design**  
Performed professional engineering design of major buildings and building systems for the full range of building types, both new construction and renovations. Projects included heavy industrial facilities, commercial buildings including high-rises, retail centers, regional malls, high-school, college and university buildings, hospitals, hotels, municipal buildings and service facilities, airport structures, Federal facilities, Department of Defense military bases nationwide and overseas, entertainment centers, theatres and performing arts centers, research and testing laboratories, multi-family residential complexes.
- **Energy Conservation Engineering Design**  
Nationwide reputation specialized in performing professional engineering analysis of all public and private sector building and facility types to determine cost effective energy upgrading strategies and managed implementation of the projects to achieve projected savings. Expert in the field of energy engineering with extensive experience working with utilities, municipal governments and Federal agencies executing energy savings upgrading and performance contracting at public sector facilities.
- **Construction and Construction Management**  
Licensed general building contractor with over 35 years experience in construction and construction management of public and private sector buildings of all types including competitive bid & spec and turn-key design/build projects.

## PROFESSIONAL HISTORY

Pacific Western Company

Consulting Professional Engineer, C.E.O

1998 – 2007 & 2009-Present –

Sr. Vice-President – Technical Services

2007 - 2009 – Energy Innovation Group, LLC

Director of Engineering

1994 - 1998 – ERI Services/Noresco Division of Equitable Resources

Director of Engineering

1991 - 1994 – A. Epstein & Sons

Consulting Engineer and General Contractor

1979 - 1991 – D. A. Candy Engineering & Construction Company (Pacific Western Company)

Facilities Engineering Department Manager

1974 - 1979 – General Dynamics

Project Engineer/Facility Engineering Supervisor

1968 - 1974 – Sunkist Lemon Products Division

- Pacific Western Company 2007 - 2010  
Chief Executive Officer
- Energy Innovation Group, LLC (Equity Partner w/PWC) 2007 - 2010  
Senior VP – Technical Services
- Pacific Western Company 1998 - 2007  
Chief Executive Officer
- ERI Services/Noresco - Division of Equitable Resources 1994 - 1998  
National Director of Engineering
- A. Epstein & Sons 1991- 1994  
Director of Engineering
- Pacific Western Company 1979- 1991  
Chief Executive Office
- General Dynamics 1974- 1979  
Supervisor of Facilities Engineering
- Sunkist Lemon Products 1968- 1974  
Chief Facilities Engineer

## **Summary of Experience**

Mr. Munoz is a Senior Program Manager with over 20 years of experience specializing in facility investigations, property condition site assessments, construction management and monitoring. In addition, he has experience in quality assurance of the installation of foundation, structural, and roofing systems, as well as performing investigations and preparation of forensic engineering reports for investigation and remediation.

## **Relevant Project Experience**

### **Project Conditions Assessment (PCA)**

Mr. Munoz has completed numerous assessments and reviews property condition assessments for a wide range of properties such as office, multifamily, industrial, retail, hospitality, malls, and high rise properties in accordance with ASTM standards. Mr. Munoz has conducted these services in the United States as well as the Caribbean, Mexico, and Europe. These assessments are prepared to provide prospective buyers, current owners, and lenders information regarding the current condition of the facility components and the potential economic liability. Within the last four years, Mr. Munoz has completed over 200 reviews of engineering assessments of office, multifamily, industrial, retail, hospitality, malls, and high rise properties, throughout the U.S. in accordance with ASTM standards.

### **Capital Needs Assessment (CNA)**

Mr. Munoz has completed numerous assessments and reviews of engineering assessments of apartment complexes, manufactured housing parks, healthcare facilities, throughout the U.S. in accordance with HUD MAP 223(f), HUD MAP 232/223(f), MAP 202/223(f) as well as the HUD LEAN 232/223(f) protocols. Mr. Munoz has conducted these services throughout the United States. These assessments are prepared to provide prospective buyers, current owners, and lenders information regarding the current condition of the facility components and the potential economic liability. Within the last four years, Mr. Munoz has completed over 400 reviews of engineering assessments of multi-family apartment complexes and healthcare facilities, throughout the U.S. in accordance with HUD MAP 232/223(f) as well as the HUD LEAN 232/223(f) protocols.

### **Phase One Assessments**

Mr. Munoz has completed numerous environmental due diligence reports for property owners and financial institutions for portfolios and individual projects throughout the country. Property types included industrial, retail, multi-family apartment, office buildings and large-scale commercial developments.

### **Americans with Disabilities Act Assessments**

Conducted Americans with Disabilities Act Compliance Surveys for property compliance, and transaction due diligence site assessments. Responsibilities associated with conducting Americans with Disabilities Act Compliance Surveys include evaluating facilities for compliance.

## **Education**

B.S. in Operations Engineering, University of Central Florida, Orlando Florida

**Professional Registrations**

SBCCI MECHANICAL INSPECTOR, CERTIFIED 1994

SBCCI BUILDING INSPECTOR, CERTIFIED 1994

CERTIFIED BUILDING CONTRACTOR/ CGC2550

## APPENDIX E - CONSULTANT REPORTS

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STRUCTURAL PML REPORT  
ROOF REPORT  
MEP/FLS REPORT

# Roof Report

February 19, 2019



**Prepared for:**

City of Costa Mesa  
77 Fair Drive  
Costa Mesa, CA 92628

3175 Airway Avenue

3175 Airway Avenue

Costa Mesa, California 92626

EBI Project # 1319000059



February 19, 2019

To Whom it May Concern  
City of Costa Mesa  
77 Fair Drive  
Costa Mesa, CA 92628

**Subject: Roof Report, 3175 Airway Avenue  
3175 Airway Avenue, Costa Mesa, California 92626  
EBI Project #131900059**

To Whom it May Concern:

Below please find *EBI's Roof Report*, (the *Report*) for the above-mentioned asset (the Subject Property). During the property survey and research, *EBI's* roof surveyor met with agents representing the Subject Property, or agents of the owner, and reviewed the property roof and its history. The *Report* was completed according to the terms and conditions authorized by you, and as per our written agreement.

The purpose of this *Report* is to observe the general physical condition and maintenance status of the roof(s) of the Subject Property, and to suggest repair or maintenance items considered customary for the roof to continue to function based on its current condition, compared to roofs of similar age and condition.

This *Report* was performed utilizing methods and procedures consistent with established commercial practices and in conformance with industry standards. The suggestions represent *EBI Consulting's* opinion based on written, graphic, or verbal information, the roof condition, and data available to us at the time of the survey. Factual information regarding operations, conditions, or data provided by the Client, occupants, owner, or their representative has been assumed to be correct and complete.

The *Report* and the information contained herein shall be relied upon by *City of Costa Mesa* only. The *Report* speaks only as of its date in the absence of a specific written update of the *Report* signed and delivered by *EBI Consulting*.

*EBI Consulting* is an independent contractor, not an employee of the owner, borrower or lender, and its compensation was not based on the findings or recommendations made in the *Report* or on the completion of any business transaction.

Thank you for the opportunity to prepare this *Report*, and assist you with this project. Please call us if you have any questions or if *EBI Consulting* may be of further assistance.

Respectfully Submitted,

Harvey Malkin  
Author

Howard Prince, RA, NCARB      O: 516.785.5559  
Reviewer / Senior Program Director      C: 516.312.4730  
[hprince@ebiconsulting.com](mailto:hprince@ebiconsulting.com)

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## EXECUTIVE SUMMARY & PROPERTY DESCRIPTION

### GENERAL SUBJECT PROPERTY ROOF INFORMATION

The Subject Property, known as 3175 Airway Avenue, is located in Costa Mesa, California 92626 at 3175 Airway Avenue. The Subject Property was reportedly constructed in 1972. The Subject Property has a total estimated roofed building footprint area of 25,300 square feet. The total roof surface area inclusive of flashings, copings, parapets and/or canopies is estimated to total approximately 26,745 square feet.

Mr. Paul Vanni of EBI surveyed the property on February 12, 2019. At the time of the survey, the weather was overcast and approximately 65° Fahrenheit. During the survey, a sampling of all roof surfaces of the Subject Property was observed, in accordance with the Scope of Work for this Roof Report.

Limited plans and construction documents were provided, and generally reviewed for overall discrepancies with observed current roof conditions. No discrepancies were observed.

EBI's roof reporting provides roof analysis based on the number of significant or main roof sections. For comprehensive analysis, all sections are recommended to be surveyed. The Subject Property appears to have approximately 3 low slope (flat) roof sections. Based on this count, EBI surveyed 100% of the roof sections.

Costs provided for repairs or replacements are estimated in U.S. currency, and may require adjustments where currency rates and/or economies may differ from those in the U.S.

### OVERALL CONDITION OF ALL OBSERVED SUBJECT PROPERTY ROOF SECTIONS

The Subject Property has a low slope silicone coated built up roof system.

Overall Condition

**Good to Fair**

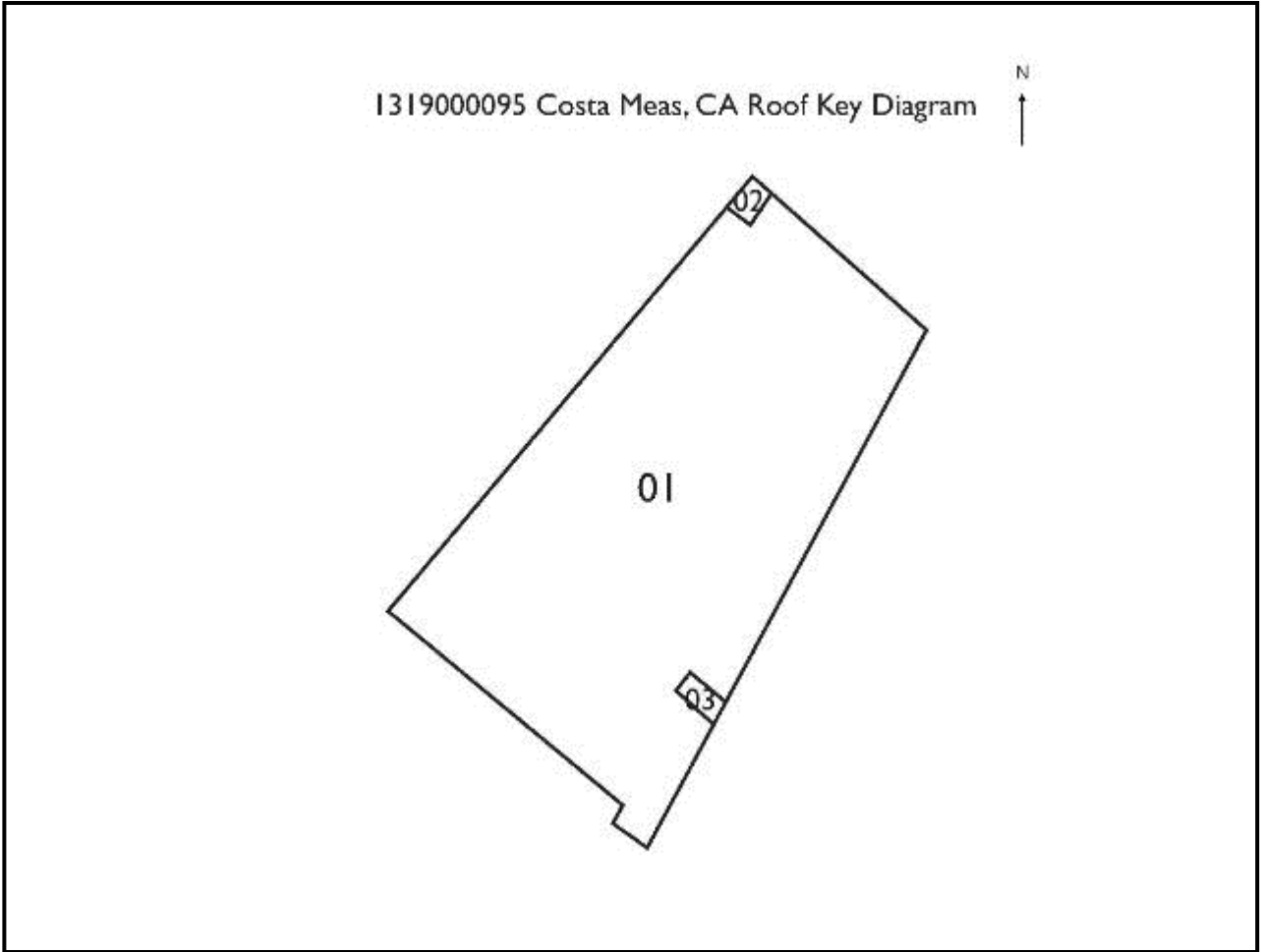
ROOF REPORT EXECUTIVE SUMMARY TABLE

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<b>Build Guide Rules</b>		
<b>Appendix Summary Table</b>		
<b>Source</b>	<b>File Selection</b>	<b>Additional Info</b>
Reports	Document Type=Table	Tab=Summary Table

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ROOF DIAGRAM



AERIAL PHOTO



*ROOF WARRANTY INFORMATION*

Warranty data gathered during the preparation of this Report indicates that the following may be in place at the Subject Property. EBI does not determine its Immediate Repair or Replacement Reserve recommendations based on the presence of a warranty on any roof section.

Note that roof warranty terms have significant exclusions or conditions that may render the warranty unenforceable or not transferable. The warranty data below is for informational purposes only, and is intended solely to provide notice of EBI's awareness of their existence, as presented to us during our site observation and information gathering process in preparation of this Report. The data, when provided, is as a result of a documentation request to the Subject Property Site Contact or designated Client contact, or review of provided files or documents. Parties with acquisition or financial interest in the Subject Property are recommended to have counsel or other experienced professionals carefully examine the warranty(s) and the specific terms they include to determine the applicability of the warranty, the transferability of the warranty, and any other terms or conditions in the warranty, and how that information may or may not affect their interest(s) in the Subject Property. This Report and the data provided are not intended to provide warranty related interpretation, guidance, recommendations or validation/invalidation of any kind.

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POTENTIALLY VOIDED WARRANTY INFORMATION

Many of the roof warranties may have been voided due to exposure to one or more hurricanes or other “natural disasters” during their lifetime, due to their specific **exclusion of coverage for any leaks** following a natural disaster such as a hurricane, tornado, hail, earthquake, etc. The following is a history of hurricanes tornados earthquakes that have been documented (per with NOAA National Oceanographic and Atmospheric Administration <http://www.noaa.gov/>) to have occurred in or close to Costa Mesa, California 92626, which may have voided roof warranties after the event:

Storm Name	Maximum Classification	Year	Maximum Winds	Minimum Pressure
N/A	N/A	N/A	N/A	N/A

This Report and the data above are not intended to provide warranty interpretation, guidance or validation/invalidation of any kind.

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### PROACTIVE MAINTENANCE PROGRAM (PMP)

PMP's are used to extend the Effective Useful Life of a roof through a specified analysis term, so that roof replacement is not recommended as a Replacement Reserve. A PMP may also be recommended for roofs that exhibit notable deferred maintenance, and have been recommended for replacement during the analysis term, regardless of repairs or ongoing maintenance policies.

When referred to and recommended in this Report, a PMP program will consist of the following:

1. Inspection of interior ceiling and walls for signs of leaking
2. Discussion with owner/tenant on any known leak areas
3. Inspections of all drain areas and drain flashings as well as removal of any debris
4. Inspection and sealing of all open penetrations, curbs, equipment and skylight flashings
5. Inspection of all waterway areas for deterioration and correction as needed
6. Inspection of field membrane, seams, and ponding areas and correction as needed
7. Inspection of all wall coverings, counter flashing, coping caps and joint/crack seals
8. Visual inspection of A/C units, duct work or other roof penetrating equipment to ensure water tightness. Reseal as needed. Suspected A/C or other equipment issues should be documented and scheduled for correction.
9. Insure repairs are performed per proper manufacturer specifications and/or NRCA guidelines
10. Photo document all completed repair and maintenance work



## I.0 PURPOSE & LIMITATIONS

The exclusive purpose of this *Roof Report* (the *Report*) is to perform a Non Destructive Examination (NDE) to observe the general physical condition and maintenance status of the Subject Property roof(s), and to suggest in-kind (or new) replacement, repair or maintenance items considered customary for the roof(s) to continue in its current function compared to roofs of similar age and condition. Amendments to EBI's limitations as stated herein that may occur after issuance of the *Report* are considered to be included in this *Report*. Payment for the *Report* is made by, and EBI's contract and *Report* extends to *City of Costa Mesa* (Client) only. EBI's liability to *City of Costa Mesa* wishing to use this *Report* is limited to the cost of the *Report*. By accepting draft and final *Reports*, *City of Costa Mesa* agrees to these terms and limitations.

The information reported was obtained through sources deemed reliable, a NDE visual survey of areas readily observable, easily accessible or made accessible by the property contact and interviews with owners, management, agents, occupants, or other appropriate persons involved with the Subject Property. Findings, conclusions and recommendations included in the *Report* are based on EBI's visual observations in the field, information provided by the Client, their agent, or the Site Contact, and/or a review of readily available and supplied drawings and documents. No disassembly of systems or building components or physical or invasive testing was performed unless thermographic imaging, disassembly of roof elements, and/or coring was requested. EBI renders no opinion as to the roof condition at un-surveyed and/or inaccessible portions of the Subject Property. EBI relies completely on the information provided during the survey, or provided or obtained during the writing of the draft *Report*, whether written, graphic or verbal, provided by the Site Contact, owner, management, agents, or occupants, or as shown on any documents reviewed or received from the Site Contact, owner, management, agents, or occupants, and assumes that information to be true and correct. EBI assumes no responsibility and has no liability for property information or prior reports or not provided during preparation of the *Report* for any reason whatsoever. The observations in this *Report* are valid on the date of the survey.

The gathering of data and information and extent of the physical survey for the production of this *Report* has been limited, by contract and agreed upon scope of work, to visual observations of the property roof unless thermographic imaging, disassembly of roof elements, and/or coring was requested. Assumptions regarding the overall condition of the roof(s) have been developed based upon a survey of representative areas of the Subject Property roof(s), unless otherwise specified. As such, no representation of *all* aspects of *all* areas or roof components is made.

The *Report* identifies "Immediate Repairs" that may be observed during the survey. Immediate Repairs typically include notable deferred maintenance, life, safety, health, and material building code violation or building or Subject Property stabilization issues observed at the Subject Property. For the purposes of an acquisition, Immediate Repairs include items that could be a component of the Subject Property sale price negotiations.

The *Report* identifies "Short Term Repairs" that may be observed during the survey. Short Term Repairs are deferred maintenance or repairs necessary or of significant cost so to warrant them as a Short Term Repair to be completed in less than one year, and/or Immediate Repairs that can't be completed within a short timeframe due to weather considerations, the magnitude of the issue, the scope of work, the need to design and/or bid and complete the repairs. For the purposes of an acquisition, Short Term Repairs include items that could be a component of the Subject Property sale price negotiations.

The *Report* identifies "Replacement Reserves" that may be recommended as a result of the survey for the analysis term identified below. Replacement Reserves are typically larger expenditure items and/or ongoing replacements that are anticipated to exceed their average effective useful life and require replacement, based on current condition, observed maintenance and overall conditions at the Subject Property. Replacement Reserves may also include items that require costly and/or material significant regular maintenance to maintain their condition, or items that could be improved or upgraded. The scope of work for this report is not intended to include evaluation or testing for asbestos contained materials, either visually or with instrumentation, in any of the roof materials, assemblies or adjacent building elements. If asbestos detection is required, a separate professional asbestos consultant is recommended to perform that work.

This assessment is based on the evaluator's opinion of the physical condition of the roof(s) and their estimated expected remaining useful life, based on observations in the field at the time of the survey, and the written or verbal information received. The conclusions presented are based on the evaluator's professional judgment. The actual performance of individual roof components or systems may vary from reasonably expected standards and may be affected by circumstances that are not readily ascertainable or viewable, or that occur after the date of the survey.

Where quantities cannot be determined from information provided or physical takeoffs, lump sum estimates or allowances are used. The costs shown are based on professional judgment and the apparent or actual extent of the observed defect, including the cost to design and/or procure the repair or replacement. Where property-unique or specialty systems are present, EBI relies solely on data regarding maintenance and/or replacement costs provided by the designated site contact or on-site individuals with first-hand knowledge of the specific equipment.

EBI asks roof-specific questions and provides an overall Pre-Survey Questionnaires for completion by the designated site or property contact, as provided by *City of Costa Mesa* or their agent. The information requested in the questionnaire assists in EBI's research of the Subject Property to obtain pertinent property data, discover existing physical deficiencies, chronic problems, the extent of repairs, if any, and their costs, and pending repairs and improvements. If the completed Pre-Survey Questionnaire is not returned as of this *Report*, this is a limiting factor in EBI's analysis. If the questionnaire is returned at a later

date showing a material difference from information provided in the Report, EBI will forward the questionnaire under separate cover. If no response is received, or no material difference is noted in the questionnaire, EBI's Report will not be modified.

EBI may not have been provided with roof design or installation details, and may not have been provided with warranty information. EBI relies on general industry performance of similar roof types in similar conditions, similar locations, and installed in a similar manner, and on general observations of the surface covering of the roof to determine if roof replacement is warranted as an Immediate Repair, Short Term Repair or Replacement Reserve during the analysis term, unless thermographic imaging, disassembly of roof elements, and/or coring was requested. With strictly visual observations, EBI is not responsible for roof replacement deemed necessary, or roof failure that may occur earlier than estimated due to hidden conditions or defects that cannot be readily ascertainable by general visual observations.

The gathering of data and information, and the extent of the physical NDE survey for the production of this Report has been limited, by contract and agreed upon scope of work, to visual observations of the property roof (unless thermographic imaging, disassembly of roof elements, and/or coring was requested). The observations were completed and information was obtained in general conformance with ASTM E 2018-15, and with the scope of services approved by the client. This Report has been prepared in accordance with EBI's Special Terms and Conditions for Third Party Due Diligence Services, which is hereby made an integral part of this Report.

The survey was conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession, and in accordance with generally accepted practices of other consultants currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended. The Report speaks only as of its date, in the absence of a specific written update of the Report, signed and delivered by EBI.

Any additional information that becomes available after EBI's survey and draft submission concerning the Subject Property roof(s) should be provided to EBI so that EBI's conclusions may be revised and modified, if necessary, at additional cost.

City of Costa Mesa understands and agrees that there are varying levels of surveys and due diligence that can be completed that are more or less comprehensive than the work completed in this Report, and that may be appropriate to meet the Client's goals. The Client should consider their requirements, the purpose that the survey is to serve, and their risk tolerance level while selecting the level of roof due diligence to be completed by EBI. A Roof Report is one of the tools the Client may use to ascertain the condition of the Subject Property roof(s), but is by no means the only tool or assessment that Client can or should consider. The level of survey and assessment completed during the completion of the Roof Report is commensurate with the fees paid, the time constraints your Due Diligence period, and the time allocated to complete the site survey and report. A Roof Report cannot wholly eliminate the uncertainty regarding the presence of physical deficiencies and/or the performance of the Subject Property's roof systems, and the preparation of the Roof Report is intended to reduce, but not eliminate, the uncertainty regarding the potential for roof system deficiency, and it is possible that not every physical deficiency will be observed. In the completion of a Roof Report, the Client also recognizes the subjective nature of a EBI's opinions as to such issues as current condition, quality of materials or components and/or original installation, and in estimating the remaining useful life of any given roof component. In completion of a Roof Report the Client recognizes that EBI's suggested remedy is determined under time and/or cost constraints, formed without the aid of engineering design or analysis, testing, exploratory probing, removal of materials, or other more technically comprehensive means.

#### CONDITION

EBI uses terms describing conditions of the various building, and system components. The terms used are defined below. *It is important to note that a term applied to an overall system does not preclude that a part or a section of the system or component may be in a different condition.*

- Excellent The component or system is in new or like new condition and no deferred maintenance is recommended.
- Good The component or system is sound and performing its function, and/or scheduled maintenance can be accomplished through routine maintenance. It may show signs of normal aging or wear and tear and some remedial and routine maintenance or rehabilitation work may be necessary.
- Fair The component or system is performing, but may be obsolete or is approaching the end of its expected useful life. The component or system may exhibit evidence of deferred maintenance, previous repairs, or workmanship not in compliance with commonly accepted standards. Significant repair or replacement may be recommended to prevent further deterioration, restore it to good condition, prevent premature failure, or to prolong its expected useful life.
- Poor The component or system has either failed or cannot be relied upon to continue performing its original function as a result of having exceeded its typical expected useful life, excessive deferred maintenance or state of disrepair. Present condition could contribute to, or cause, the deterioration of other adjoining elements or systems. Repair or replacement is recommended.

#### ABBREVIATIONS

EBI may use various abbreviations to describe various building or system components. Not all abbreviations may be applicable to all Reports. The abbreviations most often utilized are defined below.

ACT	Acoustic Ceiling Tile	FRT	Fire Retardant-treated Plywood
AHU	Air Handling Unit	GWB	Gypsum Wall Board

APA	American Plywood Association	HVAC	Heating, Ventilating, and Air Conditioning
APP	Atactic Polypropylene	ICBO	International Conference of Building Officials
ARMA	Asphalt Roofing Manufacturers Association	IRMA	Inverted Roof Membrane Assembly
ASTM	American Society for Testing and Materials	IRWC	Institute of Roofing and Waterproofing Consultants
BOCA	Building Officials & Code Administrators, International, Inc	MBMA	Metal Building Manufacturers Association
BUR	Built-Up Roof	MCA	Metal Construction Association
CG&E	Chopped Glass and Emulsion	NICA	National Insulation Contractors Association
CMU	Concrete Masonry Unit	NRCA	National Roof Contractor's Association
CPA	Copolymer Alloy	NTRMA	National Tile Roofing Manufacturers Association
CPE	Chlorinated Polyethylene	OSB	Oriented Strand Board
CRREL	Cold Regions Research and Engineering Laboratory	PIMA	Polyisocyanurate Insulation Manufacturers Association
CSI	Construction Specifications Institute	PMP	Proactive Maintenance Program
CSPE	Chlorosulfonated polyethylene	PMR	Protected Membrane Roof
DHW	Domestic Hot Water	PTAC	Packaged Terminal Air Conditioning (Unit)
DWH	Domestic Water Heater	PVC	Poly Vinyl Chloride
ECH	Polyepichlorohydrin	RCI	Roof Consultants Institute
EIFS	Exterior Insulating Finishing System	RFI	Request for Information
EPDM	Ethylene Propylene Diene Monomer	RMA	Rubber Manufacturers Association
EUL	Expected Useful Life or Effective Useful Life	RTU	Roof Top Unit
FCU	Fan Coil Unit	RUL	Remaining Useful Life
FM	Factory Mutual Research Corporation	SBCCI	Southern Building Code Congress International, Inc.
FOIA	Freedom Of Information Act	TPO	Thermoplastic Poly Olefin

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## 2.0 ROOF REPORT

### ROOF REPORT AND ANALYSIS PROCESS

This *Report* has been prepared in a format that provides the most clear and efficient way to quickly understand the current condition of the roof of any building or combination of buildings that comprise the Subject Property. The goal of each recommendation is to gather available information and combine it with our expertise and analysis tools to provide our clients with the most practical and cost efficient options regarding the Subject Property roofs, using non-invasive but thorough observations as the methodology for ascertaining the condition of the roof or roofs.

The following pages of this *Report* describe the Subject Property roof by breaking the roofs into Roof Sections, based on size, configuration, type, and/or age, providing an analysis of the historical, reported and observed data for each section of the roof that is significantly different in roof type from ones adjacent to it, or of significant size or condition as to warrant designation. Organizing the *Report* into Roof Sections provides clear and specific quantitative analyses that form the basis for the recommendations and conclusions.

Each roof section has a Description and Condition section. The Description section contains pertinent data that was obtained or provided for that roof section, such as size, age, the type of roof, etc. The Condition section contains three subsections. The first subsection is "Conditions and Observed Deficiencies." This is a list of noted defects that were observed on the date of the site observations.

The next subsection in the Condition section is "Necessary Repairs/Actions." These are remedies that correspond to the previously listed Conditions and Observed Deficiencies above, and will also correlate by their item number, for cross referencing.

The third subsection is "Conclusions and Recommendations." In this section the *Report* provides recommended repairs for the Conditions and Observed Deficiencies, and makes recommendations to have the work performed as an Immediate Repair, Short Term Repair, or a Replacement Reserve. Please see *Section 1* above for definitions of each of these terms.

The Conclusions and Recommendations section provides the numerical or actual age of the roof section, based on the date it was first installed. The "effective age" is the age that the roof appears to have the characteristics of, based on the visual assessment and analysis of condition completed during our site survey. This is an important factor, as many roofs may have effective ages that differ significantly from their numerical ages, depending on the property's location, material type and quality, quality of installation, roof maintenance and exposure, amount of roof traffic, and regional climatic conditions. The effective age is used to help determine when a roof is anticipated to reach its effective useful life, and is likely to need replacement.

A final section of summary bullets shows the recommendations made for that roof section, broken down by the type and timing of the recommendation.

The *Report* contains as many sections as necessary to describe the Subject Property roofs, as agreed upon in the proposal and contract. A diagram of the Subject Property roofs, along with a legend appears above for referencing.

### IMMEDIATE & SHORT TERM REPAIRS, REPLACEMENT RESERVES

The *Report* also includes Immediate & Short Term Repairs cost tables, and Replacement Reserves cost tables. Each table lists the correlating recommendation, with the associated quantities, unit price and total cost, and provides total costs for all roof sections by year, and then in cost per square foot per year, to accommodate most typical financial analyses performed for real estate transactions.

### EFFECTIVE USEFUL LIFE

As a roofs' Effective Useful Life is a component of our analysis and potential recommendation for roof replacement, empirical roof data has been utilized to help define those parameters. Two of the most

comprehensive studies of service life conducted in the roofing industry arrived at conclusions regarding the longevity of different roofing systems. Based on a survey of over 400 roofing professionals, (Cash, 1997) Cash concluded that traditional multiple-ply asphalt roofing systems exhibited a mean service life of 17.4 years, while newer technology single-ply EPDM roofing systems exhibited a mean service life of 14.1 years. In a second study, (Schneider and Keenan, 1997), conducted a survey of over 25,000 actual roofing installations and concluded that the mean service life of asphalt multiple-ply roofs was only 13.6 years, while EPDM roofs provided an average service life of 17.7 years (see Figure 1). While these studies came to slightly differing conclusions regarding multiply-ply vs. single ply membrane longevity, both studies found that the roofs fall short of industry standard 20 year warranties.

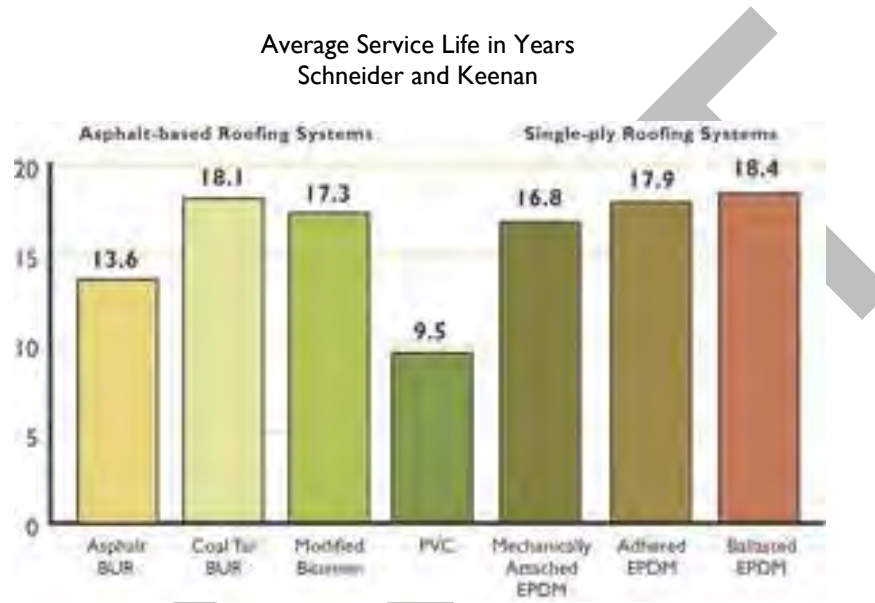


Figure 1

Major categories of low-slope commercial roofing systems performed in a fairly narrow range; study of over 25,000 roofing systems from 1975 - 1996.

For the purposes of this report, EBI uses the following effective useful life data for roofs if no other information is provided:

BUR 1 ply: 15 years  
BUR 3 ply: 20 years  
BUR 5 ply: 25 years  
Modified Bitumen: 15-18 years  
PVC unreinforced mesh: 10 years  
PVC reinforced mesh: 15-20 years

EPDM adhered or mechanically fastened: 18-20 years  
EPDM ballasted: 20-23 years  
Asphalt shingle: 20 years  
Asphalt shingle (architectural grade): 30 years  
Standing seam metal, or metal panel: 40+ years  
Slate, concrete, terra cotta tile: 40+ years

ROOF SECTION 1 - ROOF OVER WAREHOUSE AREA

DESCRIPTION

This roof section is located over the Warehouse Area, and is comprised of a 4-ply built-up w/silicone coating roof.

GENERAL INFORMATION

Roofed Footprint Area: 24,882 SF  
Roof Surface Area: 26,005 SF  
Building Height: 27 feet  
Year Roof Installed: 2018  
Type of Roof Access: Exterior ladder  
Reported Leaks: None reported  
Previous Work Done: Silicone coating

WARRANTY INFORMATION

Roof Warranty: Yes  
Type: Manufacturer's Material Only 50 year  
Date Issued: August 1, 2018  
Date of Expiration: August 1, 2068

ROOF COMPOSITION

Membrane Type: 4-ply BUR w/silicone coating  
Deck Insulation: Thermal Insulation Paper  
Deck Type: Wood sheathing  
Drainage: Scuppers at draining edge of building to leader head and downspouts  
Perimeter Details: Perimeter parapet wall flashed with cap sheet  
Accessories: Exhaust fans, and skylights  
Secondary Roofing: None

CONDITION

The following list includes observed deficient conditions. Corresponding photos are included in the photos after this section.

OBSERVED DEFICIENCIES:

1. Ponding of water .....Photos 3, 4
2. Open field lap seams.....Photos 5, 6
3. Voids in coating inside scupper .....Photo 7
4. Pine needle debris on deck.....Photo 8
5. Blocking lacks slip sheet .....Photo 9
6. Peeling coating at field lap seam .....Photo 10
7. Roof membrane ridging.....Photo 11

NECESSARY REPAIRS/ACTIONS:

1. Monitor ponding conditions.
2. Seal open field lap seams
3. Repair voids inside scupper
4. Clean debris off roof deck and around scupper drains.
5. Install slip sheet under blocking
6. Repair peeling coating at lap seams

7. Monitor membrane ridging in field
8. Perform a “one time” full maintenance inspection as outlined in the PMP.

CONCLUSIONS AND RECOMMENDATIONS:

4-ply built-up with silicone coating roofs of this type and size have an average effective useful life of 15 years. The reported numerical age of the roof is 1 year, and the estimated effective age of the roof is 3 years due to the observed open lap seams in field.

Based on the Observed Deficiencies listed above, Immediate Repairs are recommended to perform the Necessary Repairs as listed above.

The roof was observed to be in overall *Good - Fair* condition. Based on its observed condition, reported age, estimated effective age and the average effective useful life for roofs of this size and type, Replacement Reserves are recommended for a Proactive Maintenance Program during the analysis term.

RECOMMENDATIONS:

Please see *Table 1 – Immediate Repairs* for the recommended items listed below:

- **Perform Necessary Repairs as listed above**

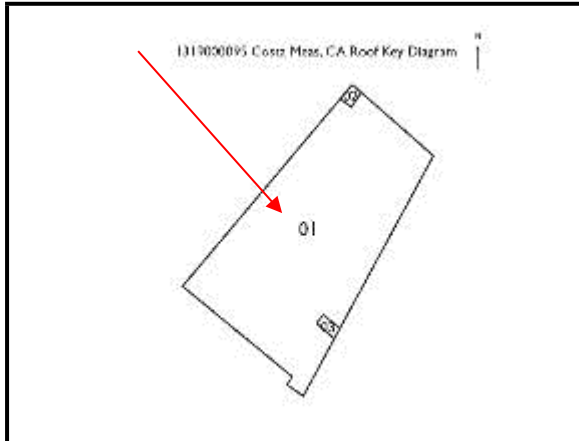
Please see *Table 1 – Short Term Repairs* for the recommended items listed below:

- **None**

Please see *Table 2 – Replacement Reserves* for the recommended items listed below:

- **PMP**

### ROOF SECTION I PHOTOGRAPHS



**1.** Location of Roof Section 01



**2.** Overview of Roof Section 01



**3.** Ponding in field



**4.** Ponding in field



**5.** Open field lap seams



**6.** Open field lap seams





**7.** Voids in silicone coating



**10.** Peeling coating at field lap



**8.** Pine needle debris on deck



**11.** Roof membrane ridging



**9.** Blocking lacks slip sheet

ROOF SECTION 2 - ROOF OVER MECHANICAL WELL AREA

DESCRIPTION

This roof section is located over the Mechanical Well Area, and is comprised of a 4-ply built-up w/silicone coating roof.

GENERAL INFORMATION

Roofed Footprint Area: 143 SF  
Roof Surface Area: 266 SF  
Building Height: 23 feet  
Year Roof Installed: 2018  
Type of Roof Access: From Roof Section 01  
Reported Leaks: None reported  
Previous Work Done: Silicone coating

WARRANTY INFORMATION

Roof Warranty: Yes  
Type: Manufacturer's Material Only 50 year  
Date Issued: August 1, 2018  
Date of Expiration: August 1, 2068

ROOF COMPOSITION

Membrane Type: 4-ply BUR w/silicone coating  
Deck Insulation: Thermal Insulation Paper  
Deck Type: Wood sheathing  
Drainage: Scuppers at draining edge of building to leader head and downspouts  
Perimeter Details: Perimeter parapet wall flashed with cap sheet  
Accessories: HVAC Package units  
Secondary Roofing: None

CONDITION

The following list includes observed deficient conditions. Corresponding photos are included in the photos after this section.

OBSERVED DEFICIENCIES:

1. Debris on membrane.....Photo 3
2. Open base flashing seams.....Photos 4, 5
3. Exposed webbing at scupper.....Photo 6
4. Open pin holes at return.....Photo 7
5. Peeling silicone coating.....Photo 8
6. Voids in pipe flashing coating.....Photo 9

NECESSARY REPAIRS/ACTIONS:

1. Clean debris off roof deck and around scupper drains.
2. Seal open base flashing seams
3. Seal exposed webbing at scupper
4. Seal open pin holes at return
5. Repair peeling coating
6. Seal voids in pipe flashing coating
7. Perform a "one time" full maintenance inspection as outlined in the PMP.

CONCLUSIONS AND RECOMMENDATIONS:

4-ply built-up with silicone coating roofs of this type and size have an average effective useful life of 15 years. The reported numerical age of the roof is 1 year, and the estimated effective age of the roof is 3 years due to the observed open lap seams in field.

Based on the Observed Deficiencies listed above, Immediate Repairs are recommended to perform the Necessary Repairs as listed above.

The roof was observed to be in overall *Good - Fair* condition. Based on its observed condition, reported age, estimated effective age and the average effective useful life for roofs of this size and type, Replacement Reserves are recommended for a Proactive Maintenance Program during the analysis term.

RECOMMENDATIONS:

Please see *Table 1 – Immediate Repairs* for the recommended items listed below:

- **Perform Necessary Repairs as listed above**

Please see *Table 1 – Short Term Repairs* for the recommended items listed below:

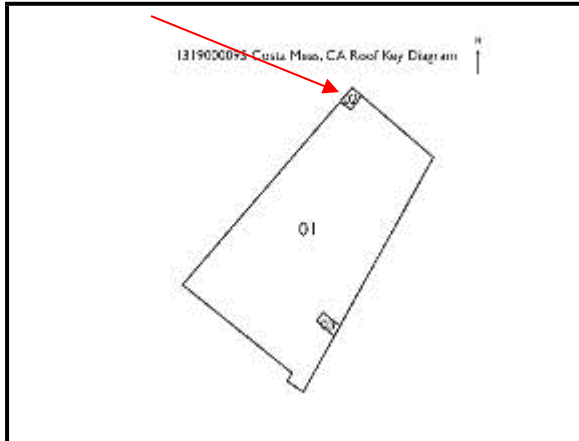
- **None**

Please see *Table 2 – Replacement Reserves* for the recommended items listed below:

- **PMP**

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### ROOF SECTION 2 PHOTOGRAPHS



**1.** Location of Roof Section 02



**2.** Overview of Roof Section 02



**3.** Debris on membrane



**4.** Open base flashing seams



**5.** Open base flashing seams



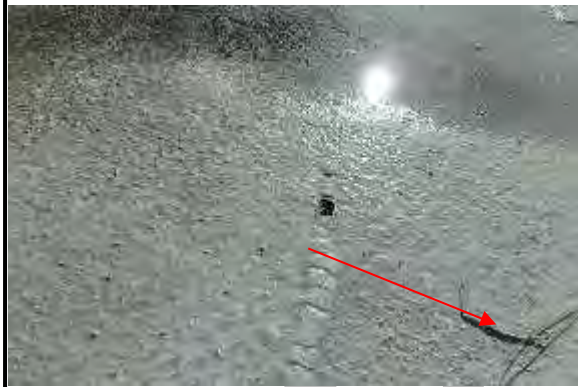
**6.** Exposed webbing at scupper



7.	Open pin holes on return
----	--------------------------



9.	Voids in coating at pipe flashing
----	-----------------------------------



8.	Peeling coating
----	-----------------

ROOF SECTION 3 - ROOF OVER MECHANICAL WELL AREA

DESCRIPTION

This roof section is located over the Mechanical Well Area, and is comprised of a 4-ply built-up w/silicone coating roof.

GENERAL INFORMATION

Roofed Footprint Area: 275 SF  
Roof Surface Area: 474 SF  
Building Height: 23 feet  
Year Roof Installed: 2018  
Type of Roof Access: From Roof Section 01  
Reported Leaks: None reported  
Previous Work Done: Silicone coating

WARRANTY INFORMATION

Roof Warranty: Yes  
Type: Manufacturer's Material Only 50 year  
Date Issued: August 1, 2018  
Date of Expiration: August 1, 2068

ROOF COMPOSITION

Membrane Type: 4-ply BUR w/silicone coating  
Deck Insulation: Thermal Insulation Paper  
Deck Type: Wood sheathing  
Drainage: Scuppers at draining edge of building to leader head and downspouts  
Perimeter Details: Perimeter parapet wall flashed with cap sheet  
Accessories: HVAC Package units  
Secondary Roofing: None

CONDITION

The following list includes observed deficient conditions. Corresponding photos are included in the photos after this section.

OBSERVED DEFICIENCIES:

1. Pine needle debris on membrane .....Photo 3
2. Missing blocking under conduit .....Photo 4
3. Open base flashing seams .....Photos 5, 6

NECESSARY REPAIRS/ACTIONS:

1. Clean debris off roof deck and around scupper drains.
2. Install blocking under conduit
3. Repair open base flashing seams
4. Perform a "one time" full maintenance inspection as outlined in the PMP.

CONCLUSIONS AND RECOMMENDATIONS:

4-ply built-up with silicone coating roofs of this type and size have an average effective useful life of 15 years. The reported numerical age of the roof is 1 year, and the estimated effective age of the roof is 3 years due to the observed open lap seams in field.

Based on the Observed Deficiencies listed above, Immediate Repairs are recommended to perform the Necessary Repairs as listed above.

The roof was observed to be in overall *Good - Fair* condition. Based on its observed condition, reported age, estimated effective age and the average effective useful life for roofs of this size and type, Replacement Reserves are recommended for a Proactive Maintenance Program during the analysis term.

RECOMMENDATIONS:

Please see *Table 1 – Immediate Repairs* for the recommended items listed below:

- **Perform Necessary Repairs as listed above**

Please see *Table 1 – Short Term Repairs* for the recommended items listed below:

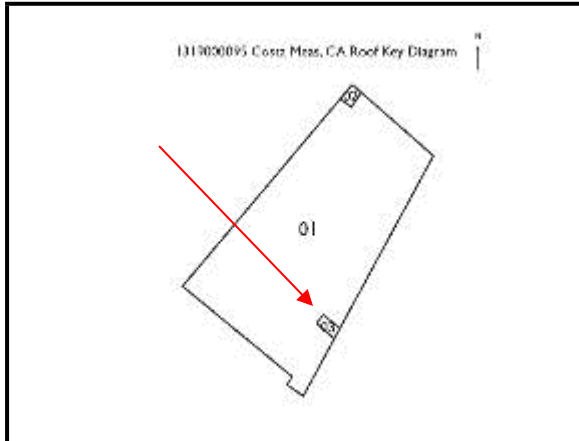
- **None**

Please see *Table 2 – Replacement Reserves* for the recommended items listed below:

- **PMP**

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### ROOF SECTION 3 PHOTOGRAPHS



1. Location of Roof Section 03



4. Missing support blocking and slip sheet under conduit



2. Overview of Roof Section 03



5. Open base flashing seam



3. Pine needle debris on membrane



6. Open base flashing seam



### 3.0 REFERENCES

#### 3.1 REFERENCES CONTACTED

##### DESCRIPTION

A number of sources were contacted during the preparation of this Report. The following individuals were interviewed or consulted. Documentation applicable to the Subject Property was requested and reviewed when and where available and/or reasonably ascertainable.

ROOF REPORT REFERENCES				
RESOURCE	CONTACT	INFORMATION REQUESTED	PHONE OR WEB	DATE
Realtor	Mr. Zachary Schwaner	Roofing condition, overall condition and maintenance items.	949-790-3159 Email: zschwoner@leeirvine.com	2.12.19

## 4.0 IMMEDIATE & SHORT TERM REPAIRS AND REPLACEMENT RESERVES

The cost estimates shown on the tables are based on data obtained from the Owner for items already planned, quotes from contractors, EBI's in-house estimating database and EBI's experience with costs and estimates for similar issues, roof and building types, our expertise, city cost indexes, and assumptions regarding future economic conditions. These projected costs are augmented by cost estimate resource documents such as the *National Construction Estimator*, *R. S. Means Building Construction Cost Data*, or *R. S. Means Facilities Maintenance and Repair Cost Data*, and *Marshall Valuation Service* publications.

### 4.1 TABLE 1 - IMMEDIATE & SHORT TERM REPAIRS

Each of the Immediate Repair items noted during the survey are listed in *Table 1 – Immediate & Short Term Repairs*. Items are grouped and cross-referenced by *Report* section. Immediate Repairs as may be identified during the survey are typically limited to life, safety, health, building code violation, or building / property stabilization issues observed at a Subject Property, and are typically expected to be addressed within 90 days.

Each of the Short Term Repair items noted during the survey are listed in *Table 1 – Immediate & Short Term Repairs*. Items are grouped and cross-referenced by *Report* section. Short Term Repairs as may be identified during the survey are typically repairs that are not life, safety, stabilization, or code issues, but rather, deferred maintenance or repairs necessary or of significant enough cost so as to warrant them a Short Term Repair, and/or that cannot be completed within a short time frame due to the magnitude of the issue, the scope of work, or weather. These items are typically expected to be addressed within three to 12 months.

### 4.2 TABLE 2 - REPLACEMENT RESERVES

Each of the Replacement Reserve items noted during the survey are listed in *Table 2 – Replacement Reserves*. Items are grouped and cross-referenced by *Report* section. Routine operational or customary annual maintenance items are not reported or included in this *Report*.

<b>Build Guide Rules</b>		
<b>Cost Tables</b>		
<b>Source</b>	<b>File Selection</b>	<b>Additional Info</b>
Reports	Document Type=Table	Tab=Table 1
Reports	Document Type=Table	Tab=Table 2

DRAFT

**APPENDIX A**  
**OTHER RELEVANT DOCUMENTS**

DRAFT

<b>Build Guide Rules</b>		
<b>Appendix Other Relevant Documents</b>		
<b>Source</b>	<b>File Selection</b>	<b>Additional Info</b>
Project Documents	Document Group = Other Relevant Documents	

DRAFT

**APPENDIX B**  
**ADDITIONAL TEST REPORTS**

DRAFT

<b>Build Guide Rules</b>		
<b>Appendix Additional Test Reports</b>		
<b>Source</b>	<b>File Selection</b>	<b>Additional Info</b>
Project Documents	Document Group = Additional Test Reports	

DRAFT

**APPENDIX C**  
**PROFESSIONAL QUALIFICATIONS**

DRAFT



<b>Build Guide Rules</b>		
<b>Appendix Resumes</b>		
<b>Source</b>	<b>File Selection</b>	<b>Additional Info</b>
Resumes	Username=%Author%; Resume Type=General	
Resumes	Username=%Reviewer%; Resume Type=General	

DRAFT

EBI Consulting

# Mechanical Electrical Plumbing Survey & Report



**EBI Consulting**  
environmental | engineering | due diligence

# Mechanical Electrical Plumbing Life Safety Survey & Report

Prepared for:

City of Costa Mesa  
77 Fair Drive  
Costa Mesa, California  
92628



3175 Airway Ave

3175 Airway Ave  
Costa Mesa, California

EBI Project No. 1319000059

Tuesday, February 26, 2019

Adam B. Eliason  
City of Costa Mesa  
77 Fair Drive  
Costa Mesa, California  
92628

**Subject: MEP/LS Survey & Report, 3175 Airway Ave  
3175 Airway Ave, Costa Mesa, California  
EBI Project #1319000059**

Dear Adam B. Eliason:

EBI Consulting (EBI) is pleased to present the findings of this MEP (Mechanical, Electrical, Plumbing and FP/LS (Fire Protection & Life Safety) systems Report, conducted on behalf of CivicStone, Inc.. (the Client). This investigation was conducted to evaluate the various MEP systems at 3175 Airway Ave in Costa Mesa, California and to determine their current condition, operation, and expected useful life.

This report is prepared for the use and benefit of the Client and may be relied upon by other such persons as may be designated by the Client, and its respective successors or assigns.

In expressing the opinions stated in this report, EBI has exercised best practice and referenced national standards from ASHRAE, NFPA, NEC and local codes. Documentation and data provided by the Client, designated representatives of the Client, interested third parties of the Client, or from the public domain, have been used and referred to in the preparation of this assessment with the understanding that EBI assumes no responsibility or liability for their accuracy. Factual information regarding operations, conditions, and test data provided by the Client or its representatives has been assumed to be correct and complete. The independent conclusions contained in this report represent our best professional judgment based on the provided data and observations gathered on the date of the site visit.

We thank you for the opportunity to work on this project. Please feel free to contact the undersigned should you have any questions or concerns.

Respectfully Submitted,



Jackson Jarboe  
Author/Project Engineer



Philip Winterland, P.E.  
Reviewer / Mechanical P.E.  
303.817.0590  
[pwinterland@ebiconsulting.com](mailto:pwinterland@ebiconsulting.com)



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## EXECUTIVE SUMMARY & PROPERTY DESCRIPTION

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The Subject Property, known as 3175 Airway Avenue, is located in Costa Mesa, California at 3175 Airway Avenue. The Subject Property was reportedly constructed in 1972. The Subject Property consists of a one-story, approximately 29,816-net rentable square foot±, industrial facility on a 1.34-acre lot. The building is constructed on grade with no basement areas.

The Subject Property was vacant at the time of the survey.

Jackson Jarboe of EBI surveyed the property on February 19, 2019 and was provided access but was otherwise unaccompanied. At the time of the survey, the weather was sunny and approximately 62° Fahrenheit. During the survey, representative areas of the site, all tenant spaces, mechanical spaces, and mechanical equipment and building components were observed.

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### SUBJECT PROPERTY SUMMARY

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The following summary describes and comments on the primary components. Please see the body of the Report for complete survey results for all sections.

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### PLUMBING SYSTEMS

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There are 2 electric Hot Water Heaters, one 30 gallon tank serving the McCormick side offices and one 30 gallon tank serving the Airway Ave side offices. The subject property has 7 total restrooms with total fixture counts of 7 toilets, 7 restroom sinks, 2 urinals, 1 shower, and 2 water bubblers. The plumbing fixtures are vitreous china with stainless steel or chrome plated metal fittings. The restroom sinks are wall mounted or surface mount style with solid surface countertops. All plumbing fixtures are manual valves.

The observed supply piping is copper pipe and the waste lines are reportedly PVC. Natural gas and domestic water enters the building at the Airway Ave side of the building with meters located underground with access grates near the sidewalk.

Overall Condition **Good // Fair**

<b>Electric Water Heaters</b>	<b>Good // Fair</b>
<b>Piping</b>	<b>Good // Fair</b>

---

### ELECTRICAL SYSTEMS

---

Electrical service is brought on site via an overhead electrical line where it is fed to a Switchboard, where it is distributed to sub-panels throughout the building. The Switchboard, and several electrical distribution panels in the original building were manufactured by General Electric. Other less common component manufacturers include ITE, Square D, and Murray.

Overall Condition **Good // Fair**

**Main service feed and Switchboard  
Secondary Circuit Breaker Panels**

**Fair  
Good // Fair**

## **MECHANICAL SYSTEMS**

---

The building office spaces are heated and cooled by packaged rooftop-mounted electric and gas HVAC units. The warehouse is largely unconditioned with the exception of one gas unit heater. There are currently 5 packaged rooftop HVAC units present on the roof, however only the 2 newer Carrier units are fully operational. There are 3 Day & Night units that have had the natural gas valves closed off; 2 of the 3 are no longer being provided electrical service and appear to be abandoned.

Overall Condition **Good // Poor**

**Roof Top Units                      Good // Poor**

## **FIRE / LIFE SAFETY SYSTEMS**

---

Observed fire and life safety systems serving the Subject Property includes a wet fire sprinkler system, wet stand pipes, and fire department hose connections. There was not a central fire alarm panel present at the property, though there appeared to have once been addressable zones for the fire safety alarm system as several alarms were seen with zone number labels printed. Manual fire extinguishers are provided throughout the Subject Property.

Overall Condition **Fair**

## **SYSTEM RESPONSIBILITY**

---

Maintenance, repair and/or replacement of the roof, facades, landscaping, pavement and parking, mechanical systems, interior finishes and plumbing, electrical, HVAC, life safety systems and components at the property is reportedly the responsibility of the Property owner.

## **SUBJECT PROPERTY DESCRIPTION**

---

The Subject Property is comprised of the improvements described above, situated on a rectangular-shaped parcel with an address of 3175 Airway Avenue. The Subject Property has approximately 368 feet of frontage along Airway Avenue and 146 feet in depth along McCormick Avenue.

Local surface arteries, Interstate, and state highway systems provide access to the property. The Subject Property is located approximately 0.24 miles northwest of the Orange County Airport, 0.55 miles southeast of the 405 Freeway and 0.38 miles southeast of the 55 Freeway.

## 1.0 PURPOSE & LIMITATIONS

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The exclusive purpose of this *MEP/LS Survey & Report* (the *Report*) is to observe the general physical condition and maintenance status of the property, to suggest repair or maintenance items considered customary for the property to continue in its current operation compared to properties of similar age and condition, and to assist CivicStone, Inc., in its Due Diligence effort in evaluating the Property. Amendments to EBI's limitations as stated herein that may occur after issuance of the *Report* are considered to be included in this *Report*. EBI's liability to a purchaser wishing to use this *Report* is limited to the cost of the *Report*. By accepting draft and final Reports, CivicStone, Inc. agrees to these terms and limitations.

The information reported was obtained through sources deemed reliable, a visual site survey of areas readily observable, easily accessible or made accessible by the property contact and interviews with owners, agents, occupants, or other appropriate persons involved with the Subject Property. Municipal information was obtained through file reviews of reasonably ascertainable standard government record sources, and interviews with the authorities having jurisdiction over the property. Findings, conclusions and recommendations included in the *Report* are based on our visual observations in the field, the municipal information reasonably obtained, information provided by the Client, and/or a review of readily available and supplied drawings and documents. No disassembly of systems or building components or physical or invasive testing was performed. EBI renders no opinion as to the property condition at un-surveyed and/or inaccessible portions of the Subject Property. EBI relies completely on the information provided during the site survey, or provided or obtained during the writing of the draft *Report*, whether written, graphic or verbal, provided by the property contact, owner or agent, or municipal source, or as shown on any documents reviewed or received from the property contact, owner or agent, or municipal source, and assumes that information to be true and correct. EBI assumes no responsibility for property information or prior reports withheld or not provided during preparation of the *Report* for any reason whatsoever. The observations in this *Report* are valid on the date of the survey. EBI uses the date of first occupancy to establish the Subject Property age.

The contents of the *Report* may not represent a detailed analysis by individual consultants of the Subject Property facades, roof, paving, mechanical, electric, plumbing, elevator, sprinkler, or fire and life safety systems, depending on the scope of work selected by CivicStone, Inc.. The extent of the physical survey for the production of this *Report* has been limited, by contract and agreed upon Scope of Work, (consistent with the guidelines of the ASTM E 2018 – 15 Scope of Work, as referenced below) to visual observations and a walk through of the property. Assumptions regarding the overall condition of the property have been developed based upon a survey of representative areas of the Subject Property. As such, no representation of *all* aspects of *all* areas or components is made.

Immediate Repairs as may be identified during the survey are typically limited to life, safety, health, building code violation or building or property stabilization issues observed at the Subject Property. Routine, normal or customary annual maintenance or preventative maintenance items are not reported or included in this *Report*.

Short Term Repairs as may be identified during the survey are typically repairs that are not life, safety, stabilization or code issues, but deferred maintenance or repairs necessary or of significant cost so to warrant them as a Short Term Repair, and/or that can't be completed within a short timeframe due to the magnitude of the issue, the scope of work or weather.

This assessment is based on the evaluator's opinion of the physical condition of the improvements and the estimated expected remaining useful life of those improvements, based on his observations in the field at the time of the survey, and the written or verbal information received. The conclusions presented are based on the evaluator's professional judgment. The actual performance of individual components or systems may vary from a reasonably expected standard and may be affected by circumstances that are not readily ascertainable or viewable, or that occur after the date of the survey.

Where quantities cannot be determined from information provided or physical takeoffs, lump sum estimates or allowances are used. The costs shown are based on professional judgment and the apparent or actual extent of the observed defect, including the cost to design, procure, construct and manage the repair or replacement. Where property-unique or specialty equipment is present, EBI relies solely on data regarding maintenance and/or replacement costs provided by the designated site contact or on-site individuals with first-hand knowledge of the specific equipment.

EBI provides Pre-Survey Questionnaires for completion by the designated site or property contact, as provided by CivicStone, Inc. or their agent. The information requested in the questionnaire assists in our research of the Subject Property to obtain pertinent property data, discover existing physical deficiencies, chronic problems, the extent of repairs, if any, and their costs, and pending repairs and improvements. If the completed Pre-Survey Questionnaire is not returned as of this *Report*, this is a limiting factor in our analysis. If the questionnaire is returned at a later date showing a material difference from information provided in the *Report*, we will forward the questionnaire to you under separate cover. If no response is received, or no material difference is noted in the questionnaire, our *Report* will not be modified.

EBI may not have been provided with roof design or installation details, and may not have been provided with warranty information (see Section 3.4). EBI has relied on general industry performance of similar type roofs and general observations of the surface covering of the roof to determine if roof replacement is warranted during the analysis term. EBI is not responsible for roof failure that may occur earlier than estimated due to hidden conditions or defects that cannot be readily ascertainable by general observation.

EBI may not have been provided with façade reports, and cannot opine on costs to repair façades of buildings five stories or more without receipt of current façade reports (see Section 3.3). EBI has relied on general industry performance of similar façade systems and general observations of the surfaces of the façades to determine if repair or replacement is warranted during the analysis term. EBI is not responsible for façade failures that may occur earlier than estimated due to hidden conditions or defects that cannot be readily ascertainable by general observation.



If the municipality in which the Subject Property is located has governing ordinances requiring façade studies, and a copy is not provided to EBI, this is a limiting factor in our assessment and analysis. Prudent property management will have had façade reports completed on their high-rise property, and if a copy of the report is not provided to EBI, this too, is a limiting factor in our assessment and analysis.

The gathering of data and information for this *Report* was completed in general conformance with ASTM E 2018 – 08 Standard Guide for Property Condition Assessment: Property Condition Assessment Process, and with the scope of services approved by the client.

The survey was conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession, and in accordance with generally accepted practices of other consultants currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended. The *Report* speaks only as of its date, in the absence of a specific written update of the *Report*, signed and delivered by EBI.

Any additional information that becomes available after our survey and draft submission concerning the Subject Property should be provided to EBI so that our conclusions may be revised and modified if necessary, at additional cost. This *Report* has been prepared in accordance with our Standard Conditions for Engagement, which is an integral part of this *Report*.

#### CONDITION

EBI uses terms describing conditions of the various site, building, and system components. The terms used are defined below. It should be noted that a term applied to an overall system does not preclude that a part or a section of the system or component may be in a different condition.

- Excellent** The component or system is in new or like new condition, and little or no Deferred Maintenance is recommended.
- Good** The component or system is sound and performing its function, and/or scheduled maintenance can be accomplished through routine maintenance. It may show signs of normal aging or wear and tear, and some remedial and routine maintenance or rehabilitation work may be necessary.
- Fair** The component or system is performing, but may be obsolete or is approaching the end of its expected useful life. The component or system may exhibit Deferred Maintenance, evidence of previous repairs, or workmanship not in compliance with commonly accepted standards. Significant repair or replacement may be recommended to prevent further deterioration, restore it to good condition, prevent premature failure, or to prolong its expected useful life.
- Poor** The component or system has either failed or cannot be relied upon to continue performing its original function as a result of having exceeded its typical expected useful life, excessive Deferred Maintenance or state of disrepair. Present condition could contribute to or cause the deterioration of other adjoining elements or systems. Repair or replacement is recommended.

## EXECUTIVE SUMMARY TABLE

Property Name: <b>3175 Airway Ave.</b>		Property Type: <b>Industrial</b>								
Address: <b>Costa Mesa</b>		Property Age: <b>47</b>								
City and State: <b>California</b>		No. of units or tenants: <b>1</b>								
Site Survey Date: <b>February 19, 2019</b>		Square feet: <b>29,816</b>								
Report Date: <b>February 26, 2019</b>		Loan Term: <b>10</b>								
EBI Project #: <b>1319000059</b>		Analysis Term: <b>10</b>								
Section #	Section Name	Condition					Action Required	Immediate Repairs	Short Term Repairs	Replacement Reserves
		Excellent	Good	Fair	Poor	NA				
<b>MECHANICAL SYSTEMS</b>										
2.1	Building Plumbing		✓	✓			✓	\$1,591	\$3,054	
2.2	Building Piping		✓							\$1,000
2.3	Building Electrical		✓	✓			✓	\$500		\$21,417
2.4	Building HVAC		✓		✓		✓	\$43,145		\$15,392
2.5	Building & Site Fire/Life Safety			✓			✓	\$7,026		
<b>OTHER STRUCTURES, AMENITIES, SPECIAL INTEREST ITEMS</b>										
	None									
<b>TOTALS:</b>								<b>\$52,263</b>	<b>\$3,054</b>	<b>\$37,808</b>
							Dollars per sf/yr	Dollars per unit/yr		
Present Value of Replacement Reserves Cost Estimate							\$0.13	\$3,780.85		\$37,808
Inflated Value of Replacement Reserves Cost Estimate							\$0.15	\$4,356.35		\$43,564
Immediate Repairs Cost Estimate								\$52,263		
Short Term Repairs Cost Estimate									\$3,054	
Total Deferred Maintenance Cost Estimate, After Multiplier								\$69,146		

## 2.0 BUILDING SYSTEMS

### 2.1 PLUMBING EQUIPMENT

Domestic hot water is provided at the building by two electric water heaters. The domestic hot water temperature set point is controlled locally, at the water heaters. The water supplied by the city appears to come in at a high enough pressure that booster pumps and fire pumps are not necessary to distribute water throughout the building.

The subject property has 7 total restrooms with total fixture counts of 7 toilets, 7 restroom sinks, 2 urinals, 1 shower, and 2 water bubblers. Typical toilets are 1.6 gpf, floor-mounted, vitreous china with stainless steel or chrome plated metal fittings. Typical restroom sinks are 1.2 gpm, wall-mounted or surface mount style with solid surface countertops. The urinals are rated for 0.6 gpf and the showerhead flowrate is estimated to be 2.0 gpm. All plumbing fixtures are manual valves. There is also a break room sink that is missing a faucet fixture and drain piping.

EBI recorded the following domestic hot water heater data while on site:

Manufacturer	Model Number	Serial Number	Location	Age	Condition
Craftmaster Water Heater Co.	CREFR90-30D	9250305502	Rear Offices (McCormick)	27	Fair
American Water Heater Co.	E52-30H-045D	9823355312	Front Offices (Airway)	21	Fair



Figure 2.1.1 – Electric water heater



Figure 2.1.2 – Typical floor mounted toilet



Figure 2.1.3 – Nonfunctional urinal



Figure 2.1.4 – Typical restroom sink



Figure 2.1.5 – Private restroom showerhead



Figure 2.1.6 – Water bubbler

### CONDITION

The domestic hot water heaters appear to be in fair condition; however, they have exceeded the expected useful life of 15 years. Based on the existing condition and age, Short Term Repairs are recommended for the domestic hot water heaters.

The plumbing fixtures were generally in fair condition and in working order. One urinal was found to be out of order and sectioned off with caution tape. The break room sink is missing a faucet and drain piping.

The backflow preventer appears to be in good condition. No replacement reserves are recommended for the backflow preventer at this time.

## RECOMMENDED IMMEDIATE REPAIRS, SHORT TERM REPAIRS OR REPLACEMENT RESERVES

Please see Table 1 for the recommended Immediate Repairs listed below.

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **Replace electric hot water heater 30-gallon (Qty. 2)**
- **Replace break room sink fixture and piping (Qty. 1)**
- **Replace urinal, manual flush, water saving 0.5 gpf (Qty. 1)**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

## 2.2 PIPING

A main gas meter and 1.5" service is located on the Airway Ave. side of the property. Threaded black iron pipe is used for gas piping throughout the Subject Property.

Domestic cold water is brought into the original building via an underground 1" line and up into the building. The domestic hot and cold water loops consist of copper piping of varying size and thickness. The sanitary sewer lines are PVC.

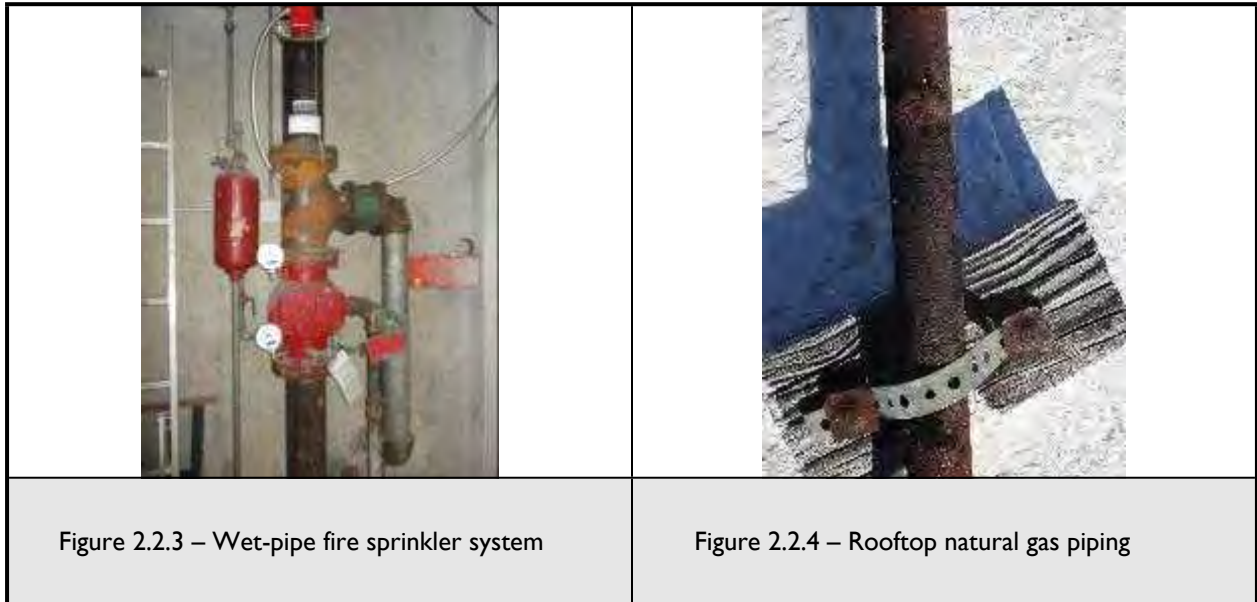
The fire sprinkler risers are piped separately from the domestic cold water entrance/backflow preventer. Fire sprinkler risers and piping are Schedule 40 steel. The backflow preventer for the property is located on the main incoming water service on the Airway Ave. side of the building, and appears to be inspected within the last year based on current inspection tags.



Figure 2.2.1 – Fire sprinkler water piping



Figure 2.2.2 – Domestic water incoming service



### CONDITION

All of the observed piping systems at the property appear to be in good condition. No replacement reserves are anticipated for the piping systems at the original or new addition buildings at this time.

The sanitary lines, where able to be observed, appear to be in good condition. The Subject Property is over 45 years old and the natural gas pipes are starting to erode and in some areas.

### RECOMMENDED IMMEDIATE REPAIRS, SHORT TERM REPAIRS OR REPLACEMENT RESERVES

Please see Table 1 for the recommended Immediate Repairs listed below.

- **None**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

### 2.3 ELECTRICAL SYSTEMS

The incoming electrical service feeds main service switchboard; feeding secondary runs to circuit breaker panels located throughout the Subject Building where it is distributed to the point of use. The main service switchboard is rated for 600-Amp, 240-Volt, 1-phase, 3-wire service and was manufactured by General Electric. The electrical circuit breaker panels vary in age and manufacturer, but most are rated for 225 Amp capacity. There are currently 2 E-MON D-MON electric submeters measuring the energy consumption of separate electrical panels and end uses. Also present at the site is a phase converter which allows certain machinery to be operated with 3-phase electrical service.

The building is almost exclusively by T12 fluorescent lighting fixtures in both the warehouse and office areas. A portion of the lighting was disabled at the electrical breaker panels and was not tested for quality control. The Subject Property reportedly has branch copper wiring and standard electrical devices, switches, and fixtures consistent with the Subject Property use type.



Figure 2.3.1 – Incoming electrical service



Figure 2.3.2 – Electrical Switchboard



Figure 2.3.3 – Electrical Breaker Panels



Figure 2.3.4 – Typical T12 fluorescent lighting



Figure 2.3.5 – Nonfunctional lighting fixtures



Figure 2.3.6 – Equipment from previous tenant

EBI performed a survey of the available main electrical components (switchgear, transformers, and distribution panels,) with an Infrared Thermal Imaging Camera, inspecting for hot spots which may indicate loose wiring, poor connections, load imbalance, cracked/broken wiring insulation, and/or old and failing electrical components. Typically, it is recommended that electrical components have at least a 40% load during an IR inspection; however, as the building is currently vacant this was not possible and the electrical systems there were surveyed under the current operating loads.

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA). Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds



20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

These NETA guidelines do not apply to the dry-type transformers, which are typically labeled with standard temperature rises of 80°C (176°F), 115°C (239°F), or 150°C (302°F), which is the temperature rise above ambient conditions which the transformer is rated to.

EBI recorded the following operating temperatures at the following electrical equipment while on site:

Equipment Type	Equipment Tag	Manufacturer	Signal Phases	Rated Amps	Rated Voltage	High Temp
Breaker Panel	A	GE	1	225	120/240	70.8
Breaker Panel	B	GE	1	225	120/240	62.4
Breaker Panel	C	ITE	1	225	120/240	51
Breaker Panel	C (2)	Unknown	1	Unknown	120/240	45.6
Breaker Panel	-	Unknown	1	Unknown	120/240	49.5
Breaker Panel	P	Square D	3	225	120/240	47.4
Breaker Panel	-	Murray	1	225	120/240	47.2
Breaker Panel	-	GE	1	225	120/240	49.5

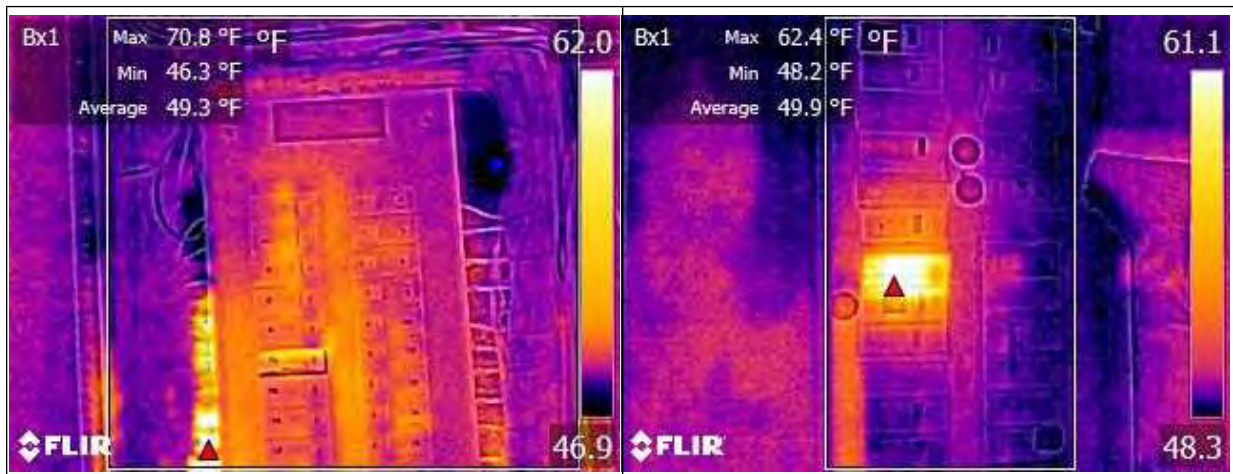


Figure 2.3.7 – Thermal Imaging Sample

Figure 2.3.8 - Thermal Imaging Sample

**CONDITION**

The electrical components at the building generally appear to be in fair condition. The electrical switchboard has been exposed to worse than average conditions and is showing signs of deterioration. Based on their average effective useful life, current condition and reported maintenance program, Replacement Reserves are recommended for the main GE switchboard and original GE breaker panels.

The Subject Property contains a large portion of T12 lighting fixtures, manufacturing of which has been discontinued in the U.S. As such, all T12 lighting fixtures will need to be retrofit over the next 10 years because lamps will soon become unavailable. Several lighting fixtures were found to be nonoperational or flickering during the inspection whether due to physical damage, electrical issues, or missing lamps.

During the IR inspection of the electrical systems, no components were observed to have high operating temperature hot spots above the normally expected operating temperatures that require immediate

and/or preventative maintenance. Overall the electrical systems/ components appear to be in good condition.

An infrared photo log is attached as an appendix to this report to provide a representative sampling of the thermographs and findings from the site visit / electrical evaluation.

### **RECOMMENDED IMMEDIATE REPAIRS, SHORT TERM REPAIRS OR REPLACEMENT RESERVES**

Please see Table 1 for the recommended Immediate Repairs listed below.

- **Replace nonfunctional lighting fixtures (Qty. ~5)**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **Replace 600A Main Circuit Breaker, single phase (Qty. 1)**
- **Replace panel board, 3 wire, 225 amp main lugs, 36 circuits (Qty. 2)**
- **Retrofit T12 fluorescent lighting with T8 or linear LED (Qty. ~200)**

## 2.4 MECHANICAL EQUIPMENT

The HVAC equipment consists of packaged rooftop-mounted air conditioners with natural gas furnaces which serve the various office spaces in the building. There are a total of 5 units, but only the 2 most recently installed Carrier units are fully operational with capacities of 5 tons each. The older Day & Night units have each had their natural gas shut-off valves closed and 2 out of 3 of them have been abandoned completely with electricity disconnected. One office is supplemented by a thru-wall air conditioner that dispels heat into the warehouse. The warehouse is largely unconditioned with the exception of a single gas-fired unit heater. The building does not contain any dedicated exhaust fans.

The Subject Property is heated and cooled by the following approximate count and size of units:

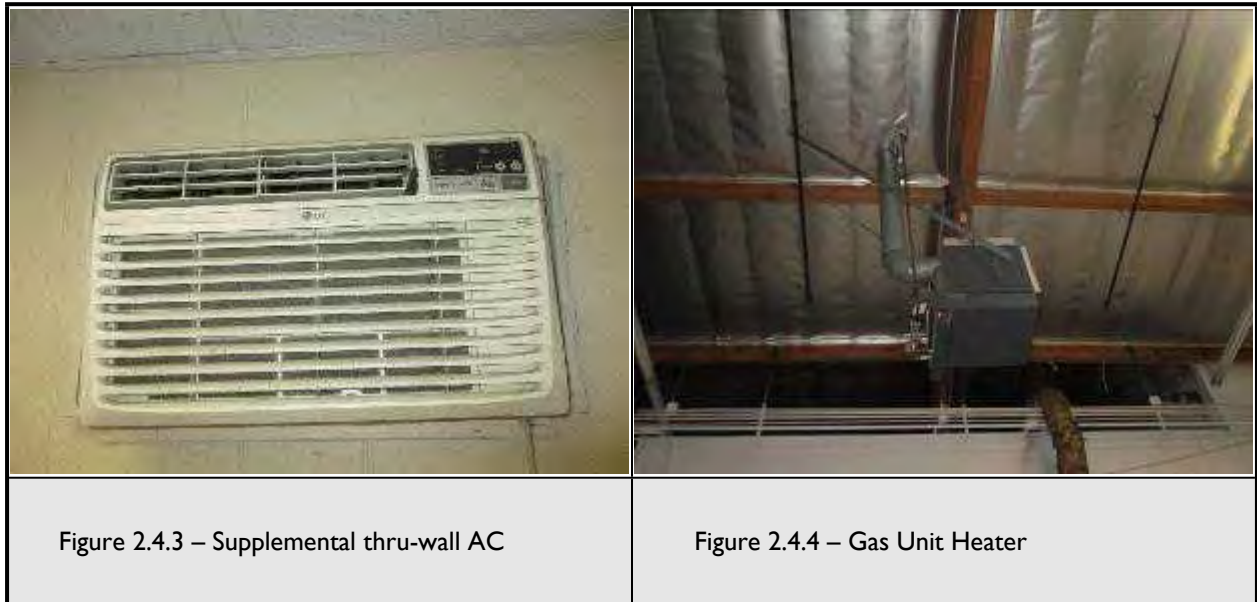
LOCATION	UNIT CAPACITY	MODEL #	SERIAL #	AGE	CONDITION
Rooftop (Airway)	5 tons	4YCC4060A10	170514577L	2	Excellent
Rooftop (Airway)	5 tons	48GSN060090	3505G21398	14	Good
Rooftop (Airway)	~1.5 tons	Unknown	Unknown	~21	Abandoned
Rooftop (Airway)	~1.5 tons	Unknown	Unknown	~21	Abandoned
Rooftop (McCormick)	1.5 tons	18/40YAC-101K	JCMKG29982	21	Poor
Warehouse	Unknown	Gas Unit Heater	Unknown	Unknown	Good



Figure 2.4.1 – Older Day & Night HVAC



Figure 2.4.2 – Abandoned HVAC unit



### CONDITION

The newer Carrier units are 2 and 14 years old and are in excellent, and good condition, respectively. The older Day & Night units are estimated to be about 21 years old and are in poor condition. The average effective useful life of HVAC units of this size and type is 15 to 20 years, depending upon their location, maintenance and use type. Based on their average effective useful life, current condition and reported maintenance program, partial replacement of the HVAC units can be anticipated during the analysis term. Immediate Repairs and Replacement Reserves are recommended accordingly.

### RECOMMENDED IMMEDIATE REPAIRS, SHORT TERM REPAIRS OR REPLACEMENT RESERVES

Please see Table 1 for the recommended Immediate Repairs listed below.

- **Replace 3-ton rooftop package unit – 100% OA, Single Zone (Qty. 3)**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **Replace 4-ton rooftop package unit – 100% OA, Single Zone (Qty. 1)**

## 2.5 BUILDING & SITE FIRE & LIFE SAFETY

### DESCRIPTION

Observed fire and life safety systems serving the Subject Property includes a wet fire sprinkler system, wet stand pipes, and fire department hose connections. There was not a central fire alarm panel present at the property, though there appeared to have once been addressable zones for the fire safety alarm system as several alarms were seen with zone number labels printed. There is no active alarm monitoring service or auto-dialer. Handheld fire extinguishers are provided appropriately throughout the Subject Property.

The sprinkler system appears to contain mostly Viking sprinkler heads with standard response activators. The sprinkler head model numbers were checked against known active recalls to ensure reliability.

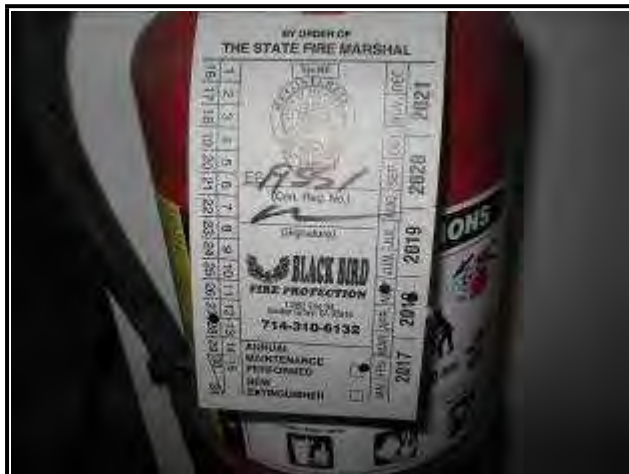


Figure 2.5.1 – Fire extinguisher inspection tag



Figure 2.5.2 – Fire sprinkler system inspection tag



Figure 2.5.3 – Spare sprinkler head box



Figure 2.5.4 – Non-illuminated Exit signage



Figure 2.5.5 – Fire sprinkler alarm wiring disconnected



Figure 2.5.6 - Fire sprinkler alarm wiring disconnected

### CONDITION

NFPA 25, the standard that sets the inspection, testing and maintenance requirements for sprinkler systems, is used fairly universally across the U.S. Some municipalities also add their own requirements. As part of the standard, sprinkler systems are to be service tested every 5 years. The most recent five-year test of the fire sprinkler systems at the building was performed in February 2018 and has not expired. Also present at the fire sprinkler rise was the fire suppression system annual inspection tag conducted in February 2018. This inspection tag will be expiring soon and should be renewed as part of routine maintenance. The fire suppression system appears overall to be in good condition.

Hand held portable fire extinguishers are required to be inspected annually. The current fire extinguishers tags indicated an inspected date of May 2018. The inspection tags observed appear to be current and the system appears to be in good condition.

A fire alarm panel appears to have been removed from the property and is recommended as an Immediate Repair to install a fire alarm system that meets local code. There is currently no central alarm system, only local smoke alarms.

Exit signs are located at the doorways of the emergency exits, but are not illuminated.

### RECOMMENDED IMMEDIATE REPAIRS, SHORT TERM REPAIRS OR REPLACEMENT RESERVES

Please see Table 1 for the recommended Immediate Repairs listed below:

- **Replace central fire alarm panel (Qty. 1)**
- **Install Emergency Exit lights (Qty. 7)**
- **Install Emergency battery pack lights (Qty. 3)**

Please see Table 1 for the recommended Short Term Repairs listed below:

- **None**

Please see Table 2 for the recommended Replacement Reserves listed below:

- **None**

### 3.0 IMMEDIATE REPAIRS AND REPLACEMENT RESERVES

---

The cost estimates shown on the tables are based on data obtained from the Owner for items already planned, quotes from contractors, EBI's in-house equity database costs and our experience with costs and estimates for similar issues, property and building types, city cost indexes, and assumptions regarding future economic conditions. These projected costs are augmented by cost estimate resource documents such as the National Construction Estimator, Means Building Construction Cost Data, or Means Facilities Maintenance and Repair Cost Data Publications.

#### 3.1 IMMEDIATE REPAIRS & SHORT TERM REPAIRS - TABLE 1

---

Each of the Immediate Repair items noted during the survey are listed on the following page on Table 1, and compiled on the Executive Summary Table. Items are grouped and cross-referenced by Report section. Immediate Repairs as may be identified during the survey are typically limited to life, safety, health, building code violation or building or property stabilization issues observed at a Subject Property.

Each of the Short Term Repair items noted during the survey are listed on the following page on Table 1, and compiled on the Executive Summary Table. Items are grouped and cross-referenced by Report section. Short Term Repairs as may be identified during the survey are typically repairs that are not life, safety, stabilization or code issues, but deferred maintenance or repairs necessary or of significant cost so to warrant them as a Short Term Repair, and/or that cannot be completed within a short timeframe due to the magnitude of the issue, the scope of work or weather.

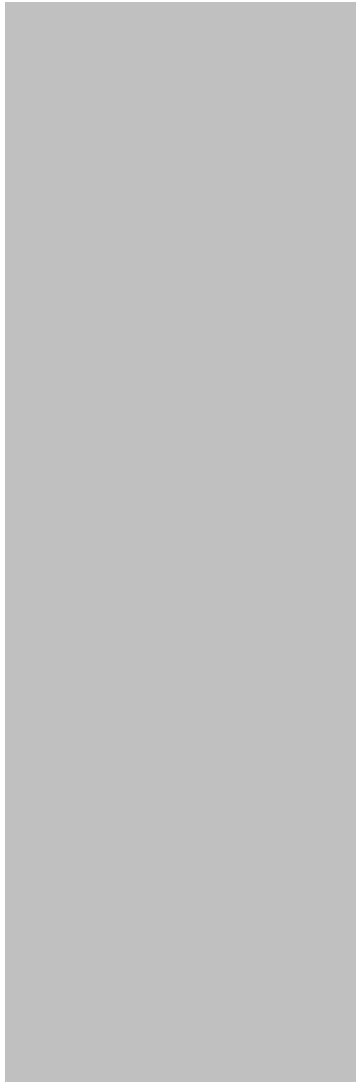
#### 3.2 REPLACEMENT RESERVES - TABLE 2

---

Each of the Replacement Reserve items noted during the survey are listed on the following pages on Table 2, and compiled on the Executive Summary Table. Items are grouped and cross-referenced by Report section. Routine or customary annual maintenance items are not reported or included in this Report.







## TABLE 2 - REPLACEMENT RESERVES

3175 Airway Ave.

Costa Mesa

California

EBI Project # 1319000059

Site Survey Date: 2/19/2019

Report Date: 2/26/2019

Property Type: Industrial

Number of Buildings: 1

Number of Floors: 2

Building Area: 29,816

Number of Units: 1

Property Age: 47

Loan Term: 10

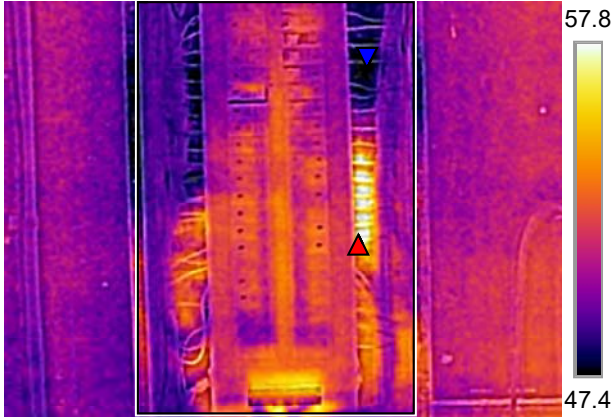
Analysis Term: 10

SECTION NUMBER	SECTION NAME	RECOMMENDED WORK	AVERAGE EFFECTIVE USEFUL LIFE	EFFECTIVE AGE	REMAINING USEFUL LIFE	TOTAL QUANTITY OVER TERM	APPROXIMATE QUANTITY PER YEAR	UNIT COST	UNIT DESCRIPTION	ESTIMATED COST PER YEAR	Annual Costs										RECOMMENDED TOTAL OVER THE TERM		
											2019	2020	2021	2022	2023	2024	2025	2026	2027	2028			
											YEAR 1	YEAR 2	YEAR 3	YEAR 4	YEAR 5	YEAR 6	YEAR 7	YEAR 8	YEAR 9	YEAR 10			
<b>2.0</b>	<b>MECHANICAL SYSTEMS</b>																						
2.1	Plumbing	None																					
2.2	Piping	Replace rooftop steel natural gas piping (~250')	50	47	3	1	1	\$1,000.00	allowance	\$1,000			1,000										\$1,000
2.3	Electric	Replace Main Circuit Breaker, single phase (600 Amp)	60	52	8	1	1	\$5,284	each	\$5,284							5,284						\$5,284
2.3	Electric	Replace panel board, 3 wire, 225 amp main lugs, 36 circuits	60	52	8	2	2	\$3,067	each	\$6,133							6,133						\$6,133
2.3	Electric	Retrofit T12 lighting with T8 or linear LED	20	15	5	200	40	\$50	allowance	\$2,000	2,000	2,000	2,000	2,000	2,000								\$10,000
2.4	HVAC	Replace rooftop package unit (4-ton) - 100% OA, Single Zone	20	14	6	1	1	\$15,391.85	each	\$15,392					15,392								\$15,392
2.5	F/L Safety	None																					
<b>ANNUAL RECOMMENDATIONS, UNINFLATED</b>											2,000	2,000	3,000	2,000	2,000	15,392		11,417					<b>\$37,808</b>
<b>INFLATION FACTOR, IN PERCENTAGE 1.030</b>											100.00%	103.00%	106.09%	109.27%	112.55%	115.93%	119.41%	122.99%	126.68%	130.48%			
<b>ANNUAL RECOMMENDATIONS, INFLATED @ 3.00% AFTER YEAR ONE</b>											<b>\$2,000</b>	<b>\$2,060</b>	<b>\$3,183</b>	<b>\$2,185</b>	<b>\$2,251</b>	<b>\$17,843</b>		<b>\$14,041</b>					<b>\$43,564</b>
<b>Notes:</b>											<b>PRESENT VALUE OF RECOMMENDED TOTAL ANNUAL RESERVES PER SF PER YEAR</b>											<b>\$0.13</b>	
I.											<b>INFLATED VALUE OF RECOMMENDED TOTAL ANNUAL RESERVES PER SF PER YEAR</b>											<b>\$0.15</b>	
<b>Notes:</b>											<b>PRESENT VALUE OF RECOMMENDED TOTAL ANNUAL RESERVES PER UNIT PER YEAR</b>											<b>\$3,781</b>	
I.											<b>INFLATED VALUE OF RECOMMENDED TOTAL ANNUAL RESERVES PER UNIT PER YEAR</b>											<b>\$4,356</b>	

## APPENDIX A – IR SURVEY REPORT

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2/19/2019 11:23:19 AM



FLIR4858.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	65.5 °F
	Min	46.9 °F
	Average	49.8 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Panel A

2/19/2019 11:23:19 AM



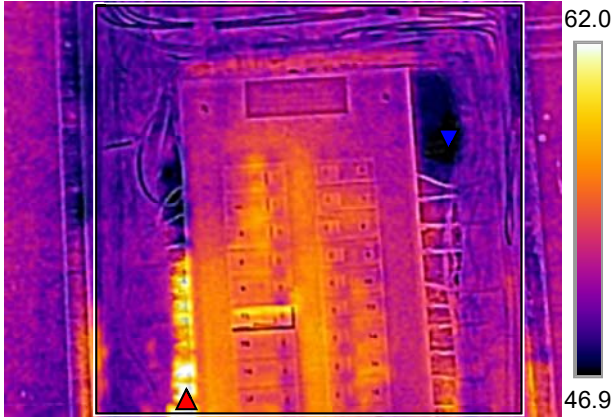
FLIR4858.jpg FLIR E6 63980081

**Electrical Panel A**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:23:35 AM



FLIR4859.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	70.8 °F
	Min	46.3 °F
	Average	49.3 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Panel A

2/19/2019 11:23:35 AM



FLIR4859.jpg FLIR E6 63980081

**Electrical Panel A**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:31:50 AM



FLIR4861.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	61.3 °F
	Min	48.3 °F
	Average	49.4 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Panel B

2/19/2019 11:31:50 AM



FLIR4861.jpg FLIR E6 63980081

**Electrical Panel B**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:32:02 AM



FLIR4862.jpg      FLIR E6      63980081

**Measurements**

Bx1	Max	62.4 °F
	Min	48.2 °F
	Average	49.9 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Panel B

2/19/2019 11:32:02 AM



FLIR4862.jpg      FLIR E6      63980081

**Electrical Panel B**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.



2/19/2019 11:32:29 AM



FLIR4863.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	55.2 °F
	Min	46.6 °F
	Average	48.3 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

2/19/2019 11:32:29 AM



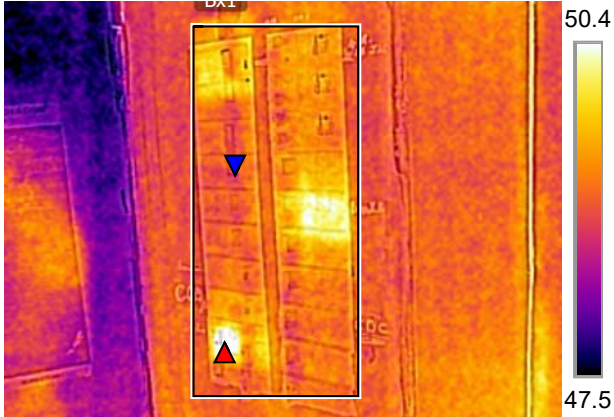
FLIR4863.jpg FLIR E6 63980081

**Electrical Panel B**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:33:31 AM



FLIR4864.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	51.0 °F
	Min	48.7 °F
	Average	49.3 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Panel C

2/19/2019 11:33:31 AM



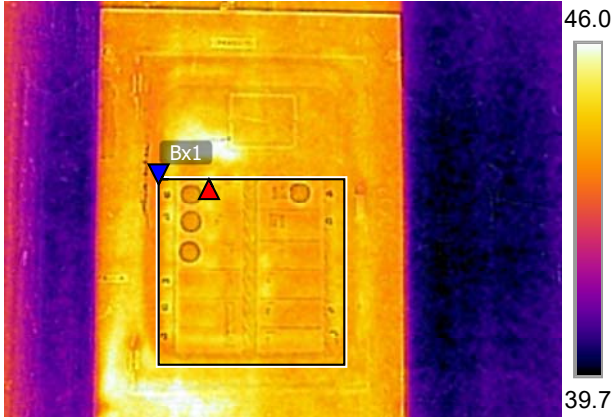
FLIR4864.jpg FLIR E6 63980081

**Electrical Panel C**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:34:10 AM



FLIR4865.jpg FLIR E6 63980081

2/19/2019 11:34:10 AM



FLIR4865.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	45.6 °F
	Min	43.5 °F
	Average	44.3 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Panel C

**Electrical Panel C (2)**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:35:08 AM



FLIR4866.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	49.5 °F
	Min	45.9 °F
	Average	47.0 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Unmarked

2/19/2019 11:35:08 AM



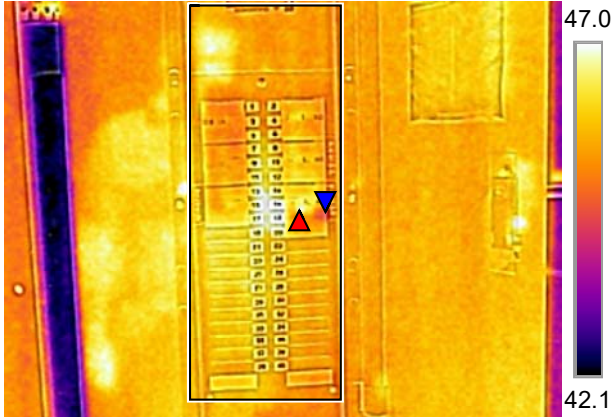
FLIR4866.jpg FLIR E6 63980081

**Unlabeled Electrical Panel**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:35:38 AM



FLIR4867.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	47.4 °F
	Min	44.5 °F
	Average	45.8 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Panel P

2/19/2019 11:35:38 AM



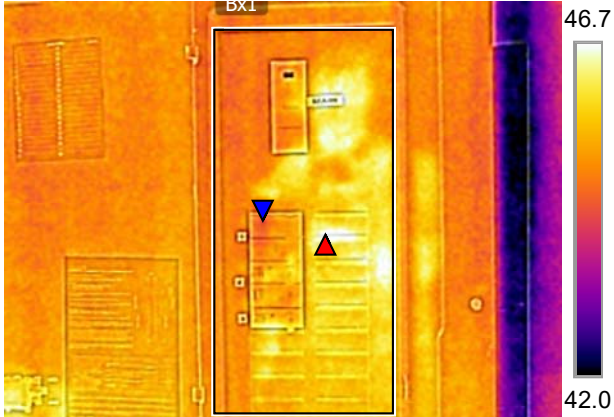
FLIR4867.jpg FLIR E6 63980081

**Electrical Panel P**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:35:44 AM



FLIR4868.jpg

FLIR E6

63980081

2/19/2019 11:35:44 AM



FLIR4868.jpg

FLIR E6

63980081

### Measurements

Bx1	Max	47.2 °F
	Min	44.3 °F
	Average	45.5 °F

### Parameters

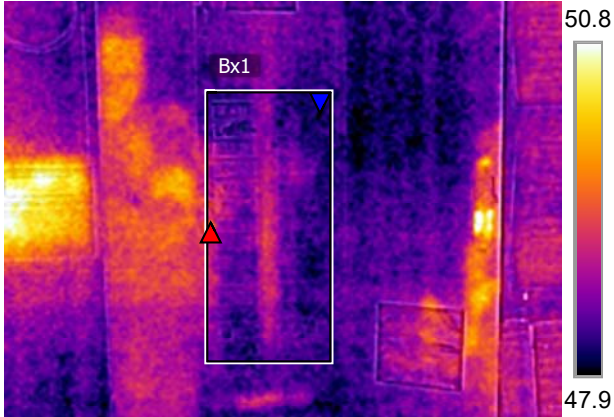
Emissivity	0.95
Refl. temp.	68 °F

### Unlabeled Electrical Panel

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

2/19/2019 11:57:56 AM



FLIR4870.jpg FLIR E6 63980081

**Measurements**

Bx1	Max	49.5 °F
	Min	47.8 °F
	Average	48.4 °F

**Parameters**

Emissivity	0.95
Refl. temp.	68 °F

**Note**

Unmarked

2/19/2019 11:57:56 AM



FLIR4870.jpg FLIR E6 63980081

**Unlabeled Electrical Panel**

The surface temperatures recorded at the electrical panel fall within the safe temperature range defined by the InterNational Electrical Testing Association (NETA).

Guidelines from NETA recommend immediate repairs when the temperature difference between a component and the ambient air exceeds 20 degrees F or when the temperature difference between similar components adjacent to one another exceeds 7 degrees F.

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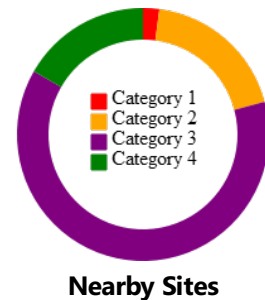
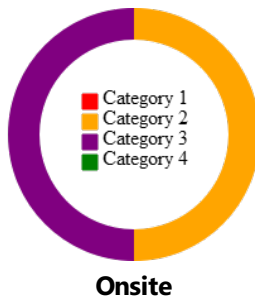
**F.4 - 3175AirwayAve\_032719\_Level2**

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**Site Summary**

	Onsite	Nearby Sites
Category 1 Sites	0	1
Category 2 Sites	1	9
Category 3 Sites	1	30
Category 4 Sites	0	8



**Definitions**



**Category 1: High Impact Environmental Sites**

This category contains datasets that provide information on contaminated sites/properties that exist on a national, state and local level. The information in this section indicates sites that have been identified as having current or prior significant environmental contamination or potentially having significant environmental contamination. It also contains "Superfund Sites" which involves the federal government in the cleanup effort as well as sites from equivalent state programs. These sites can include manufacturing facilities, processing plants, landfills and mining sites.



**Category 2: Known or Suspected Environmental Contamination Notifications**

This category includes potentially or confirmed contaminated sites that are less significant than the "Category 1" sites and are typically managed by the state, such as "Brownfield Sites". These are properties that the expansion, development, or reuse of may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. It also contains information from datasets identifying underground storage tanks that could pose a potential threat from having leaked either petroleum or a hazardous substance into the ground, from sites such as a gas station or service stations.



**Category 3: Incident or Spill Sites**

This category contains datasets from federal, state and local levels sites where environmental incidents have happened and may or may not have resulted in an environmental issue. Examples of incidents in this category can range from an insignificant release from a minor car accident to a major petroleum release.



**Category 4: Sites with Activities containing Potential Environmental Impact Notifications**

This category contains information from datasets that identify locations that have a registration or permit and could pose a potential risk to the environment. For example, gas stations, automotive service centers, dry cleaners, and manufacturers.

Mapped Sites

Map Id	Site Name	Address	Category	Database	Distance (ft) / Direction
A1	STILLEN AMERICAN	3176 AIRWAY AVE. COSTA MESA CA 92626	3	FRS	121 / ESE
A2	STILLEN	3176 AIRWAY AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	121 / ESE
A3	STEVE MILLEN SPORTPARTS INC	3176 AIRWAY COSTA MESA CA 92626	3	FRS,HAZNET - CA	174 / ENE
A4	STILLEN	3176 AIRWAY COSTA MESA CA 92626	3	ECHO,FRS,RCRA_SQG	174 / ENE
B5	DANA CREATH DESIGNS INC	3170 AIRWAY COSTA MESA CA 92626	3	ECHO,FRS	185 / SSE
B6	DANA CREATH DESIGNS	3170 AIRWAY COSTA MESA CA 92626	3	HAZNET - CA,RCRA_SQG	185 / SSE
C7	CALIBER COLLISION CENTERS	350 MCCORMICK AVE COSTA MESA CA 92626	3	ECHO,HAZNET - CA,RCRA_NONGEN	190 / NNE
C8	BRUCE STRUSS AUTO CARE INC	350 MCCORMICK AVE COSTA MESA CA 92626	3	ECHO,FRS,RCRA_SQG	190 / NNE
C9	RED HILL COLLISION	350 MCCORMICK AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	190 / NNE
C10	NEW VENTURES MOTORS LLC	350 MCCORMICK AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	190 / NNE
C11	CALIBER COLLISION #1094	350 MCCORMICK AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	190 / NNE
C12	DANMAR AUTOBODY LLC	350 MCCORMICK AVE COSTA MESA CA 92626	3	HAZNET - CA	190 / NNE
C13	NEW VENTURE MOTORS LLC	350 MCCORMICK AVE COSTA MESA CA 92626	3	HAZNET - CA	190 / NNE
C14	BELL STRAUSS AUTO CARE INC DBA BRUCE STR	350 MCCORMICK AVE COSTA MESA CA 92626	3	HAZNET - CA	190 / NNE
C15	BRUCE STRAUSS AUTO CARE_INC	350 MCCORMICK AVE COSTA MESA CA 92626	3	HAZNET - CA	190 / NNE
C16	NEW VENTURE MOTORS LLC DBA RED HILL COLLISION	350 MCCORMICK AVE COSTA MESA CA 92626	3	HAZNET - CA	190 / NNE
C17	SEMICOA CORP	333 345 MCCORMICK AVE COSTA MESA CA 92626	3	NPDES - CA,RFR - CA	222 / NNW
18	John Wayne Airport Maintenance Building	3180 Airway Avenue Costa Mesa CA 92626	3	CIWQS - CA,NPDES - CA,RFR - CA	275 / ENE
D19	MARKET STANDARDS INC	345 MCCORMICK COSTA MESA CA 92626	4	FTTS INSP	354 / NNW
D20	MARKET STANDARDS INC	345 MC CORMICK COSTA MESA CA 92626	3	FRS	354 / NNW
D21	MICROSEMI	333 & 345 MC CORMICK AVE COSTA MESA CA 92606	4	CIWQS - CA	354 / NNW
D22	SEMICOA CORP	333 MCCORMICK AVENUE COSTA MESA CA 92626	3	CIWQS - CA,ECHO,FRS,ICIS,NPDES - CA,PCS FACILITY,RFR - CA	364 / NNW
D23	SEMICOA	333 MCCORMICK AVENUE COSTA MESA CA 92626	1	ENVIROSTOR - CA	364 / NNW
D24	SEMICOA	333 MCCORMICK AVE COSTA MESA CA 92626	2	CIWQS - CA,HAZWASTE_ORANGE COUNTY - CA	364 / NNW
D25	SEMICOA CORPORATION	333 MCCORMICK AVE COSTA MESA CA 92626	2	HAZNET - CA,HAZWASTE_ORANGE COUNTY - CA,RCRA_SQG	364 / NNW
D26	SEMICOA	333 MCCORMICK COSTA MESA CA 92626	3	ECHO,FRS	433 / NW
E27	OC John Wayne Airport	3160 Airway Ave Costa Mesa CA 92626	3	CIWQS - CA,ECHO,FRS,ICIS,NPDES - CA,PCS FACILITY,RFR - CA	502 / SSW
E28	JOHN WAYNE AIRPORT	3160 AIRWAY AVE COSTA MESA CA 92626	4	FID UST - CA,UST - CA	502 / SSW
E29	N/R	JOHN WAYNE AIR PORT 3160 AIRWAY AVE COSTA MESA CA	3	HIST CHMIRS - CA	502 / SSW
E30	N/R	3160 AIRWAY AVE COSTA MESA CA 92626	4	HIST AST - CA	502 / SSW
E31	SOUTHWEST AIRLINES CO - JOHN WAYNE	3160 AIRWAY AVE COSTA MESA CA 92626	3	FRS	502 / SSW

E32	DEWATERING,JOHN WAYNE AIRPORT	3160 AIRWAY AVENUE COSTA MESA CA 92626	3	FRS	502 / SSW
E33	DEWATERING,JOHN WAYNE AIRPORT	3160 AIRWAY AVENUE COSTA MESA CA 92626	4	CIWQS - CA,CIWQS 2 - CA	502 / SSW
E34	PAULARINO GATE IMPROVEMENTS	3160 AIRWAY AVENUE COSTA MESA CA 92626	3	CIWQS - CA,RFR - CA	502 / SSW
E35	DECONSTRUCTION OF B1 PARKING STRUCTURE	3160 AIRWAY AVE COSTA MESA CA 92626	4	CIWQS - CA	502 / SSW
E36	ORANGE COUNTY SHERIFFS DEPARTMENT - JOHN WAYNE AIRPORT	3160 AIRWAY AVE COSTA MESA CA 92626	3	HAZNET - CA	502 / SSW
37	JWA Perimeter Road Reconstruction Phase II	3160 Airway Avenue Irvine CA 92618	3	CIWQS - CA,NPDES - CA,RFR - CA	533 / S
F38	WESTAR NUTRITION CORP.	350 PAULARINO AVE COSTA MESA CA 92626	3	ECHO,HAZNET - CA,RCRA_NONGEN	576 / SW
F39	VIVA LIFE SCIENCE INC/WESTAR NUTRITION CORP	350 PAULARINO AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	576 / SW
F40	SPECIALTY BODY WORKS INC	330 E PAULARINO AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	586 / WSW
F41	FIX AUTO COSTA MESA	330 E PAULARINO AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	586 / WSW
F42	SPECIALTY BODYWORKS INC	330 PAULARINO COSTA MESA CA 92626	3	HAZNET - CA	586 / WSW
F43	BRUCE STRAUSS AUTO CARE	330 PAULARINO COSTA MESA CA 92626	3	HAZNET - CA	586 / WSW
E44	JOHN WAYNE AIRPORT	3160 AIRWAY AVE COSTA MESA CA 92707	4	AST_ORANGE COUNTY - CA	591 / SSW
E45	JOHN WAYNE AIRPORT PERIMETER RD RECONSTRUCTION - PHASE II AREA	3160 AIRWAY COSTA MESA CA 92626	4	CIWQS - CA	591 / SSW
E46	TAXIWAY B, JWA	3160 AIRWAY COSTA MESA CA 92626	3	CIWQS - CA,RFR - CA	591 / SSW
E47	VIVA LIFE SCIENCE INC/WESTAR NUTRITION CORP	350 E PAULARINO AVE COSTA MESA CA 92626	2	HAZWASTE_ORANGE COUNTY - CA	602 / SSW
G48	RESPIRATORY SUPPORT PRODUCTS	3183-D AIRWAY AVE COSTA MESA CA 92626	3	ECHO,FRS,RCRA_SQG	634 / NE
G49	RESPIRATORY SUPPORT PRODUCTS	3183 D AIRWAY AVE COSTA MESA CA 92626	3	HAZNET - CA	634 / NE
G50	CANCUN COLOR PRODUCTIONS	3183 F AIRWAY AVENUE COSTA MESA CA 92626	3	HAZNET - CA	634 / NE

## Non-Mapped Sites

(Additional sites of interest near property that were not able to be placed)

Site Name	Address	Category
	PAULARINO AVE COSTA MESA CA 92626	3
	PAULARINO AVE COSTA MESA CA 92626	3
55/PAULARINO FUEL SPILL SITE	PAULARINO AVE COSTA MESA CA 92626	3
JOHN WAYNE AIRPORT PERIMETER RD RECONSTRUCTION - PHASE II AREA	AIRWAY & AIRWAY AVE COSTA MESA CA 92626	4
NAVITAS UTILITY COPORATION	AIRWAY & AIRWAY AVE COSTA MESA CA 92626	4

**Appendix G:  
Public Service Letters**

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## **G.1 - Fire Department Responses**

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## Cecilia So

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**From:** NEAL, JON  
**Sent:** Tuesday, April 23, 2019 9:18 AM  
**To:** Victoria Chung  
**Cc:** SCHNEBLE, PEGGY; Cecilia So; STEFANO, DAN  
**Subject:** RE: Request for Information on Fire Services for a Permanent Bridge Shelter Facility

Victoria,

The budget is reviewed and approved in June. Please note that the Standards of Coverage study will take some time to complete once the funding is approved and a consultant is selected.



**Jon Neal**  
Assistant Fire Marshal  
Costa Mesa Fire & Rescue  
77 Fair Drive | Costa Mesa | CA 92626  
714-754-5049  
[jon.neal@costamesaca.gov](mailto:jon.neal@costamesaca.gov)  
Respect • Integrity • Compassion



**From:** Victoria Chung <[vcchung@fcs-intl.com](mailto:vcchung@fcs-intl.com)>  
**Sent:** Friday, April 19, 2019 3:32 PM  
**To:** NEAL, JON <[jon.neal@costamesaca.gov](mailto:jon.neal@costamesaca.gov)>  
**Cc:** SCHNEBLE, PEGGY <[PEGGY.SCHNEBLE@costamesaca.gov](mailto:PEGGY.SCHNEBLE@costamesaca.gov)>; Cecilia So <[cso@fcs-intl.com](mailto:cso@fcs-intl.com)>; STEFANO, DAN <[Dan.Stefano@costamesaca.gov](mailto:Dan.Stefano@costamesaca.gov)>  
**Subject:** Re: Request for Information on Fire Services for a Permanent Bridge Shelter Facility

Good afternoon,

Thank you Jon for your prompt reply. It looks like quite a few areas of issue are pending budget approval. Do you know when the FY 19/20 budget would be approved?

Best,  
Victoria

On Fri, Apr 19, 2019 at 2:25 PM NEAL, JON <[jon.neal@costamesaca.gov](mailto:jon.neal@costamesaca.gov)> wrote:

Victoria,

Please see the responses below:

1. Which station(s) would provide services to the project site?

Fire Station 2 (800 Baker Street) would be primary and Station 5 (2450 Vanguard Way) & Station 6 (3350 Sakioka Drive) would provide secondary coverage.

2. What are the existing staffing levels (department-wide and at the station(s) that would serve the project site)? 90 full-time staff members, 84 sworn positions and 6 non-sworn positions. Part-time staffing consists of 3.25 full-time equivalents to serve within the three divisions.

What is the current number of firefighters, EMT personnel, engines, hook and ladder trucks, etc.?

84 sworn firefighter positions (Fire Chief through Firefighter), 83 EMT positions (all sworn except for Fire Chief). 4 engines and 2 ladder trucks assigned as frontline apparatus.

3. Please provide the current average response times for emergency calls for service as a whole and for the station(s) located nearest to the project site.

Department goals for emergency response to Code 3 Fire/Rescue/EMS emergencies is within 4 minutes (Travel Time), 90% of the time. (Tier 1) The department is in the process of initiating (budgeted for in FY19/20) a standards of coverage study that would provide this information.

4. Can you please provide an estimate of the annual number of calls for service the proposed project would be expected to generate? If possible, please provide an estimate by type of call (e.g., EMS, fire, etc.)

Unable to provide this information. The department is in the process of initiating (budgeted for in FY19/20) a standards of coverage study that would provide this information.

5. What is the ability of the fire protection department to accommodate the demand of the proposed project as part of the existing facilities?

Unable to provide this information. The department is in the process of initiating (budgeted for in FY19/20) a standards of coverage study that would provide this information.

6. Are there any existing or planned mutual aid agreements with other agencies?

Yes. There is a countywide mutual aid agreement. The existing agreements are under evaluation at this time.

7. Please provide information about the residential and non-residential development fee schedule. What are the current rates? What is the estimate rate for the proposed project?

#### 2018 Community Risk Reduction Fee Schedule

8. Do you foresee any potential challenges that the proposed project may present to the department? This includes concerns related to response times, staffing, apparatus, fire stations, etc. Please describe any measures that you would recommend to reduce potential concerns/challenges.

Unable to provide this information. The department is in the process of initiating (budgeted for in FY19/20) a standards of coverage study that would provide this information.

9. Would the development of the proposed project impair the Fire Department(s) ability to maintain established response time standards with current staff and equipment levels?

Unable to provide this information. The department is in the process of initiating (budgeted for in FY19/20) a standards of coverage study that would provide this information.

10. Would the Fire Department need to construct new facilities or expand existing ones in order to serve the proposed Project and the fire protection needs of the surrounding community?

Unable to provide this information. The department is in the process of initiating (budgeted for in FY19/20) a standards of coverage study that would provide this information.

11. Do you have any other comments about the potential impacts of this project on the Fire Department(s)?

Not at this time due to a lack of information. When the standards of coverage study is completed, accurate information about the current resources of the fire department will be evaluated to determine the impacts of the proposed project.

Regards,



**Jon Neal**

Assistant Fire Marshal

Costa Mesa Fire & Rescue

77 Fair Drive | Costa Mesa | CA 92626

714-754-5049

[jon.neal@costamesaca.gov](mailto:jon.neal@costamesaca.gov)

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**From:** Victoria Chung <[vchung@fcs-intl.com](mailto:vchung@fcs-intl.com)>  
**Sent:** Thursday, April 11, 2019 5:28 PM  
**To:** NEAL, JON <[jon.neal@costamesaca.gov](mailto:jon.neal@costamesaca.gov)>  
**Cc:** SCHNEBLE, PEGGY <[PEGGY.SCHNEBLE@costamesaca.gov](mailto:PEGGY.SCHNEBLE@costamesaca.gov)>; Cecilia So <[cso@fcs-intl.com](mailto:cso@fcs-intl.com)>  
**Subject:** Fwd: Request for Information on Fire Services for a Permanent Bridge Shelter Facility

Hello Jon,

Per our phone conversation, FirstCarbon Solutions is preparing an Initial Study, Mitigated Negative Declaration (IS/MND), for a proposed Permanent Bridge Shelter Facility on behalf of the City of Costa Mesa. As part of the environmental review process, we are consulting with public service providers to determine potential project impacts.

Please see the letter attached for the Request for Information questionnaire. The project location map is also attached for your reference. Please let me know if you have any further questions or concerns. If possible, we'd request for the information by Friday, April 19, 2019.

Peggy Schneble is the City representative assigned to this project, please CC her on any additional project-related questions.

Best,

Victoria Chung  
**Environmental Services Analyst**

**Office** 714-508-4100 **Ext. 1605**

**FirstCarbon Solutions (FCS)**  
An ADEC Innovation

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Victoria Chung  
**Environmental Services Analyst**

**Office** 714-508-4100 **Ext. 1605**

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## **G.2 - Police Department Responses**

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## Cecilia So

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**From:** GLASS, BRYAN  
**Sent:** Monday, May 06, 2019 3:03 PM  
**To:** Victoria Chung  
**Cc:** Cecilia So; CURTIS, BARRY C.; SCHNEBLE, PEGGY; BECKMAN, PAUL; DIEBALL, CLINTEN; EVERETT, ED; SHARPNACK, ROBERT  
**Subject:** RE: Costa Mesa Permanent Bridge Shelter Facility Questions

Victoria,

Thank you for emailing me the information and letter. Below is the PD's response to the questions:

1. Which station(s) would provide services to the project site? *The Police Department's main facility at 99 Fair Drive, CM.*
2. Please describe the existing staffing levels that would serve the project site. Please include a description of number of officers, civilian personnel, active patrols at one time, etc. *The site will be served by Patrol Services staff assigned to Area 2 (north portion of the City). Staffing levels fluctuate based on the specific day and time (Day, PM, & AM shifts). Minimum Patrol staffing levels are 2 sergeants and 6 to 11 officers depending on the specific day and shift. Half of the minimum staffing level is always dedicated to Area 2. Additionally, the department's Community Policing Unit may be tasked with special assignments and involvement depending on the matter and need.*
3. Please provide the current average response times for emergency calls for service as a whole and for the station(s) located nearest to the project site. *The department has a response time effectiveness of:*
  - *Emergency Calls within 5 minutes – 72%*
  - *Emergency Calls within 15 minutes – 97%*
  - *Non-Emergency Calls with 30 minutes – 90%*
4. Would the development of the proposed Project impair the PD's ability to maintain established response time standards with current staff and equipment levels? *The impact to response times is unknown at this time. The factors that may impact response times is the actual number of calls for service generated at the location and the fact the location is located in an area zoned as industrial with a couple commercial limited areas along the outer northeast boundary of the City. This could increase response times to the location and as an average city-wide if there is a significant increase in calls for service generated from the location.*
5. Please provide an estimate of the officers/1,000 residents and the target ratio that the department would like to achieve. *The department does not use the officers/1,000 residents staffing model. Staffing is based on workload and expectations. Currently the department is authorized a 136 sworn officer positions. Additional staffing may be required based on service demands and expectations generated by the shelter.*
6. List any existing or planned mutual aid agreements with other agencies. *The department is part of the Orange County Mutual Aid Agreement for mutual aid assistance when necessary. Department also contracts air support services with the City of Huntington Beach.*
7. Please provide an estimate of the annual number of calls for service the proposed project would be expected to generate. *Unknown*
8. What are the current rates of the residential and non-residential development fees? What is the estimated rate for the proposed project? *Unknown. PD does not handle development fees.*
9. Do you foresee any potential challenges that the proposed project may present to the department? (Including concerns related to response times, staffing, apparatus, stations, etc.) Please describe any measures you would recommend to reduce potential concerns/challenges. *The project has the potential to increase calls for service and response times as indicated above. The project will be housing individuals in an area primarily zoned as*

*industrial with a couple commercial limited areas. The impact to the area is unknown at this time; however, an increase in pedestrian traffic may be experienced.*

10. Would the department need to construct new facilities or expand existing ones in order to serve the proposed Project and the fire protection needs of the City? **No**
11. Do you have any other comments about the potential impacts of this Project on the PD? *Currently, the temporary bridge shelter is in an area of the City zoned for multiple uses (residential, commercial, and recreational). The area of the temporary shelter is actively patrolled with a strong police presence due to its zoning, geographical location within the City, and the historical number of calls for service generated. The location of the project is zoned as industrial with a couple commercial limited areas. It is unknown how the project will affect the characteristics of the area and the number of calls for service generated.*

Let me know if there are any questions and/or if further is required. Thank you.

**BRYAN GLASS | CAPTAIN**  
Field Operations Division

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**From:** Victoria Chung <vchung@fcs-intl.com>  
**Sent:** Monday, May 06, 2019 1:58 PM  
**To:** GLASS, BRYAN <BGLASS@costamesaca.gov>  
**Cc:** Cecilia So <cso@fcs-intl.com>  
**Subject:** Costa Mesa Permanent Bridge Shelter Facility Questions

Hello,

Thank you for your follow-up call. Here is the word doc version of the questionnaire for the Permanent Bridge Shelter Facility. I've also attached the site plan and a map for reference.

Thank you and please let me know if you have any additional questions.

--

Victoria Chung  
**Environmental Services Analyst**

**Office** 714-508-4100 **Ext.** 1605

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**Appendix H:  
Trip Generation Memo**

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# CITY OF COSTA MESA

Department of Public Services/Transportation Services

## INTEROFFICE MEMORANDUM

REC'D APR 22 2019

**TO:** BARRY CURTIS, ECONOMIC & DEVELOPMENT SERVICES DIRECTOR

**FROM:** JENNIFER ROSALES, TRANSPORTATION SERVICES MANAGER JR

**DATE:** APRIL 22, 2019

**SUBJECT:** 3175 AIRWAY AVENUE TRIP GENERATION

The following tables summarize the estimated trip generation for the proposed bridge shelter at 3175 Airway Avenue. There are four (4) scenarios, as described below.

**Option 1: The entire project site is 30,000 SF industrial per the ongoing use:**

Scenario 1 Trip Generation								
Use	Generation Rate	Daily	AM Peak			PM Peak		
			In	Out	Total	In	Out	Total
30 KSF Industrial	ITE Code 110	149	18	3	21	2	17	19
<b>Total</b>		<b>149</b>	<b>18</b>	<b>3</b>	<b>21</b>	<b>2</b>	<b>17</b>	<b>19</b>

Notes:  
1. ITE Trip Generation, 10th Edition. Average rates used.

**Option 2: The project site consists of 15,000 SF of industrial with a 30-bed bridge shelter facility:**

Scenario 2 Trip Generation								
Use	Generation Rate	Daily	AM Peak			PM Peak		
			In	Out	Total	In	Out	Total
15 KSF Industrial	ITE Code 110	74	9	2	11	1	8	9
30-Bed Facility (Shuttle Trips)	From Operations Plan	18	3	3	6	4	4	8
30-Bed Facility (Employee Trips)	From Operations Plan	46	15	8	23	8	15	23
<b>Total</b>		<b>138</b>	<b>27</b>	<b>13</b>	<b>40</b>	<b>13</b>	<b>27</b>	<b>40</b>

Notes:  
1. ITE Trip Generation, 10th Edition. Average rates used.  
2. 15 day shift and 8 night shift employees assumed for facility.

**Option 3: The project site consists of 15,000 SF of industrial with a 50-bed bridge shelter facility:**

Scenario 3 Trip Generation								
Use	Generation Rate	Daily	AM Peak			PM Peak		
			In	Out	Total	In	Out	Total
15 KSF Industrial	ITE Code 110	74	9	2	11	1	8	9
50-Bed Facility (Shuttle Trips)	From Operations Plan	26	4	4	8	6	6	12
50-Bed Facility (Employee Trips)	From Operations Plan	46	15	8	23	8	15	23
Total		146	28	14	42	15	29	44
Notes:								
1. ITE Trip Generation, 10th Edition. Average rates used.								
2. 15 day shift and 8 night shift employees assumed for facility.								

**Option 4: The project site consists of 15,000 SF of industrial with a 100-bed bridge shelter facility:**

Scenario 4 Trip Generation								
Use	Generation Rate	Daily	AM Peak			PM Peak		
			In	Out	Total	In	Out	Total
15 KSF Industrial	ITE Code 110	74	9	2	11	1	8	9
100-Bed Facility (Shuttle Trips)	From Operations Plan	44	8	8	16	10	10	20
100-Bed Facility (Employee Trips)	From Operations Plan	70	23	12	35	12	23	35
Total		188	40	22	62	23	41	64
Notes:								
1. ITE Trip Generation, 10th Edition. Average rates used.								
2. 23 day shift and 12 night shift employees assumed for facility.								

If you have any questions regarding the trip generation estimates, please contact me at (714) 754-5180.

c Elliot Huang, Assistant Engineer  
File