



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: MARCH 11, 2019

ITEM NUMBER:

PH-1

SUBJECT: PLANNING APPLICATION 18-47 AND TENTATIVE TRACT MAP 18034 FOR A THREE-STORY MIXED-USE DEVELOPMENT WITHIN THE 19 WEST URBAN PLAN AREA LOCATED AT 752 & 756 WEST 19TH STREET

DATE: MARCH 1, 2018

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: MINOO ASHABI, PRINCIPAL PLANNER

**FOR FURTHER INFORMATION CONTACT: MINOO ASHABI, AIA (714) 754-5610
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DESCRIPTION

The proposed project includes the following:

- 1) *Planning Application 18-47* is a request for approval of an Urban Master Plan to allow construction of a three-story mixed-use development located in the C1 zone and in the 19 West Urban Plan area. The request includes the following deviations from the Urban Plan standards:
 - Deviation to allow for a less than one-acre minimum development lot (a one-acre development lot is required; the existing lot is 0.27-acre (11,533 square feet).
 - Deviation from the standard for required open guest parking. Nineteen parking spaces are required with a minimum of 15 open guest parking spaces. The project meets the overall parking requirement by providing six garage spaces including two mechanical lifts, three carports and ten open guest parking spaces.
- 2) *Tentative Tract Map 18034*: The subdivision of the 11,533-square-foot lot (0.27-acre) to establish a four-unit condominium map for ownership purposes.

APPLICANT OR AUTHORIZED AGENT

Bobby Kashani, is the authorized agent for KS. Capital, Inc., the property owner.

RECOMMENDATION

Staff recommends that the Planning Commission adopt a Resolution to:

1. Find that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15332 (Infill Development); and
2. Approve Planning Application 18-47 and Tentative Tract Map 18034, subject to conditions of approval.

PLANNING APPLICATION SUMMARY

Location:	752 and 756 W. 19th Street	Application Number:	PA-18-47/TT-18034
Request:	Master Plan and Tentative Tract Map for three-story mixed-use development		

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone:	C1 19 th Street Urban Plan	North:	R2-HD, Multi-Family Residential, High Density
General Plan:	General Commercial	South: (across 19 th St)	R3, Multiple Family Residential District
Lot Dimensions:	100 FT x 117 FT	East: (across Wallace Ave)	C1 (Local Business District)
Lot Area:	11,533 SF	West:	C1 (Local Business District)
Existing Development:	Currently vacant; previously developed with two structures that have been demolished.		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required/Allowed Mixed-Use Standards (19 th West)	Proposed/Provided
Development Lot Size:		
Lot Width	N/A	100 FT
Lot Area	1-acre	11,533 SF (0.27-acre) ¹
Density/Intensity:		
Floor Area Ratio (FAR)	1.0 FAR (11,533 SF)	0.71 FAR (8,148 SF) ²
Coverage (Development Lot)		
Buildings	N/A	4,598 SF (39.9%)
Paving	N/A	3,898 SF (33.8%)
Open Space	3,460 SF (30%)	3,168 SF (27.5%) Roof deck 1,880 SF (16.3%)
Residential Open Space	200 SF per unit	2 nd flr. – 132 SF balcony 3 rd flr. - 357 SF (covered) per unit 580 SF (open deck) per unit
Building Height	4-stories / 60 ft.	2 story – 28'-7" 3-story – 40' 4"
Distance between main buildings	10 ft.	N/A
Development Lot Building Setbacks:		
Front (19th Street)	15 ft.	16 ft.
Side (interior)	0 ft.	0 ft.
Side (Wallace Street) – Building line	10 ft.	15 ft.
Side (Wallace Street) – parking	5 ft.	6 ft.
Rear	20 ft	46 ft.
Parking		
Covered	5 spaces for residential use (50% minimum covered)	5 spaces (garage)
Guest	(0.5 per residential unit) 1 space	1 space (garage)
Office use	14 spaces	10 open 3 carports bike racks
Total Spaces	19 spaces ³	19 spaces

CEQA Status 15332, In-Fill Development

Final Action Planning Commission

¹ Requires deviation- see staff report

² FAR calculation does not include garage square-footage for each unit per Zoning Code Section 13-58

³ Credit of one parking space for bike racks – Zoning Code Section 13-89

BACKGROUND

Project Site/Environs

The 0.27-acre project is located at the northwest corner of West 19th Street and Wallace Avenue within the 19 West Urban Plan area. On April 4, 2006, the City Council adopted the Urban Plans to allow incentives for the development of ownership housing and mixed-use development projects within urban plan areas. Mixed-use projects are allowed in the 19 West Urban Plan subject to development standards noted in the Urban Plan.

The site is zoned C1 (Local Business) and has a General Plan land use designation of General Commercial (GC). The onsite structures were demolished in 2016. The demolished structures were built in 1953 and included two single-story buildings totaling 2,413 square feet in area. There are two vehicular access points to the site, one from Wallace Avenue and one from West 19th Street. Surrounding land uses generally consist of residential and commercial uses. Land uses immediately adjacent to the project site consist of the following:

- **North:** A two-story apartment complex located in the R2-HD (Multiple-Family Residential District, High-Density) zone.
- **East:** Commercial uses (Auto Zone) located in the C1 zone (Local Business District) located across Wallace Avenue.
- **South:** A two-story apartment complex located in the R3 zone (Multiple-Family Residential) located across West 19th Street.
- **West:** Commercial uses (Neptune Society Cremation) located in the C1 zone.

Urban Plan Screening Requests

Projects within the Urban Plans require screening by the City Council prior to proceeding with an application. There have been two previous plans to develop the project site. The first project concept included three detached residential units along 19th Street and was reviewed by the City Council on June 17, 2014. The City Council determined that the project met the expectations for the Urban Plan and provided direction to move forward with the master plan application, but had the following comments/ concerns:

- The project should include an increase in the interior side building setback to eliminate items/trash caught between buildings
- The project should integrate use of permeable pavers for driveways and open parking
- The project should include enhanced architecture
- The project should include a single entrance to the live/work units to deter use of workspace as a bedroom or leased area

- The project should include redesign of the corner unit for more open space at the angled setback
- The project should provide the required number of open parking spaces
- The project should strive to have no deviations and provide additional parking to accommodate live/work guests

The June 17, 2014 City Council screening report, meeting minutes and video is on the City's website at the below links:

<http://ftp.costamesaca.gov/costamesaca/council/agenda/2014/2014-06-17/NB-2.pdf>
<https://www.costamesaca.gov/home/showdocument?id=15248>
http://costamesa.granicus.com/MediaPlayer.php?view_id=10&clip_id=2411

On August 8, 2016, the Master Plan for the project was reviewed by the Planning Commission. The project included several deviations from the Urban Plan standards and the Planning Commission was not supportive of the proposed site plan and architectural design. The Commission voted to continue the project to a date uncertain to allow the applicant to revise the site plan and architecture and to return at a later public hearing. The staff report, meeting minutes and video of the Planning Commission hearing are available at these links:

<http://www.costamesaca.gov/ftp/planningcommission/agenda/2016/2016-08-08/PH-2.pdf>
<https://www.costamesaca.gov/modules/showdocument.aspx?documentid=23074>
http://costamesa.granicus.com/MediaPlayer.php?view_id=10&clip_id=2886

Subsequently, the project site was sold and the new property owner retained an architect to develop plans for the site. The subdivision was also modified from small lots to a condominium plan with no fee simple parcels or reliance on the small lot ordinance. Since the project included five units, all utility poles serving the site (including a pole on Wallace Street) were required to be undergrounded. Given the significant cost of off-site undergrounding, the applicant requested a waiver of this requirement.

The revised project with modified architecture was reviewed by the Planning Commission on March 12, 2017. The Commission denied the project on a 3-0 vote (Commissioners de Arakal and Harlan absent) expressing concerns with the number of deviations, the proposed separate entrance to work space and residential portion of the unit, request of waiver of undergrounding the utility poles, and the architectural design of the project. The denial action was adopted with the following findings:

- The proposed master plan does not meet the broader goals of the General Plan, 19 West Urban Plan and the Zoning Code in terms of exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.
- The strict application of the live/work development standards such as setbacks and parking standards would not result in practical difficulty and the proposed

deviations requested by the Applicant will result in a project that would be inconsistent with the purpose and intent of the General Plan and Urban Plan.

The Planning Commission's report, meeting minutes and video are on the City's website at the below link:

<http://ftp.costamesaca.gov/costamesaca/planningcommission/agenda/2018/2018-03-12/PH-4.pdf>
<https://www.costamesaca.gov/home/showdocument?id=30262>
http://costamesa.granicus.com/MediaPlayer.php?view_id=10&clip_id=3160

New Urban Plan Screening

On September 4, 2018, the applicant revised the project to a mixed-use development with two residential units and two office units integrated into one building and submitted an application. This was the first mixed-use development reviewed by the City Council since 2008. The City Council provided the following comments:

- The proposed mechanical lifts are not practical for guest parking
- Consider reducing the square footage to decrease the parking requirement
- Provide unlimited access to parking and do not use garage doors for the office portion and guest parking
- The mixed-use project fulfills the goals of the urban plan
- Reduce the three-story massing along the street elevations
- Provide examples of mechanical lifts via a video, etc.
- Provide a tasteful design / edge for the third floor decks and patio covers

The staff report, meeting minutes and video of the meeting are available at the following links:

<http://ftp.costamesaca.gov/costamesaca/council/agenda/2018/2018-09-04/NB-3.pdf>
http://costamesa.granicus.com/MediaPlayer.php?view_id=10&clip_id=3254
<https://www.costamesaca.gov/home/showdocument?id=34866>

ANALYSIS

The applicant revised the project that was considered by the City Council as follows:

- Reduced the overall square footage of the office use by 500 square feet, hence reducing the parking requirement to 14 spaces instead of 16 spaces for the office use.
- Limited use of mechanical lifts to only residential units for one parking space in the two-car garage (two lifts total)
- Provided more open parking by replacing the end garage spaces with carports making it more accessible to visitors

- Reduced the three-story massing on 19th Street by setting back the third level building line more than 25 feet from the two story building facade.
- Provided lifts for the residential units to have the units available to all age groups
- Enhanced the building elevations by using brick veneer, metal trellis and metal awnings.

Residential Units

The proposed project consists of a mixed-use development with two office condominiums and two residential units integrated into one building. The site design provides for the following parking configuration:

Table 1- Parking Comparison

Proposed Use	Required Parking	Provided Parking		
2 Office Units 3,500 SF (1,750 SF each)	4/1,000 ratio Req: 14 spaces	10 open spaces 3 carports		
2 Residential Units three-bedrooms(2,284 SF each)	3 per unit Req: 6 spaces	3 per unit Two garage spaces and one mechanical lift per unit		
		Garage	Open	Carport
		6*	10	3
Total	20	19**		

*Includes 2 spaces with mechanical lifts

**One credit for providing bike racks (Zoning Code)

Density/Intensity

The 0.27-acre site is currently vacant and was developed with two small commercial buildings that were demolished in 2016. The proposed project involves construction of a symmetrical duplex structure that contains two two-story offices and two three-story residential units with separate access. The proposed development is two stories on the south facing W. 19th Street and three stories facing north. The overall Floor Area Ratio is 0.71 for the office and residential square footage (excluding garage spaces).

Site Design

The buildings would be located along the 19th Street frontage and the vehicular access would be via Wallace Avenue. The open parking would be located on the northerly part of the site, with the garage and carport spaces facing the northerly side, as well, making them not visible from the W. 19th Street right-of-way. Because of accessibility requirements, the residential and office units would be accessed through walkways connected to the sidewalk along W. 19th Street. This orientation allows for direct access to workspaces as intended through the urban plans. A small patio would provide a transitional entryway to the residential units and separate them from the sidewalk.

Building Architecture

The proposed architecture is a contemporary design with flat roofs and durable finishes such as brick veneer and metal canopies. The residential units would provide ample private open space on the second and third floors. Small private balconies are proposed on the second floors; each unit would also include a large rooftop deck facing W. 19th Street. The back portion of the roof deck would provide a solid cover and the front portion would be open and the parapet is in line with the front building facade.

The rear of the building facing north and the parking lot would include two oversized garage doors for the residential units and carports for the office use.

On-Site Parking

The proposed development would be located within an Urban Plan area and would meet the Code-required parking per Mixed-Use Development Standards (19 on-site parking spaces required; 19 parking spaces provided). However, the project is requesting a deviation from the number of open guest parking spaces (15 required, 10 proposed) since three of the guest parking spaces are provided in carports and two in garage spaces; one credit is provided because of the bike rack.

A proposed condition of approval would require all of the open spaces to be unassigned and available for guests/tenants of the development. The garage spaces would be subject to annual verification by the HOA in order to confirm they are not being used for storage purposes. The garages would comply with the minimum interior dimensions per code.

Traffic/Trip Generation

The Transportation Division completed a preliminary trip generation analysis comparing the proposed four-unit project to existing conditions and General Plan conditions at full build out. The projections indicate that the proposed development would generate fewer trips compared to the existing office/retail use.

Table 2 - Preliminary Trip Generation Analysis

Land use	Density/Intensity	AM	PM	Daily
Proposed mixed-use development Two office and two 3-bedroom units	0.71 FAR	6	6	48
General Plan Build Out (C1 Zoning – General Commercial)	1.0 FAR	4	15	164

Source: Costa Mesa Transportation Services Division

Perimeter Walls/Fences

The project includes privacy fencing for the proposed patios as well as the transition area between the front entries and public sidewalks on both Wallace Avenue and W.

19th Street. The fencing is deigned to complement the architecture of the units and provide a semi-private area in front of the units.

Landscaping

The project provides enhanced landscaping along W. 19th Street and Wallace Avenue. In fact, the existing driveway along W. 19th Street would be removed, and a new parkway with landscaping is proposed along the W. 19th Street frontage to enhance the site. The project proposes a mixture of drought tolerant trees, shrubs, and groundcover throughout the private open space areas and along building front landscaped areas. The project also includes courtyards and walkways for pedestrian activity, and decorative fencing along the W. 19th Street and Wallace Avenue frontages.

Shade and Shadow

The submitted shade and shadow exhibits show that the site will have no impacts to the property to the north. The revised site plan provides a 46-foot separation form the northerly property line so that the shadows are contained on-site.

Tentative Tract Map 18034

The applicant proposes a condominium map for four units with one parcel and easements over the driveway and all open parking spaces for use by all property owners. The map is consistent with City codes and the State Subdivision Map Act. Conditions of approval related to Covenants, Conditions, and Restrictions (CC&Rs) that would be recorded with the final map include:

- Conditions to maintain the garage space free and open for parking of vehicles
- Requirement for an annual report from the HOA on the condition of garages
- Maintenance standards regarding exterior improvements (buildings, hardscape and landscaping)
- Required disclosure related to adjacent commercial uses and relative noise, odor, etc.
- Required shared guest parking for all office units

GENERAL PLAN AND ZONING CODE CONFORMANCE

Future development of all land within the City of Costa Mesa is guided by the General Plan adopted in 2016. The Land Use Element of the General Plan directs long-range development in the City by indicating the location and extent of permissible future development. The General Plan sets forth land use goals, policies, and objectives that guide new development.

The following analysis evaluates the proposed project's consistency with specific goals, objectives, and polices of the General Plan, Land Use Element.

1. **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure*

Consistency: The project is an infill mixed-use project within the allowable density/intensity allowed per the 19 West Urban Plan Development Standards. Therefore, adequate infrastructure would be available to serve the proposed project and the project is consistent with this General Plan objective.

2. **Policy LU-1.1** *Provide for the development of a mix and balance of housing opportunities, commercial goods and services, and employment opportunities in consideration of the needs of the business and residential segments of the community.*

Consistency: The project is a mixed-use project within the allowable FAR requirements per the mixed-use Development Standards. The office and residential units would be integrated into one building and this type of development would continue to provide commercial goods, services, and employment opportunities within the neighborhood.

3. **Policy LU-1.3:** *Strongly encourage the development of residential uses and owner-occupied housing (single-family detached residences, condominiums, townhouses) where feasible to improve the balance between rental and ownership housing opportunities.*

Consistency: The proposed project is for ownership units and consistent with this General Plan policy.

4. **Policy LU-1.5:** *Maintain a land use structure that strives to balance jobs and housing with available infrastructure and public and human services.*

Consistency: The proposed project provides for both residential and office uses within the same development and is consistent with this General Plan policy.

5. **Objective LU-2:** *Promote land use patterns and development that contribute to community and neighborhood identity.*

Consistency: The project proposes to develop according to the mixed-use Development Standards provided under the 19 West Urban Plan. This Urban Plan promotes and encourages improvements within the Westside by encouraging construction of mixed-use development to attract more residents and merchants and to provide new alternative housing types.

6. **Policy LU-2.6:** *Encourage increased private market investment in declining or deteriorating neighborhoods.*

Consistency: The proposed project provides for new ownership units in combination with an office use. This new housing type is encouraged for the Westside and is consistent with this General Plan policy. The site is currently vacant and fenced off with temporary fencing.

7. **Policy LU-2.7:** *Permit the construction of buildings over two stories or 30 feet only when it can be shown that the construction of such structures will not adversely impact surrounding developments and deprive existing land uses of adequate light, air, privacy, and solar access.*

Consistency: The proposed project includes three-story buildings; however, the site is a corner parcel located at the northwesterly corner of W. 19th Street and Wallace Avenue. As such, only two properties abut the project site, including multifamily units within the R3 zone to the north and a commercial use within the C1 zone to the west. The building includes a 46-foot setback to the north. As such, shade and shadow impacts will occur primarily on the project site.

8. **Policy LU-3.5:** *Provide opportunities for the development of well- planned and designed projects, which, through vertical or horizontal integration, provide for the development of compatible residential, commercial, industrial, institutional, or public uses within a single project or neighborhood.*

Consistency: The proposed project includes a duplex building which, through vertical integration, would provide for a compatible mixed of uses. All first levels of the units are oriented toward the pedestrian walkways and would allow for office uses to have entries from W. 19th Street. The upper levels of each unit provide for residential living.

JUSTIFICATIONS FOR APPROVAL

Pursuant to Title 13, Section 13-83.52(c), Master Plan Findings for Mixed-Use Overlay District, and Section 13-83.52(d), Deviations from Development Standards, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings.

The following table highlights some of the revisions to the project since the March 12, 2018 Planning Commission hearing:

Table 3- 2018 Plans vs. Current Proposal

	2018 Submittal	Current Proposal
Project Intensity	Five live/work units contained into a duplex and a triplex building – 8,068 SF (0.85 FAR)	Total of two office and two residential units contained in a duplex building – 9,887 SF (0.71 FAR)
Number of Deviations	Five including a waiver to underground the utility pole	Two - Undergrounding is no longer required because of the

	on Wallace Ave.	reduction in number of units
Setback to North (20 feet required)	12 feet (first level) 10'-7" feet (upper levels)	46 feet
Setback to West (0 required)	12'-8" (duplex) 9'11" (triplex)	0 feet
Setback Along Wallace (10 required)	18 feet	6 feet for parking 15 feet for building
Setback along 19 th Street (15 feet required)	15 feet	16 feet
Open Guest Parking	5 open parking	10 open parking 3 carports
Building Design	Contemporary with off-sets, flat roofs	Contemporary with off-sets, flat and gabled roofs
Shade and Shadow Impacts	Minor impacts to the properties to the north because	None

Staff recommends approval of the proposed project, based on an assessment of facts and findings:

- The project is consistent with the General Plan, meets the purpose and intent of the overlay district, and the stated policies of the Urban Plan as applicable.

The project provides for the development of a mix of housing and office/service opportunities, and encourages revitalization of older commercial areas in the Westside with new mixed-use development consisting of ownership units with ground floor office uses. The project promotes the policies of the 19 West Urban Plan, which envisions modern architecture and mixed-use development along W. 19th Street. The project requests two deviations from the mixed-use development standards, which can be considered by the Planning Commission on a case-by-case basis.

- The project includes code-required open space on the ground level. The minimum required open space for mixed-use developments is 30 percent, which can include up to 10 percent on the decks and balconies. The project provides 27.5 percent open space on the ground level and 16.3 percent open space on the upper level decks. Additionally, the proposed project will incur park fees based on two ownership residential units.

Table 4 – Project Open Space

Open Space Summary	
Ground level open space	3,168 SF (27.5%)
Roof decks	1,880 SF (16.3%)
Open Space including roof decks	5,048 SF (43.8%)

- The project is consistent with the compatibility standards for mixed-use development in that it provides adequate protection for residents from excessive noise, odors, vibration, light and glare, and toxic emanation.

The proposed project is within the 19 West Urban Plan overlay, which allows for mixed uses. The neighboring properties to the west and east (across Wallace Avenue) are within the C1 zone, and are developed with commercial uses. Properties to the north and south (across W. 19th Street) are zoned R3, and are currently developed with multi-family residential developments. There are no nearby industrial uses. The proposed project would be compatible with these surrounding uses, as well as potential future uses, and is not anticipated to be subject to excessive noise, odors, vibration, light and glare, and toxic emissions. A condition of approval requires a "Notice to Buyers" to disclose that the project is located within an area designated as commercial in the City of Costa Mesa General Plan and is subject to existing and potential annoyances or inconveniences associated with commercial land uses. Per City's noise standards, residential interior noise levels must be met for interior residential living spaces; however, mixed-use projects are exempt from exterior noise standards.

- Given the corner location of the site, compliance with all standards is difficult to achieve. The proposed deviations allow for a development that achieves the purpose and intent of the General Plan and Urban Plan.

The 19 West Urban Plan's goal is to revitalize, enhance, and encourage the development of mixed-use villages throughout the Westside without any major intensification of land uses. The project proposes a 0.71 FAR, well below the maximum 1.0 FAR allowed per the Urban Plan. The development would provide an opportunity to redevelop a vacant site previously developed with marginal uses into a mixed-use development that would provide new residential ownership opportunities along with continued commercial uses.

The Urban Plan allows deviations from development standards through the master plan approval process, with consideration to existing development configuration, compatibility of adjacent uses, inclusion of pedestrian-oriented space, and/or inclusion of amenities along the street side.

- The granting of a deviation results in a mixed-use development, which exhibits excellence in design, site planning, integration of structures and compatibility with surrounding development.

The project would meet the total on-site parking requirement by providing 10 open parking spaces, three carports and six garage spaces. The revised site plan would provide all of the required parking for the office use in open or carport spaces making them accessible to the business operators, their employees and patrons. The guest parking spaces for the residential units would be provided in the garage spaces with a mechanical lift, since: a) the demand for this parking is

typically in the evening where additional open parking may be available, and b) it is more practical for the homeowner to arrange with their guests and operate the mechanical lift. In addition, the proposed site plan would satisfy the open space requirements, and overall density/intensity requirements of the Urban Plan. Conditions of approval would also require enhanced landscaping and decorative walls and fencing, including a minimum three-foot-high decorative fence/wall along the W. 19th Street and Wallace Avenue property lines to protect landscaping and to create a transitional space to the front entries.

- The granting of a deviation will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

The granting of the deviations will not be detrimental to the public health, safety, or welfare, or be materially injurious to properties or improvements in the vicinity. The proposed site has access from two streets for emergency access and would be required to comply with all applicable Building and Fire Safety regulations to ensure that no adverse impact to the public health, safety, or welfare is created.

- The granting of a deviation to reduce the minimum lot size will allow development of a corner property currently vacant and previously developed with marginal commercial uses. The project site includes two parcels that combine to a 0.27-acre site. Assembly of smaller parcels within the urban plan areas has been difficult to achieve by developers since many of the property owners are not motivated to sell their properties. This is the first proposal for development in the 19 West Urban Plan area. However, several projects within the Mesa West Residential Ownership have received approval of a deviation from the minimum lot size requirement. As with all urban plan projects, the preliminary master plan was reviewed by the City Council; feedback was provided related to the site and architectural planning and no concerns were raised with respect to the size of the development.

Tentative Tract Map

The following are justifications for approval of the Tentative Tract Map request per Title 13, Section 13-29 (g)(13):

- The proposed subdivision and related improvements is consistent with the General Plan and the Zoning Code, is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and is consistent with the State Subdivision Map Act.

The subdivision is consistent with the goals, policies, and objectives of the General Plan Land Use Element in that the project would encourage the revitalization of existing, older commercial areas in the Westside, and provide owner-occupied housing to improve the balance between rental and ownership housing opportunities. The property is physically suitable to accommodate the subdivision of the parcel into a condominium development for mixed-use

purposes. Engineering staff has confirmed that there are no interferences with the City's or other utility right-of-way areas and/or easements within the tract.

- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property.

Condominium development is subject to recordation of CC&Rs, and a homeowner's association. A condition of approval would require that the CC&Rs contain the ground rules related to: common areas for circulation, parking, architectural control over future building modifications or additions, architectural design and guidelines for the property.

LEGAL REVIEW

The draft Resolution has been approved as to form by the City Attorney's Office.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 (Class 32), Infill Development since the project site is no more than five acres within an urbanized area, meets all the applicable General Plan policies and Zoning regulations, and adequately served by all required utilities and public services.

PUBLIC NOTICE

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners and occupants within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

As of this report, no written public comments have been received. Any public comments received prior to the March 11, 2019 Planning Commission meeting will be provided separately.

ALTERNATIVES

The Planning Commission has the following alternatives:


1. Approve the project. The Planning Commission may approve the project as proposed, subject to the conditions outlined in the attached Resolution.
2. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised Resolution incorporating new findings and/or conditions.
3. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, the Planning Commission must deny the application, provide facts in support of denial, and direct staff to return to the Planning Commission at its next meeting with a Resolution for denial to be placed on the Commission's consent calendar. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

Approval of the project would allow development of a four-unit mixed-use development on a commercial property. As conditioned, the project would allow this development consistent with the intent of the Urban, Plan, General Plan and Zoning Code. The project has been modified with an intensity below the Floor Area Ratio allowed by the Urban Plan and would meet the parking requirements for the overall number of onsite parking spaces. The applicant has reduced the number of deviations requested. Therefore, staff recommends approval of the project.



MINOO ASHABI, AIA
Principal Planner



BARRY CURTIS, AICP
Director of Economic and Development
Services

- Attachments:
1. Vicinity Map, Zoning Map and 500' Radius Map
 2. Draft Planning Commission Resolution and Exhibits
 3. Project Plans / Tentative Tract Map

Distribution:

- Director of Economic and Development Services
- Assistant Director of Development Services
- Assistant City Attorney
- Public Services Director
- City Engineer
- Transportation Services Manager
- Fire Protection Analyst

File

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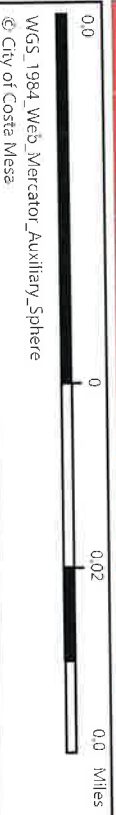
ATTACHMENT 1



Map Title



1: 1,305



WGS 1984 Web_Mercator_Auxiliary_Sphere
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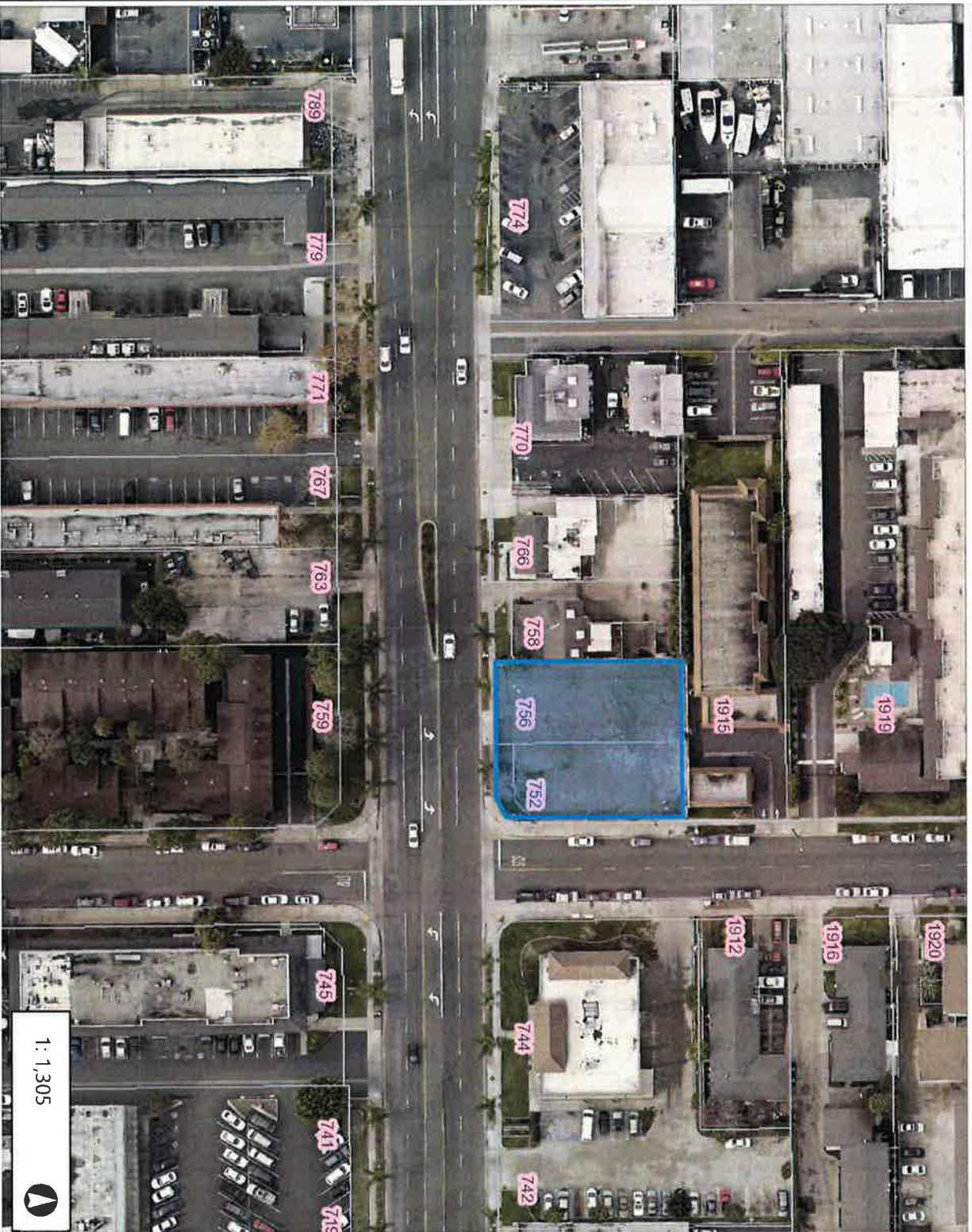
Legend
Costa Mesa

- Zoning**
- AP - Administrative Professional
 - IR-MLT - Institutional Recreational I
 - R1 - Single-Family Residential
 - R2-MD - Multiple-Family Residential
 - R2-HD - Multiple-Family Residential
 - R3 - Multiple-Family Residential
 - MG - General Industrial
 - MP - Industrial Park
 - PDI - Planned Development Industrial
 - C1 - Local Business
 - C2 - General Business
 - C1-S - Shopping Center
 - TC - Town Center
 - PDR-NCM - Planned Development Mesa
 - I&R - Institutional Recreational
 - I&R-S - Institutional Recreational - S
 - P - Parking
 - CL - Commercial Limited
 - PDC - Planned Development Center
 - PDR-LD - Planned Development Residential
 - PDR-MD - Planned Development Residential
 - PDR-HD - Planned Development Residential

Notes

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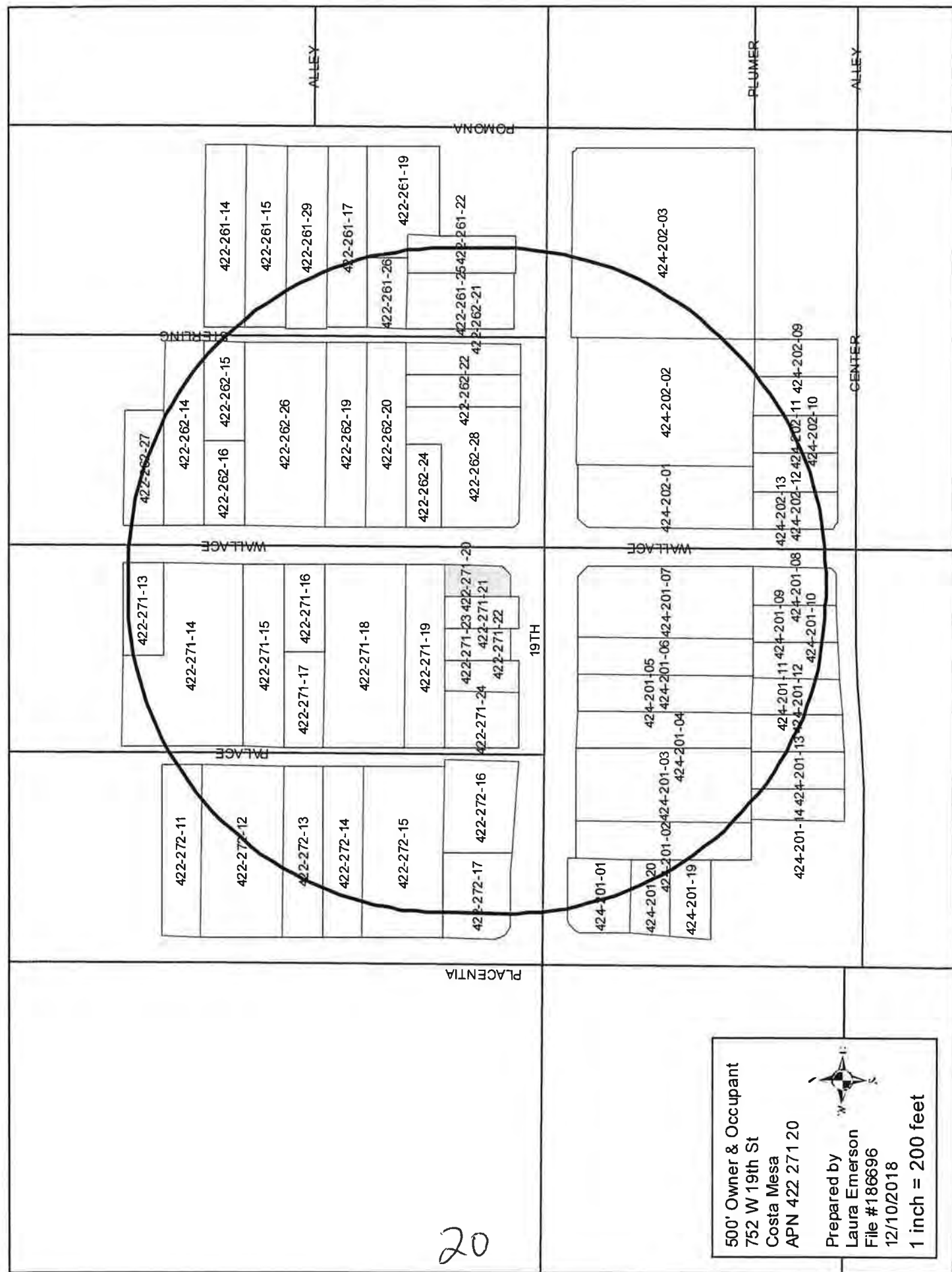
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Legend

- Costa Mesa

Notes



500' Owner & Occupant
 752 W 19th St
 Costa Mesa
 APN 422 271 20

Prepared by
 Laura Emerson
 File #186696
 12/10/2018

1 inch = 200 feet

RESOLUTION NO. PC-19-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA, CALIFORNIA APPROVING AN URBAN MASTER PLAN (PA-18-47) AND TENTATIVE TRACT MAP 18034, FOR DEVELOPMENT OF A MIXED-USE PROJECT, AT 752 AND 756 WEST 19TH STREET

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA, CALIFORNIA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Bobby Kashani, as the authorized agent on behalf of the property owner, KS Capital Inc., requesting approval of the following:

- 1) Planning Application 18-47 – A request for an Urban Master Plan for development of a mixed-use project at a vacant site previously developed with two commercial buildings; and,
- 2) Tentative Tract Map 18034 – Subdivision of an 11,533-square-foot **(0.27-Acre)** property for condominium purposes to allow private sale and ownership of two residential units and two office units.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on March 11, 2019, with all persons provided an opportunity to speak for and against the proposed project;

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt from CEQA under Section 15332 for In-fill Development;

NOW, THEREFORE, BE IT RESOLVED that based on the evidence in the record, the findings contained in Exhibit A, and subject to conditions of approval contained in Exhibit B, and permitted uses included in Exhibit C, the Planning Commission hereby **APPROVES** Planning Application PA-18-47 and Tentative Tract Map 18034 with respect to the property described above;

BE IT FURTHER RESOLVED that If any section, division, sentence, clause, phrase or portion of this resolution is for any reason held to be invalid or unconstitutional

by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-18-47, and Tentative Tract Map 18034 and upon applicant's compliance with each and all of the conditions contained in Exhibit B and B1, as well as with compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

PASSED AND ADOPTED this 11th day of March, 2019.

Byron de Arakal, Chair
Costa Mesa Planning Commission

STATE OF CALIFORNIA)
COUNTY OF ORANGE)ss
CITY OF COSTA MESA)

I, Barry Curtis, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution No. PC-19-__ was passed and adopted at a regular meeting of the City of Costa Mesa Planning Commission held March 11, 2019 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

Barry Curtis, Secretary
Costa Mesa Planning Commission

Resolution No. PC-19-

EXHIBIT "A"

FINDINGS

- 1) The proposed project (Master Plan Application PA-18-47) complies with the Master Plan Findings, Costa Mesa Municipal Code Section 13-29 (g) (5) because:

Required Finding: The master plan meets the broader goals of the general plan, any applicable specific plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

Facts in Support of Finding: The mixed-use project is consistent with the goals, policies, objectives, and/or regulations of the General Plan, Zoning Code, and 19 West Urban Plan. The project would redevelop a vacant property with a project that would enhance the site and its surroundings, and would provide for a balanced mix of housing and employment opportunities at a level no greater than can be supported by the existing infrastructure. The proposed mixed-use development does not exceed the development capacity of the General Plan transportation system.

The proposed mixed-use project would be compatible and harmonious with uses on surrounding properties. The development is located in a transitional area that has commercial, service and office that are adjacent residences. A significant setback separates the mixed-use development from the residential uses on the north that ensures a measure of privacy and separation from the new buildings.

- 2) Master plan findings for mixed-use development projects in the mixed-use overlay district are identified in Chapter V, Article 11, Mixed-Use Overlay District. The proposed project (Master Plan Application PA-16-20) complies with the Master Plan Findings for the Mixed-use Overlay District, Costa Mesa Municipal Code Section 13-83.52 (a) because:

Required Finding: The project is consistent with the general plan, meets the purpose and intent of the mixed-use overlay district, and the stated policies of the urban plan as applicable.

Facts in Support of Finding: The project meets the purpose and intent of the mixed-use overlay district, and the stated policies of the 19 West Urban Plan. The urban plans envision contemporary architecture and infill development that would be complementary to an urban setting. The proposed architecture and site design would enhance the street view and potentially evoke new development in the area. The proposed three-story, mixed-use development complies with the objectives of the Urban Plan which are:

- a) to encourage construction of mixed-use development that combines residential and nonresidential uses in the same unit without exceeding the development capacity of the General Plan transportation system;
- b) attract more residents and business in one unit by offering first floor offices;
- c) stimulate improvements in the urban plan area through well designed and integrated urban residential development; and,
- d) promote new housing for people seeking alternative housing choices. The project enhances the general area by new development on a vacant parcel current fenced off. The project may serve as a catalyst for reinvestment in other properties that are currently underutilized and unoccupied in the vicinity.

The project would provide for the development of a mix of housing and office/service opportunities, and encourage revitalization of older commercial areas in the Westside with new mixed-use development consisting of ownership units with ground floor office uses. The project would promote the policies of the 19 West Urban Plan, which envisions modern architecture and mixed-use development along W. 19th Street. The project includes two deviations from the mixed-use development standards, which can be considered by the Planning Commission on a case-by-case basis.

Facts in Support of Finding: Although the project is slightly under the 30 percent open space at ground level, the project includes adequate private open space areas in form of patios, balconies, and roof terraces which add to more than 43 percent of overall open space.

The minimum required open space for mixed-use developments is 30 percent, which could include up to 10 percent on the decks and balconies. The project would provide 27.5 percent opens space on the ground level and 16.3 percent open space on the upper level decks. Additionally, the proposed project would incur park fees based on two ownership residential units.

Table 4 – Project Open Space

Open Space Summary	
Ground level open space	3,168 SF (27.5%)
Roof decks	1,880 SF (16.3%)
Open Space including roof decks	5,048 SF (43.8%)

Facts in Support of Finding: The buildings are three-story structures with roof top decks. The duplex units are designed with off-sets and projections along the elevations to stagger the building mass and provide a visual rhythm and modulation. The roof decks and balconies are spaced apart to ensure privacy of the owners.

Required Finding: The project is consistent with the compatibility standards for residential development in that it provides adequate protection for residents from excessive noise; odors; vibration; light and glare; and toxic emanations.

Facts in Support of Finding: Title 13, Section 13-280(d), Exterior Noise Standards, of the Costa Mesa Zoning Code indicates that exterior noise standards shall not apply to "private balconies or patios of units located within the Mixed-Use Overlay District".

The proposed project would be within the 19 West Urban Plan overlay, which allows for mixed uses. The neighboring properties to the west and east (across Wallace Avenue) are within the C1 zone, and are developed with commercial uses. Properties to the north and south (across W. 19th Street) are zoned R3, and are currently developed with multi-family residential developments. There are no nearby industrial uses. The proposed project would be compatible with these surrounding uses, as well as potential future uses, and is not anticipated to be subject to excessive noise, odors, vibration, light and glare, and toxic emissions. A condition of approval requires a "Notice to Buyers" to disclose that the project is located within an area designated as commercial in the City of Costa Mesa General Plan and is subject to existing and potential annoyances or inconveniences associated with commercial land uses. Per City's noise standards, residential interior noise levels must be met for interior residential living spaces; however, mixed-use projects are exempt from exterior noise standards.

Required Finding: The proposed residences have adequate separation and screening from adjacent commercial/industrial uses through site planning considerations, structural features, landscaping, and perimeter walls.

Facts in Support of Finding: The project would be designed with adequate separation and screening from the residential uses to the north and commercial uses to the west. Since this is a corner lot with street frontage on Wallace and 19th Street, adequate separation is provided in form of privacy fencing and block wall is provided from the public rights of way.

- 3) **Required Finding:** The granting of a deviation results in a mixed-use development which exhibits excellence in design, site planning, integration of uses and structures and compatibility standards for residential development.

Facts in Support of Finding: The project would redevelop a vacant site with a high-quality project that would enhance the site and its surroundings, and would provide for a mix and balance of housing and employment opportunities. The project is facing 19th Street and Wallace Avenue and

allowing the utility pole to remain would not have a direct aesthetic impact to the project.

The 19 West Urban Plan's goal is to revitalize, enhance, and encourage the development of mixed-use villages throughout the Westside without any major intensification of land uses. The project proposes a 0.71 FAR, well below the maximum 1.0 FAR allowed per the Urban Plan. The development would provide an opportunity to redevelop a vacant site previously developed with marginal uses into a mixed-use development that would provide new residential ownership opportunities along with continued commercial uses.

The Urban Plan allows deviations from development standards through the master plan approval process, with consideration to existing development configuration, compatibility of adjacent uses, inclusion of pedestrian-oriented space, and/or inclusion of amenities along the street side.

Required Finding: The granting of a deviation would not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

Facts in Support of Finding: The mixed-use development is compatible with the surrounding industrial/commercial context and allow for development of an undeveloped site on a major street.

- 4) Pursuant to Section 13-29(g)(13) of the Municipal Code, the subject property is physically suitable to accommodate Tentative Tract Map 18034 in terms of type, design and intensity of development, and would not result in substantial environmental damage nor public health problems, based on compliance with the City's Zoning Code and General Plan because:

Required Finding: The creation of the subdivision and related improvements is consistent with the general plan, any applicable specific plan, and this Zoning Code.

Facts in Support of Finding: The creation of the subdivision and development as a mixed-use project is compatible with the general plan and 19 West Urban Plan. The project exhibits excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

Required Finding: The subject property is physically suitable to accommodate the subdivision in terms of type, design and density of development, and not result in substantial environmental damage nor public health problems, based on compliance

with the Zoning Code and general plan, and consideration of appropriate environmental information.

Facts in Support of Finding: The project would redevelop a vacant commercial site with a high-quality project that would enhance the site and its surroundings, and would provide for a mix and balance of housing and employment opportunities at a level no greater than can be supported by the existing infrastructure. The proposed development does not exceed the development capacity of the General Plan transportation system. With the proposed 0.71 Floor Area Ratio, the project would be well below the maximum Floor Area Ratio of 1.0 for mixed-use projects.

The property is physically suitable to accommodate the subdivision of the parcel into a condominium development for mixed-use purposes. Engineering staff has confirmed that there are no interferences with the City's or other utility right-of-way areas and/or easements within the tract.

Required Finding: The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

Facts in Support of Finding: The mixed-use project is located on a rectangular parcel. The residential units would have south exposure to the sun that may help with passive natural heating. The central driveway provides a conduit for natural breezes that may serve as passive cooling.

Required Finding: The division and development would not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

Facts in Support of Finding: An easement is necessary to allow access for emergency vehicles on site that would be provided by the tentative tract map.

Required Finding: The discharge of sewage from this land division into the public sewer system would not violate the requirements of the State Regional Water Quality Control Board pursuant to Division 7 (commencing with State Water Code Section 13000).

Facts in Support of Finding: The applicant would be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District. The proposed project would not result in any

modifications to the site and both existing single family residential units already have access to the public sewer system.

- 5) The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines; and the City environmental procedures, and has been found to be exempt from CEQA under CEQA Guidelines Section 15332 for In-Fill Development. The proposed project site is no more than five acres within an urbanized area, meets all the applicable General Plan policies and Zoning regulations, and adequately served by all required utilities and public services.
- 6) The project, as conditioned, is consistent with Article 3 Transportation System Management of Chapter IX, Title 13 of the Costa Mesa Municipal Code in that the project's traffic impacts would be address all affected intersections.

EXHIBIT "B"

CONDITIONS OF APPROVAL (Master Plan PA-18-47)

- Plng.
1. The expiration of Planning Application 18-47 shall coincide with the expiration of the approval of the Tentative Tract Map 18034 which is valid for two years (March 11, 2021). Approval will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) a building permit has been issued and construction has commenced, and has continued to maintain a valid building permit by making satisfactory progress as determined by the Building Official, 2) a certificate of occupancy has been issued, or 3) the use is established and a business license has been issued. A time extension can be requested no less than thirty (30) days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180 days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
 2. The conditions of approval for PA-18-47 and Tentative Tract Map 18034 shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 3. Approval of a subdivision map shall be required for this project. The subdivision map shall be recorded prior to the issuance of grading permits or building permits for the proposed development.
 4. Prior to the issuance of building permits, the applicant shall provide proof of final recordation of Tentative Tract Map 18034. The subdivision map shall be recorded prior to issuance of any model home plan, precise grading permits, or building permits for the proposed development.
 5. The applicant shall install a six-foot high decorative block wall around the perimeter of the proposed development lot. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screen by trees and landscaping.
 6. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Elevations shall not be modified unless otherwise approved by the Development Services Director as consistent with the architectural design and features of the proposed development.

Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.

7. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.
8. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to neighbors.
9. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
10. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
11. A comprehensive sign program shall be submitted for all on-site signs (i.e., monument, directory, wall mounted) for review and approval of the Development Services Director prior to issuance of building permits.
12. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be

limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

13. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted. This condition relates to visually prominent features of scuppers or downspouts that not only detract from the architecture but may be spilling water from overhead without an integrated gutter system which would typically channel the rainwater from the scupper/downspout to the ground. An integrated downspout/gutter system which is painted to match the building would comply with the condition. This condition shall be completed under the direction of the Planning Division.
14. The driveway shall be finished with stamped concrete or pervious pavers. The final landscape concept plan shall indicate the landscape palette and the design/material of paved areas, and the landscape/hardscape plan shall be approved by the Planning Division prior to issuance of building permits.
15. Open parking spaces shall be designated as unreserved, available, open visitor / guest parking for the project site. Signage be posted to indicate that these spaces are available to all visitors.
16. Residential units are required to maintain a two-car garage and a vehicle car lift. Residents shall park vehicles in garage spaces. Storage of other items may occur only to the extent that vehicles may still be parked within the require garage spaces.
17. Development shall comply with all requirements of the 19 West Urban Plan applicable to mixed-use development and applicable condominium standards.
18. Prior to issuance of grading permits, developer shall identify to the Development Services Director a construction relations officer to act as a community liaison concerning on-site activity, including resolution of issues related to dust generation from grading/paving activities.
19. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened upon view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
20. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.

21. Applicant shall provide proof of establishment of a homeowners association prior to release of any utilities prior to selling any of the units as condominiums.
22. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.

A. The CC&Rs shall contain provisions requiring that the HOA homeowner's association (HOA) effectively manage parking and contract with a towing service to enforce the parking regulations and shall contain restrictions prohibiting parking in the driveway and in front of garage doors.

B. The CC&Rs shall also contain provisions related to night-time lighting and active use of the common areas. These provisions shall prohibit amplified noise, loud parties/gatherings, night-time lighting after 9:00 PM other than for security purposes, or any other activities that may be disruptive to the quiet enjoyment of neighboring properties after 9:00 PM.

C. The CC&Rs shall also contain provisions related to preservation and maintenance of the common lot and common open space areas in perpetuity by the homeowner's association. The CC&Rs shall also contain the buyer's notice (described in Condition below) as an exhibit.

D. The CC&Rs shall contain a notice that all open parking spaces shall be unassigned and available for visitors

E. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.

F. The Homeowner's Association shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:

- a. The three garage spaces in the residential units are being used for vehicle parking by the residents and their guests.
- b. The vehicle mechanical lifts are maintained in good working condition.
- c. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
- d. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's Office. Failure to file the annual affidavit is considered a violation of this condition.

Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.

23. A "Notice to Buyers" shall disclose that the project is located within an area designated as Commercial in the City of Costa Mesa General Plan and is subject to existing and potential annoyances or inconveniences associated with industrial land uses. The Notice shall disclose the existing surrounding industrial land uses, including but not limited to, operational characteristics such as hours of operation, delivery schedules, outdoor activities, and noise and odor generation. In addition, the Notice shall state that the existing land use characteristics are subject to change in the event that new businesses move or existing businesses change ownership. The Buyer's Notice shall be reviewed/approved by the City Attorney's office and Development Services Director prior to recordation. The Buyer's Notice shall serve as written notice of the then existing noise environment and any odor generating uses within the mixed-use development and within a 500-foot radius of the mixed use development, as measured from the legal property lines of the development lot. The Buyer's Notice shall be remitted to any prospective purchaser or tenant at least 15 days prior to close of escrow, or within three days of the execution of a real estate sales contract or rental/lease agreement, whichever is longer.
24. Design, grading, and construction shall be performed in accordance with the requirements of the California Building Code applicable at the time of grading as well as the appropriate local grading regulations, and the recommendations of the project geotechnical consultant as summarized in a final written report, subject to review by the City of Costa Mesa Building official prior to issuance of grading permits.
25. Prior to issuance of building permits, developer shall contact the U.S. Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
26. Prior to the issuance of Building Permits, the Applicant shall submit a Lighting Plan and Photometric Study for the approval of the City's Development Services Department. The Lighting Plan shall demonstrate compliance with the following:
 - The mounting height of lights on light standards shall not exceed 18 feet in any location on the Project site unless approved by the Development Services Director.

- The intensity and location of lights on buildings shall be subject to the Development Services Director's approval.
 - All site lighting fixtures shall be provided with a flat glass lens. Photometric calculations shall indicate the effect of the flat glass lens fixture efficiency.
 - Lighting design and layout shall limit spill light to no more than 0.5 foot-candles at the property line of the surrounding neighbors, consistent with the level of lighting that is deemed necessary for safety and security purposes on site.
 - Glare shields may be required for select light standards.
27. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 28. Prior to final inspections the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.
 29. The applicant and future homeowners shall contract with a waste disposal company that provide full on-site trash and recyclable collection. Access for disposal collection shall be provided from the rear alley. There shall be no storage of trash bins or cans on public streets with the exception of temporary use of the right-of-way for rolling containers or loading to large trash trucks.
 30. The upper level roof decks shall be provided with solid barriers with finishes matching exterior materials/ colors instead of metal railings.
 - Trans. 31. Fulfill mitigation of off-site traffic impacts at the time of issuance of occupancy by submitting to the Planning Division the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated including credits for all existing uses and will be recalculated at the time of issuance of building permit/certificate of occupancy based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
 32. Construct drive approach at location specified on site plan. Comply with minimum clearance requirements from property lines and any vertical obstructions.
 - Utilities 33. The applicant shall comply with guidelines provided by Southern California Edison Company with respect to easement restrictions, construction guidelines, and potential amendments to right-of-way in the areas of any existing Southern California Edison Company easements.

34. The applicant shall submit plans for review by the Mesa Water District. The applicant shall obtain a letter of approval and letter of project completion from the Mesa Water District.
35. Prior to the issuance of building permits, the project applicant shall pay the applicable connection fees charged to new development by the Mesa Consolidated Water District.
- Eng. 36. Comply with the requirements contained in the letter prepared by the City Engineer dated February 2, 2019 (Exhibit B1).

CODE REQUIREMENTS (Master Plan PA-18-47)

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
 3. Trash enclosure or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform to City standards. Standard drawings are available from the Planning Division.
 4. All on-site utility services shall be installed underground, except as modified by other conditions of approval stipulated herewith.
 5. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
 6. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 7. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
 8. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 9. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
 10. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 11. Prior to issuance of building permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development. The current park impact fee is calculated at \$13,829 per new multi-family ownership dwelling unit.

- Bldg.
12. Comply with the requirements of the following adopted codes Code, 2016 California Building Code, 2016 California Electrical code, 2016 California Mechanical code , 2016 California Plumbing code , 2016 California Green Building Standards Code and 2016 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites ,facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2016 California Building Code. Prior to issuing the Building permit the conditions of approval shall be on the approved Architectural plans
 13. Prior to the Building Div. (AQMD) issuing a demolition permit contact South Coast Air Quality Management District located at:
21865 Copley Dr.
Diamond Bar, CA 91765-4178
Tel: 909- 396-2000
Or
Visit their web site
<http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381>
The Building Div. will not issue a demolition permit until an Identification no.is provided By AQMD
 14. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
 15. Submit a precise grading plans, an erosion control plan and a hydrology study.
 16. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
 17. The ground adjacent immediately to the foundation shall be slopes away from the building at a slope of not less than 5% for a minimum distance of 10 feet measured perpendicular to the face of the wall CBC sec. 1804.3. See also exception. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent 2013 California Building Code sec. 1808.7.4
- Fire
18. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location

visible from the alley. Numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background.

19. Comply with the requirements of the 2016 California Fire Code and referenced standards as amended by the City of Costa Mesa.

SPECIAL DISTRICT REQUIREMENTS (Master Plan PA-16-20)

The requirements of the following special districts are hereby forwarded to the applicant:

- | | |
|--------|---|
| Sani | <ol style="list-style-type: none">1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (949) 654-8400.3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.4. The applicant is required to contact the Costa Mesa Sanitary District at 949-654-8400 to arrange final sign-off prior to certificate of occupancy being released.5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at 949-654-8400 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements. |
| School | <ol style="list-style-type: none">7. Pay applicable Newport Mesa Unified School District fees to the Building Division prior to issuance of building permits.8. Prior to issuance of a building permit, the project applicant shall pay developer fees to the Newport-Mesa Unified School District pursuant to the requirements established in SB 50. The amount of fees to be paid will be determined based on the established State formula for determining construction costs. |
| State | <ol style="list-style-type: none">9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information. |
| Water | <ol style="list-style-type: none">10. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.11. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees. |
| Cable | <ol style="list-style-type: none">12. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service. |



CITY OF COSTA MESA

CALIFORNIA 92628-1200

P.O. BOX 1200

PUBLIC SERVICES DEPARTMENT

February 20, 2019

Costa Mesa Planning Commission
 City of Costa Mesa
 77 Fair Drive
 Costa Mesa, CA 92626

SUBJECT: Tentative Tract No. 18034
LOCATION: 752 & 756 W. 19th St

Dear Commissioners:

Tentative Tract Map No. 18034 as furnished by the Planning Division for review by the Public Services Department consists of subdividing two lots into one numbered lot for condominium purposes. Tentative Tract Map No. 18034 meets with the approval of the Public Services Department, subject to the following conditions:

1. The Tract shall be developed in full compliance with the State Map Act and the City of Costa Mesa Municipal Code (C.C.M.M.C.), except as authorized by the Costa Mesa City Council and/or Planning Commission. The attention of the Subdivider and his engineer is directed to Section 13-208 through 13-261 inclusive, of the Municipal Code.
2. The Subdivider shall conduct soil investigations and provide the results to the City of Costa Mesa Engineering and Building Divisions pursuant to Ordinance 97-11.
3. Two copies of the Final Tract Map shall be submitted to the Engineering Division for checking. Map check fee shall be paid per C.C.M.M.C. Section 13-231.
4. A current copy of the title search shall be submitted to the Engineering Division with the first submittal of the Final Tract Map.
5. Dedicate an ingress/egress easement to the City for emergency and public security vehicles purposes only. Maintenance of easement shall be the sole responsibility of a Homeowners Association formed to conform to Section 13-41 (e) of the C.C.M.M.C.
6. Vehicular and pedestrian access rights to Wallace Avenue shall be released and relinquished to the City of Costa Mesa except at approved access locations.
7. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk.
8. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager.


40 a

77 FAIR DRIVE

9. Submit for approval to the City of Costa Mesa, Engineering Division, Street Improvement and Storm Drain Plans, that show Sewer and Water Improvements, prepared by a Civil Engineer.
10. The Subdivider shall submit a cash deposit of \$730 for street sweeping at time of issuance of a Construction Access permit. Full amount of deposit shall be maintained on a monthly basis prior to and during construction until completion of project.
11. Fulfill City of Costa Mesa Drainage Ordinance No. 06-19 requirements prior to approval of Final Tract Map
12. The Subdivider's engineers shall furnish the Engineering Division a storm runoff study to the City of Costa Mesa showing existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site. This study to be furnished with the first submittal of the Final Tract Map. Cross lot drainage shall not occur.
13. In order to comply with the latest DAMP, the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the City of Costa Mesa Engineering Divisions for review and approval.
 - A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
 - Location of BMPs shall not be within the public right-of-way.
14. Ownership and maintenance of the private on-site drainage facilities, BMPs, parkway culverts and other common areas shall be transferred by the owner to the Homeowner Association to be formed pursuant to C.C.M.M.C. Section 13-41 (e) and said association shall indemnify and hold harmless the City of Costa Mesa for any liability arising out of or in any way associated with the connection of the private drainage system with the City's drainage system and shall execute and deliver to the City of Costa Mesa the standard (indemnity) Hold Harmless Agreement required for such conditions prior to issuance of permits.
15. Sewer improvements shall meet the approval of the Costa Mesa Sanitary District; call (949) 631-1731 for information.
16. Water system improvements shall meet the approval of Mesa Water District; call (949) 631-1200 for information.
17. Dedicate easements as needed for public utilities.
18. Dedicate a 0.5 foot easement for street and highway behind the property line at 756 W. 19th Street to the City of Costa Mesa.
19. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.

20. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital-graphics file of said map in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
21. Survey monuments shall be preserved and referenced before construction and replaced after construction, pursuant to Section 8771 of the Business and Profession Code.
22. The elevations shown on all plans shall be on Orange County benchmark datum.
23. Prior to recordation of a Final Tract Map, submit required cash deposit or surety bond to guarantee monumentation. Deposit amount to be determined by the City Engineer.
24. Prior to occupancy on the Tract, the surveyor/engineer shall submit to the City Engineer a Digital Graphic File, reproducible mylar of the recorded Tract Map, and approved off-site plan and nine copies of the recorded Tract Map.

Sincerely,


Baltazar Mejia, P. E.
City Engineer

(Engr. 2019/Planning Commission Tract 18034)

WALLACE AND 19TH

752 W 19TH ST, COSTA MESA, CALIFORNIA
LOTS 39 AND 40, IN BLOCK 'E' OF TRACT 612

ATTACHMENT 3



**BRYCE
SIGOURNEY**
ARCHITECTURE + DESIGN

5332 E PAVO ST
LONG BEACH, CA 90808
831 277 5490



CONCEPTUAL RENDERING

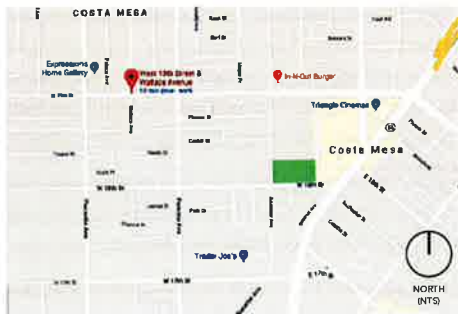
GENERAL NOTES

1. CONTRACTOR SHALL VERIFY WITH OWNER'S REPRESENTATIVE THAT PLANS ARE CURRENT AND APPROVED.
 2. WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF COSTA MESA.
 3. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA, TITLE 24 AND ALL APPLICABLE STATE AND LOCAL CODES ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.
 4. ISSUANCE OF A BUILDING PERMIT BY THE CITY DOES NOT RELIEVE THE APPLICANT OF THE LEGAL REQUIREMENT TO OBSERVE COVENANTS, CONDITIONS, AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN COMMUNITY ASSOCIATION APPROVAL OF PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
 5. A SITE SURVEY BY A LICENSED SURVEYOR SHALL BE REQUIRED PRIOR TO FOUNDATION CONCRETE POUR.
 6. THE GEOTECHNICAL SOILS ENGINEERING REPORT BY IDEOTECH, SOILS, INC. CO TO BE DETERMINED PRIOR TO PERMIT ISSUANCE, DATED 04/11/17, IS A PART OF THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH THE REPORT'S RECOMMENDATIONS AS THEY RELATE TO HIS WORK.
 7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY AND/OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND/OR TAXES REQUIRED TO INSTALL THE WORK ON THESE PLANS.
 8. THE CONTRACTOR SHALL BE APPROPRIATELY LICENSED AS REQUIRED BY THE STATE IN WHICH THE WORK TAKES PLACE.
 9. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING THE WORK AND SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OWNER, ARCHITECT, GOVERNING AGENCIES AND OTHER TRADES.
 10. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING THE WORK.
 11. UNIT PRICES FOR ALL IMPROVEMENTS SHALL BE ESTABLISHED AS A PART OF THE CONTRACT WITH THE PROJECT OWNER AND PRIOR TO BEGINNING WORK, TO ACCOMMODATE ADDITIONS AND/OR DELETIONS OF MATERIAL AND/OR LABOR.
 12. DETERMINATION OF "TYPICAL" SUBSTITUTIONS SHALL BE MADE ONLY BY THE ARCHITECT.
 13. ARCHITECT SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF ANY SITE OBSERVATIONS OR MEETINGS.
 14. SITE OBSERVATIONS BY THE ARCHITECT DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND GOVERNING CODES.
 15. CONTRACTOR SHALL BE BACKLOGGED FOR ARCHITECT'S TIME WHEN OBSERVATIONS ARE CALLED FOR AND IT IS FOUND THAT THE WORK IS NOT SIGNIFICANTLY READY UPON OBSERVATION OR THE APPOINTMENT IS NOT KEPT. TIME WILL BE CHARGED ON AN HOURLY BASIS PLUS TRANSPORTATION, FOOD AND LODGING COSTS, IF ANY, AT THE THEN EXISTING HOURLY RATE FOR THE PERSONNEL PROVIDING THE OBSERVATIONS.
 16. THIS FIRM DOES NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THIS FIRM DOES NOT DIRECT THE CONTRACTOR'S OPERATIONS, AND IS NOT RESPONSIBLE FOR THE SAFETY OF PERSONNEL OTHER THAN OUR OWN ON THE SITE. THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS PRESENTED HEREIN TO BE UNSAFE.
- NOTE: "PLANS" SHALL REFER TO ALL IMPROVEMENTS WITHIN THIS SET OF DOCUMENTS THAT HAVE BEEN DESIGNED BY THIS OFFICE.

PROJECT DATA

APPLICABLE CODES	
CALIFORNIA FIRE CODE	2016 EDITION
CALIFORNIA BUILDING CODE	2016 EDITION
CALIFORNIA MECHANICAL CODE	2016 EDITION
CALIFORNIA PLUMBING CODE	2016 EDITION
CALIFORNIA ELECTRICAL CODE	2016 EDITION
CALIFORNIA ENERGY CODE	2016 EDITION
PROJECT DATA	
OCCUPANCY	MIXED-USE (B/R-3)
CONSTRUCTION TYPE:	TYPE III-B SPRINKLERED

VICINITY MAP



KEY MAP



PROJECT DESCRIPTION

THIS PROJECT PROPOSES A NEW MIXED-USE BUILDING WITH 2 UNITS OF OFFICE SPACE AND 2 UNITS OF RESIDENTIAL SPACE. EACH OFFICE CONSISTS OF A 2-STORY, 1,750 SF UNIT AND EACH RESIDENTIAL UNIT CONSISTS OF A 3-STORY, 1 BED AND 2.5 BATH LOFT, WITH ATTACHED 3 CAR GARAGE. EACH UNIT ALSO HAS OPEN DECKS ON THE 2ND AND 3RD LEVELS.

ALSO ON-SITE IS A PARKING LOT FOR THE GUEST AND RESIDENTIAL PARKING, AS WELL AS BIKE PARKING AND PRIVATE AND PUBLIC OPEN SPACES.

PROJECT TEAM

CLIENT
BOBBY KASHANI
16520 BAKE PKW
SUITE 105
IRVINE, CA
949-872-2775
BKASHANI@PARSEADVISORY.COM

ARCHITECT
BRYCE SIGOURNEY
203 5TH ST
SEAL BEACH, CA
831 277 5490
BRYCESIGOURNEY@GMAIL.COM

CIVIL ENGINEER
ALI AZMIJIRSAI
PARTNER ENGINEERING & SCIENCE, INC
1761 E GARRY AVENUE
SANTA ANA, CA
714 477 8989
AAZMI@PARTNERSI.COM

LANDSCAPE ARCHITECT
BLAKE RHINEHART
BLOCS DESIGN GROUP
1734 HAIGHT ST
SAN FRANCISCO, CA
916 716
BLAKE.RHINEHART@GMAIL.COM

SHEET INDEX

SHEET	DESCRIPTION
ACS	ARCHITECTURAL COVER SHEET
CIVIL	
TTM	TENTATIVE TRACT MAP
ARCHITECTURAL	
A0 1	3D RENDERING AND GRAPHICS
A0 2	3D RENDERING AND GRAPHICS
A1 0	SITE PLAN AND FIRST LEVEL PLANS
A1 1	SECOND AND THIRD LEVEL PLANS
A2 0	UNITS C/D - UNIT PLAN
A3 0	ELEVATIONS
A3 1	ELEVATIONS
A4 0	SUN SHADE STUDY
ARCHITECTURAL	
L1 01	CONSTRUCTION PLAN
L3 01	PLANTING PLAN

PROJECT BRIEF

THIS NEWLY PROPOSED MIXED USE PROJECT IS LOCATED ON THE CORNER OF 19TH STREET AND WALLACE AND FALLS WITHIN THE 19 WEST URBAN PLAN. THE DEVELOPMENT CONSISTS OF TWO 2-STORY OFFICE UNITS WITH TWO ATTACHED 3-STORY RESIDENTIAL UNITS ALONG 19TH STREET 0.27 ACRES SITE.

EACH OF THE THREE-STORY TOWNHOMES OFFER A AN ENCLOSED GARAGE AND ARE SERVED BY SEPARATE ENTRANCES. THE STOREFRONT TYPE DOOR AND WINDOW SYSTEM WILL PROVIDE A FRESH AND MODERN LOOK ALONG 19TH STREET.

EACH RESIDENTIAL UNIT OFFERS A 2-CAR SIDE-BY-SIDE GARAGE WITH AN ADDITIONAL CAR LIFT, PROVIDING DIRECT ACCESS INTO THE UNITS. THE SECOND FLOORS FEATURE 10-FOOT HIGH CEILINGS WITH AN OPEN FLOOR PLAN THAT ALLOWS FOR NATURAL LIGHTING. BOTH UNITS PROVIDE THREE FULL BEDROOMS WHICH ARE LOCATED ON THE THIRD FLOOR, WITH LIVING ON THE SECOND FLOOR AND ENTRANCES AND UTILITY ROOMS AT THE GROUND LEVEL. THERE ARE ALSO PROVIDES OPEN ROOFTOP DECKS FOR ENTERTAINING. EACH UNIT ALSO ALLOWS FOR AN ELEVATOR.

THE 2-STORY OFFICE SPACE UNITS PROVIDE A CONTEMPORARY GLASS ENTRY WITH DOUBLE HEIGHT LOBBY AND OPEN LOFT STYLE FLOOR PLANS. TRASH AND MECHANICAL SPACES ALONG WITH BIKE PARKING CAN ALL BE FOUND AT THE GROUND LEVEL.

THE ARCHITECTURAL STYLE OF THIS PROPOSED DEVELOPMENT IS MODERN BUT GROUNDED IN APPROPRIATE MATERIALS AND COLOR PALETTE. THE BRICK AND CLEAN STUCCO SERVE TO PROVIDE A FEELING SIMILAR TO AN OLD BROWNSTONE LOFT SPACE, USING LARGE GLAZING AND CONTEMPORARY LINES AND DETAILS, WE DRAW FROM BOTH THE CONTEMPORARY AND THE HISTORICAL.

LOT CALCULATIONS

LOT SITE CALCULATIONS	
LOT TOTAL AREA	100' X 117' = 11,533 S.F.
SETBACKS	
FRONT SETBACK (W/19TH ST)	15'-0"
SIDE SETBACK (WALLACE ST)	5'-0"
REAR SETBACK	20'-0"
UNIT SIZE CALCULATIONS	
PROPOSED RESIDENTIAL UNITS	2 UNITS
PROPOSED OFFICE UNITS	2 UNITS
RESIDENTIAL UNITS (PER UNIT)	
FIRST LEVEL	348 S.F.
SECOND LEVEL	950 S.F.
THIRD LEVEL	986 S.F.
TOTAL	2,284 S.F.
OFFICE UNITS (PER UNIT)	
FIRST LEVEL	986 S.F.
SECOND LEVEL	766 S.F.
TOTAL	1,750 S.F.

REVISIONS

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SHEET TITLE
COVER SHEET

SHEET NUMBER
ACS.0

SCALE: 1" = 10'

PROPOSED:
SUBDIVISION OF TWO EXISTING PARCELS INTO ONE LOT FOR 4-UNIT
MIXED-USE RESIDENTIAL/OFFICE BUILDING CONDOMINIUM PROJECT

NOTES:
LAND AREAS:
GROSS: 12,674 SQ. FT. = 0.291 ACRES (OVERALL)
NET: 11,533 SQ. FT. = 0.265 ACRES (OVERALL MINUS STREET
DEDICATIONS AND PLUS STREET VACATION)

PROPERTY IS IN FEMA FLOOD ZONE "X"
LAND IS NOT SUBJECT TO INUNDATION OR FLOODING

- EASEMENTS:
- (A) EASEMENT FOR PIPELINES AS RESERVED IN DOCUMENT RECORDED IN BOOK 686, PAGE 328 OF DEEDS. SAID EASEMENT IS BLANKET IN NATURE (NOT PLOTTED HEREON)
 - (B) 10' WIDE EASEMENT OF THE CITY OF COSTA MESA FOR HIGHWAY PURPOSES AS PER DOCUMENT RECORDED DECEMBER 6, 1956 IN BOOK 3735 PAGE 110 OF OFFICIAL RECORDS
 - (C) PORTION OF EASEMENT OF THE CITY OF COSTA MESA FOR STREET AND HIGHWAY PURPOSES AS PER DOCUMENT RECORDED FEBRUARY 15, 1980 AS INSTRUMENT NO. 20583 IN BOOK 13505, PAGE 1484 OF OFFICIAL RECORDS AS VACATED BY THE CITY OF COSTA MESA AS PER DOCUMENT RECORDED JANUARY 11, 2016 AS INSTRUMENT NO. 20160000994 OF OFFICIAL RECORDS
 - (D) PROPOSED 25' WIDE NON-EXCLUSIVE EASEMENT TO THE CITY OF COSTA MESA FOR EMERGENCY AND PUBLIC SECURITY VEHICLE INGRESS-EGRESS
 - (E) PROPOSED 25' WIDE NON-EXCLUSIVE EASEMENT TO CONDOMINIUM UNITS 1 THRU 4 FOR INGRESS-EGRESS, DRAINAGE AND PUBLIC UTILITY PURPOSES
 - (F) PROPOSED NON-EXCLUSIVE EASEMENT TO CONDOMINIUM UNITS 1 THRU 4 FOR GUEST/VISITOR PARKING, DRAINAGE AND PUBLIC UTILITY PURPOSES
 - (G) PROPOSED 0.5' X 50' EASEMENT TO THE CITY OF COSTA MESA FOR STREET AND HIGHWAY PURPOSES

TENTATIVE TRACT MAP NO. 18034

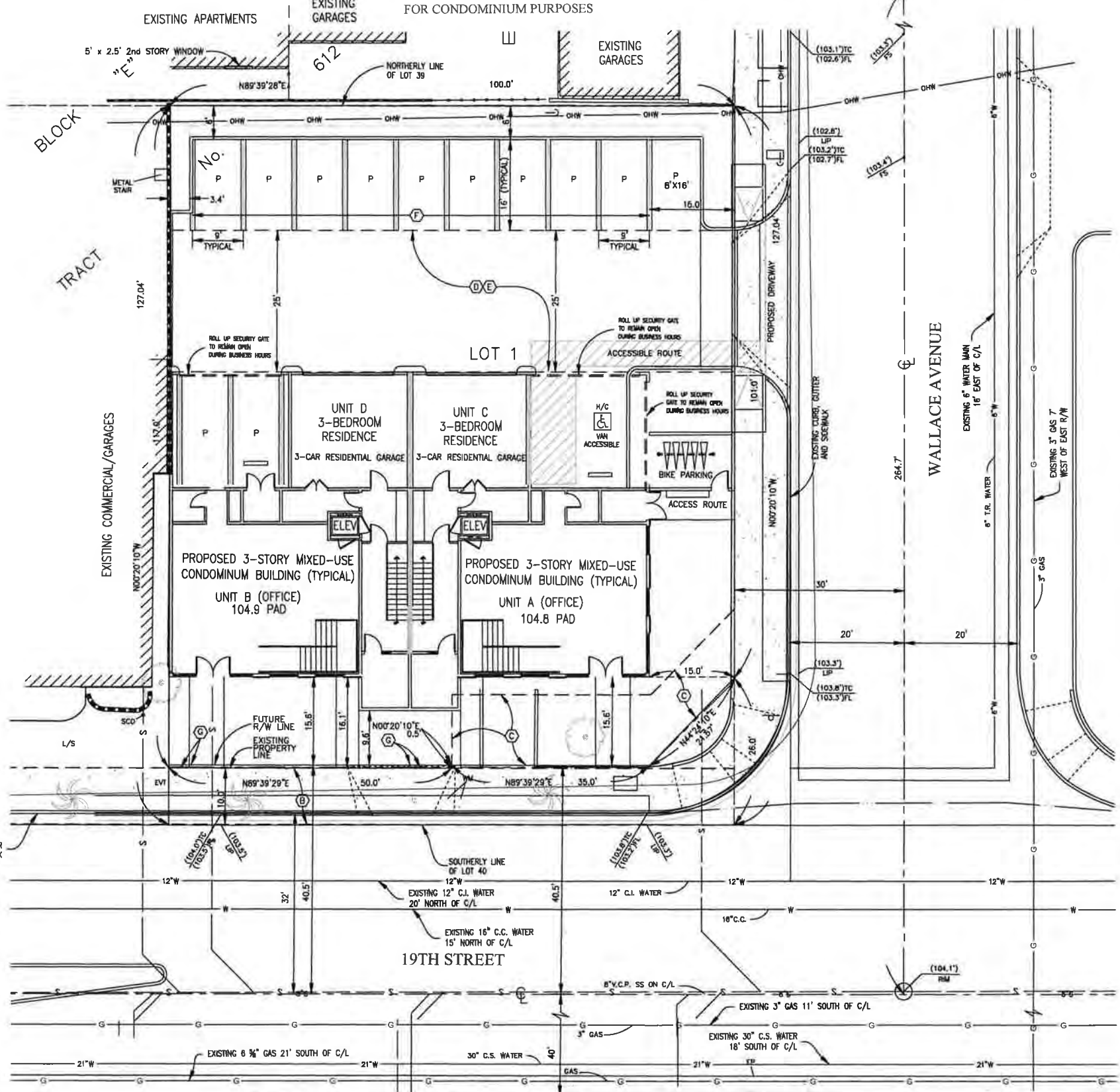
BEING A SUBDIVISION OF A PORTION OF LOTS 39 AND 40, IN BLOCK "E" OF TRACT 612, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 20, PAGES 1 AND 2 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
PARTNER ENGINEERING & SCIENCE, INC., ALI AZIMIJSARAI P.L.S. 7325
REVISED DECEMBER 13, 2017
FOR CONDOMINIUM PURPOSES

OWNER & SUBDIVIDER:
BABAK KASHANI
KS CAPITAL, INC.
16520 BAKE PARKWAY, SUITE #105
IRVINE CA 92618
PHONE: (949) 202-7280
Email: bkashani@pursendvisory.com

SURVEYOR:
PARTNER ENGINEERING & SCIENCE, INC.
1761 E. GARRY AVENUE, SANTA ANA CA, 92705
PHONE: (714) 477-8989
EMAIL: aazimi@partneresi.com

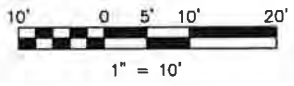
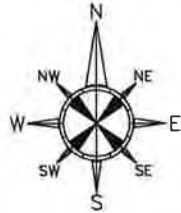


Ali Azimijisaraei 03/01/2019
ALI AZIMIJSARAI DATE

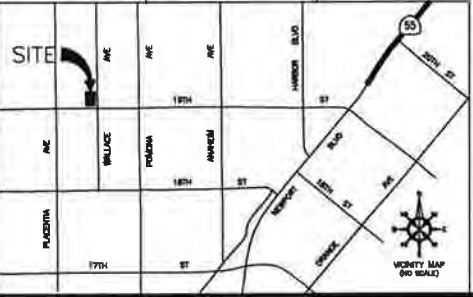


LEGEND

- (S) SEWER MANHOLE
- ← TRAFFIC DIRECTION
- ☀ LIGHT POLE
- ⚡ POWER POLE
- ⊙ GAS METER
- ACU AIR CONDITIONING UNIT
- A/C ASPHALT
- CF CURB FACE
- CMB COMMUNICATION PULLBOX
- CTV CABLE TV VAULT
- DWY DRIVEWAY
- ECB ELECTRICAL CABINET
- EM ELECTRICAL METER
- EP EDGE OF PAVEMENT
- EPB ELECTRIC PULLBOX
- EVT ELECTRIC VAULT
- FF FINISH FLOOR
- FG FINISH GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FS FINISH SURFACE
- GB GRADE BREAK
- HB HOSE BIB
- LIP LIP OF GUTTER
- L/S LANDSCAPE
- OVHG BUILDING OVERHANG
- SCO SEWER CLEANOUT
- S/W SIDEWALK
- TC TOP OF CURB
- TW TOP OF WALL
- V-GUT VALLEY GUTTER
- WM WATER METER
- STREET CENTERLINE
- - - PROPOSED LOT LINE
- EXISTING BOUNDARY LINE
- BLOCK/CONCRETE WALL
- - - EXISTING SEWER LINE
- x - x - CHAINLINK FENCE
- □ - □ - WOOD FENCE
- ○ - ○ - WROUGHT IRON FENCE
- - - OVERHEAD WIRE(S)
- - - FLOW LINE
- /// EX. BUILDING PERIMETER
- ▨ PARKING AREA
- ▤ CONCRETE



VICINITY MAP





BRYCE
SIGOURNEY
ARCHITECTURE + DESIGN

5332 E PAVO ST
LONG BEACH, CA 90808
831.277.5490



CONCEPTUAL RENDERING 1
BUILDING FRONTAGE AND MASSING WITH PROPOSED LANDSCAPE AREAS

CONCEPTUAL RENDERINGS ONLY. SEE ARCHITECTURAL ELEVATIONS, SIGNAGE PLANS, INTERIOR PLANS
AND LANDSCAPE PLANS FOR FINAL DIMENSIONS, MATERIALS, QUANTITIES AND LOCATIONS



CONCEPTUAL RENDERING 2
OFFICE SPACE ENTRANCE AT THE CORNER OF WALLACE AND 19TH ST

CONCEPTUAL RENDERINGS ONLY. SEE ARCHITECTURAL ELEVATIONS, SIGNAGE PLANS, INTERIOR PLANS
AND LANDSCAPE PLANS FOR FINAL DIMENSIONS, MATERIALS, QUANTITIES AND LOCATIONS

CLIENT
WJK DEVELOPMENT CO.
16320 BAKE PAVO #105
IRVINE, CA
XXX XXX XXXX

PROJECT
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT
752 B75A W 19TH ST
COSTA MESA, CA
PROJECT 18-01
DATE 02-01-19

REVISIONS



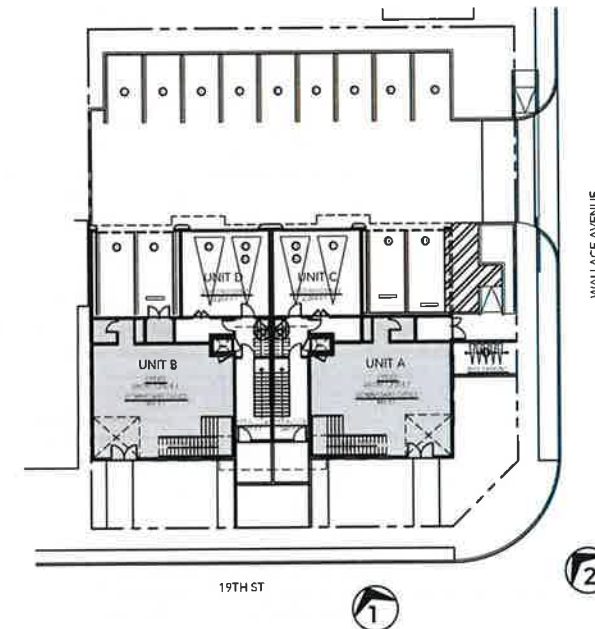
SHEET TITLE
3D RENDERINGS
AND GRAPHICS

SHEET NUMBER
A0.1



CONCEPTUAL RENDERING 3
MAIN RETAIL CORNER AND ENTRY TO PARKING LOT BEYOND CITY WALL

CONCEPTUAL RENDERINGS ONLY. SEE ARCHITECTURAL ELEVATIONS, SIGNAGE PLANS, INTERIOR PLANS
AND LANDSCAPE PLANS FOR FINAL DIMENSIONS, MATERIALS, QUANTITIES AND LOCATIONS



1/16" = 1'-0" SCALE
0 16 32
NORTH

43



**BRYCE
SIGOURNEY**
ARCHITECTURE + DESIGN

5332 E PAVO ST
LONG BEACH, CA 90808
831 277 5490



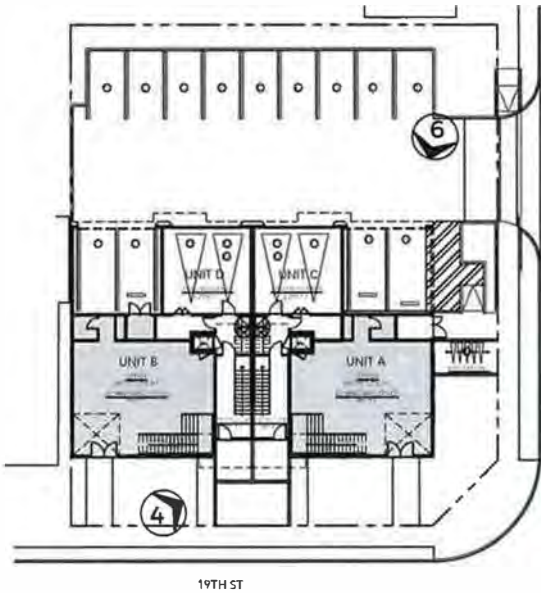
CONCEPTUAL RENDERING 4
PRIVATE PATIO AT THE RESIDENTIAL ENTRANCE. THE DOUBLE HEIGHT GLAZING BEYOND LEADS TO THE ROOF DECK.
CONCEPTUAL RENDERINGS ONLY. SEE ARCHITECTURAL ELEVATIONS, SIGNAGE PLANS, INTERIOR PLANS AND LANDSCAPE PLANS FOR FINAL DIMENSIONS, MATERIALS, QUANTITIES AND LOCATIONS.



CONCEPTUAL RENDERING 5
THE PARKING LOT ENTRANCE AT WALLACE. PLANTING POCKETS PROVIDED AT THE BUILDING WITH TALL GARAGE DOORS.
CONCEPTUAL RENDERINGS ONLY. SEE ARCHITECTURAL ELEVATIONS, SIGNAGE PLANS, INTERIOR PLANS AND LANDSCAPE PLANS FOR FINAL DIMENSIONS, MATERIALS, QUANTITIES AND LOCATIONS.



CONCEPTUAL RENDERING 6
THE RESIDENTIAL GARAGES SIT IN THE MIDDLE WITH THE OFFICE GARAGES AT EITHER END. 2ND AND 3RD LEVELS AT REAR ARE RESIDENTIAL.
CONCEPTUAL RENDERINGS ONLY. SEE ARCHITECTURAL ELEVATIONS, SIGNAGE PLANS, INTERIOR PLANS AND LANDSCAPE PLANS FOR FINAL DIMENSIONS, MATERIALS, QUANTITIES AND LOCATIONS.



5

WALLACE AVENUE

CLIENT
WJK DEVELOPMENT CO.

14500 BAYVIEW AVE
LOS ANGELES, CA
90048-1000

PROJECT
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT

752 W 19TH ST
COSTA MESA, CA
PROJECT 18-00
DATE 02-01-19

REVISIONS

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SHEET TITLE
3D RENDERINGS
AND GRAPHICS

SHEET NUMBER
A0.2

43 a

1/16"=1'-0" SCALE
0 16 32
NORTH



**BRYCE
SIGOURNEY**
ARCHITECTURE + DESIGN

5332 E PAVO ST.
LONG BEACH, CA 90808
831 277 5490

LOT CALCULATIONS

LOT SIZE CALCULATIONS:		100' X 117'
LOT GENERAL SIZE:		11,533 S.F.
ACTUAL LOT AREA:		
PROPOSED RESIDENTIAL UNITS:		2 UNITS
PROPOSED OFFICE UNITS:		2 UNITS
RESIDENTIAL UNITS: UNITS C/D		
FIRST LEVEL	348 S.F.	
SECOND LEVEL	950 S.F.	
THIRD LEVEL	986 S.F.	
TOTAL:	2,284 S.F.	
GARAGE		451 S.F.
BALCONY/DECK	937 S.F.	
OFFICE UNITS: UNITS A/B		
FIRST LEVEL	986 S.F.	
SECOND LEVEL	764 S.F.	
TOTAL:	1,750 S.F.	
GARAGE		N/A

1.0 MAXIMUM FAR
4 UNITS = 8,148 S.F.
8,148 / 11,533 = 0.71

LOT COVERAGE	3,475 S.F.	31.8%
BUILDING	4,698 S.F.	40.7%
DRIVES/PARKING/PAVING	3,168 S.F.	27.5%
OPEN SPACE/WALKWAYS AND LANDSCAPING	11,533 S.F.	100%
TOTAL		
OPEN SPACE REQUIRED		
3,460 SF - 30% MINIMUM		
ROOF DECK	1,880 S.F.	16.3%
10% ALLOWABLE AT ROOF		
DECK	3,168 S.F.	27.5%
OPEN SPACE/WALKWAYS AND LANDSCAPING		
TOTAL ALLOWABLE OPEN SPACE	37.5%	
TOTAL PROVIDED	4,783 S.F.	42.5%
MINIMUM REQUIRED: 30% 10% MAX AT ROOF DECK		

PRIVATE OPEN SPACE (PER RESIDENTIAL UNITS C AND D)	
1ST LEVEL	90 S.F.
PATIO:	
2ND LEVEL	133 S.F.
COVERED DECK:	
3RD LEVEL:	360 S.F.
COVERED DECKS	
OPEN DECKS	580 SF
TOTAL	1,163 S.F. PER RES. UNIT
TOTAL PRIVATE OPEN SPACE:	2,326 S.F.

PARKING CALCULATIONS

PARKING REQUIRED	
4 PER 1,000 SF OF OFFICE	
1,750 S.F. OFFICE X 2:	3,500 SF. TOTAL
3,500 @ 4 PER 1,000SF =	14 SPOTS REQ.
3 PER RESIDENCE	6 SPOTS REQ.
TOTAL	20 REQUIRED
TOTAL SPACES PROVIDED:	
PARKING LOT:	13 SPOTS
GARAGES:	6 SPOT TOTAL
(SPOTS BY GARAGE LIFT: 2)	
BIKE PARKING:	1 SPOT
TOTAL	20 PROVIDED

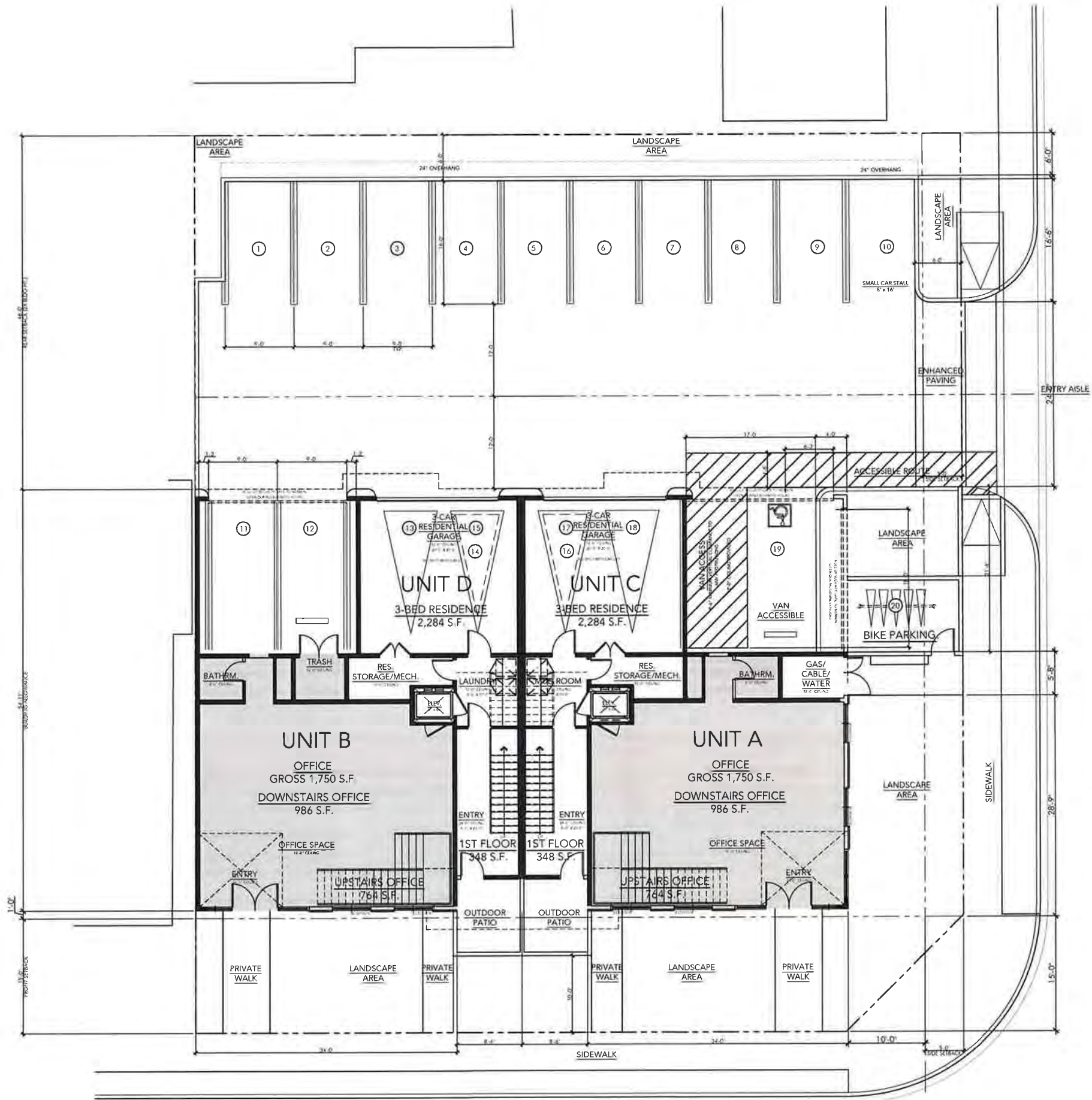
CLIENT: WJK DEVELOPMENT CO.
PROJECT: 752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT
752 W 19TH ST.
COSTA MESA, CA
PROJECT 18-0
DATE 02-01-19

REVISIONS



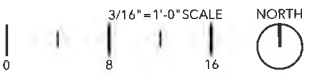
SHEET TITLE
PRELIMINARY
SITE PLAN

SHEET NUMBER
A1.0



19TH ST

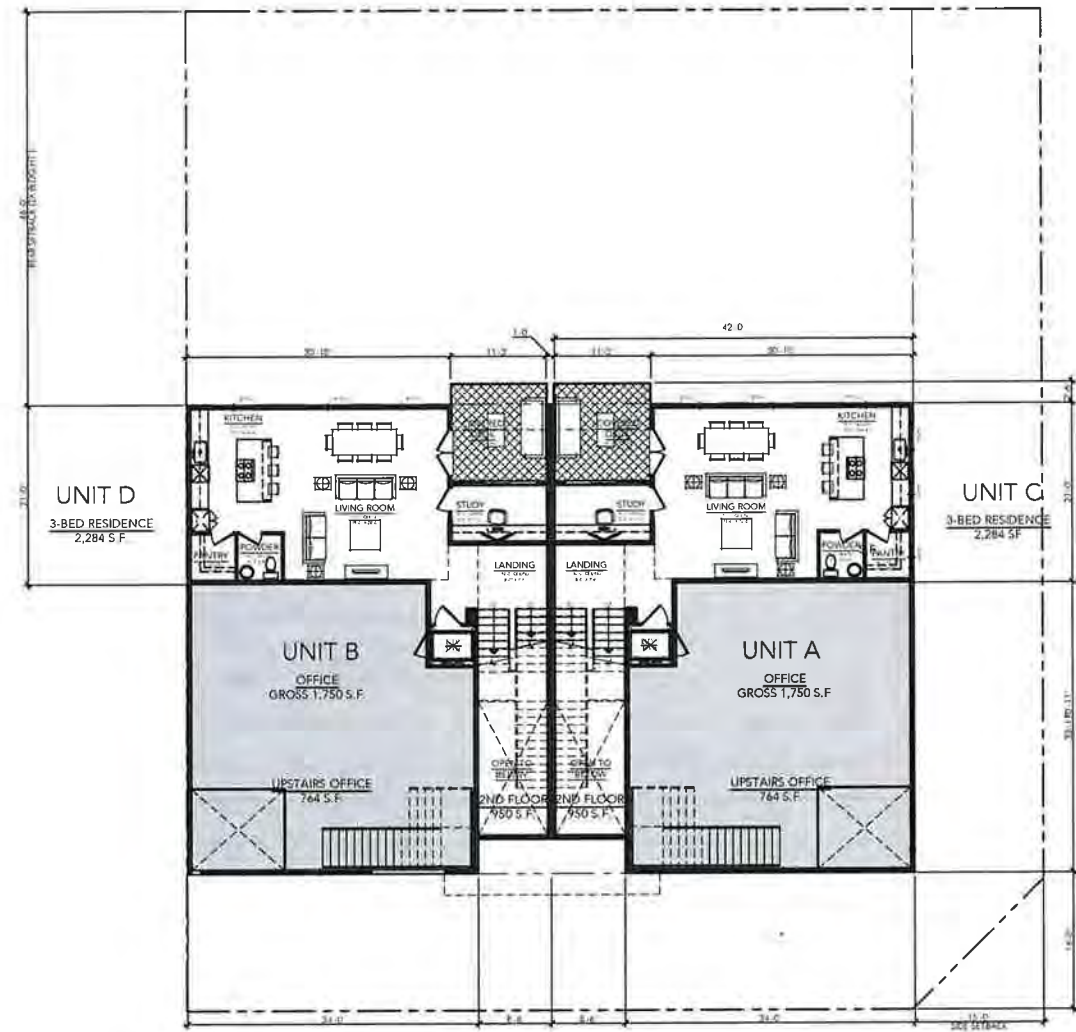
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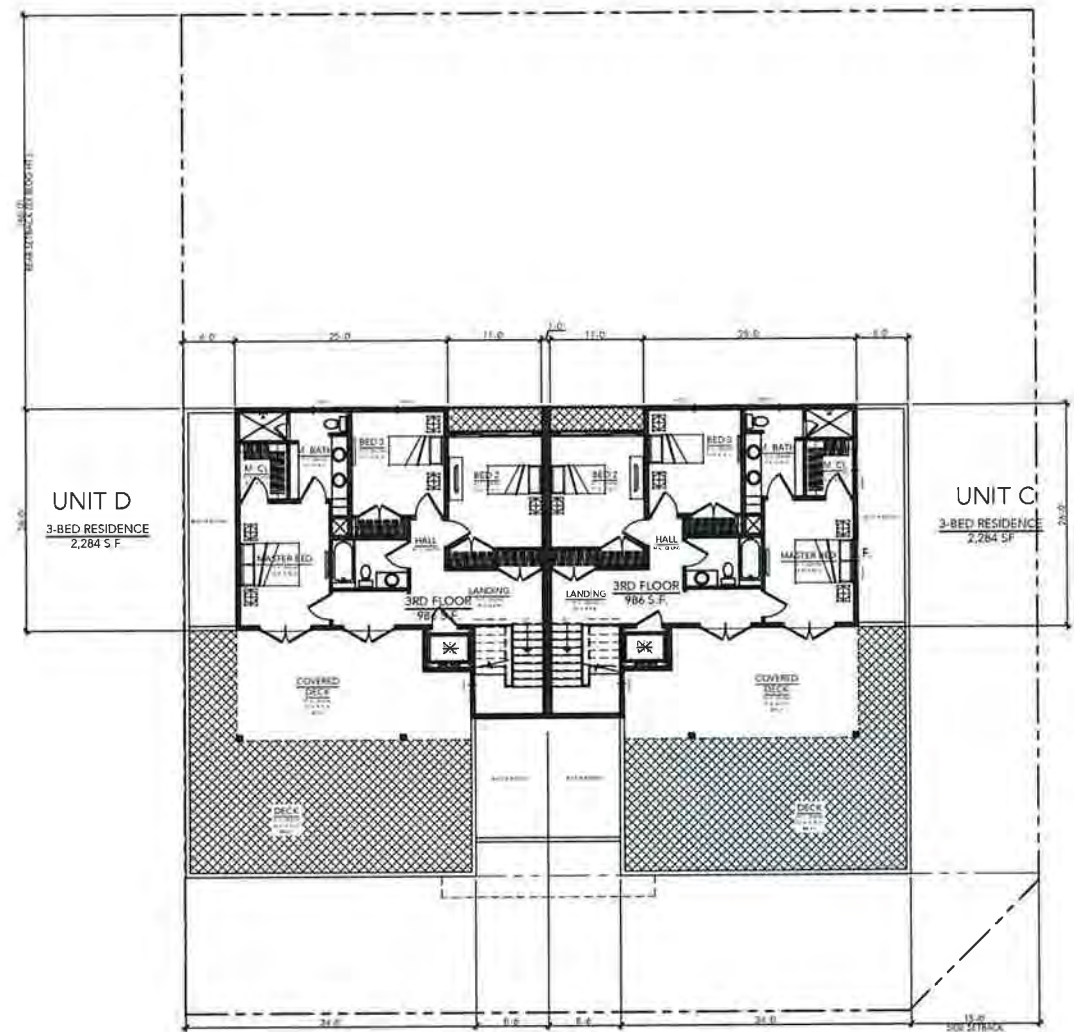
BRYCE
SIGOURNEY
ARCHITECTURE + DESIGN

3332 F RAYMOND ST
LONG BEACH, CA 90805
831 277 5490



SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



CLIENT
WJK DEVELOPMENT CO.
1400 S. MAIN ST. SUITE 100
IRVINE, CA 92614
949.300.0000

PROJECT
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT
752 W 19TH ST
COSTA MESA, CA
PROJECT 1810
DATE 02/01/19

REVISIONS



SHEET TITLE
PRELIMINARY
BUILDING PLAN

SHEET NUMBER
A1.1

45



BRYCE
SIGOURNEY
ARCHITECTURE + DESIGN

5332 E PAVO ST
LONG BEACH, CA 90808
831 277 5490

CLIENT
WJK DEVELOPMENT CO.
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT

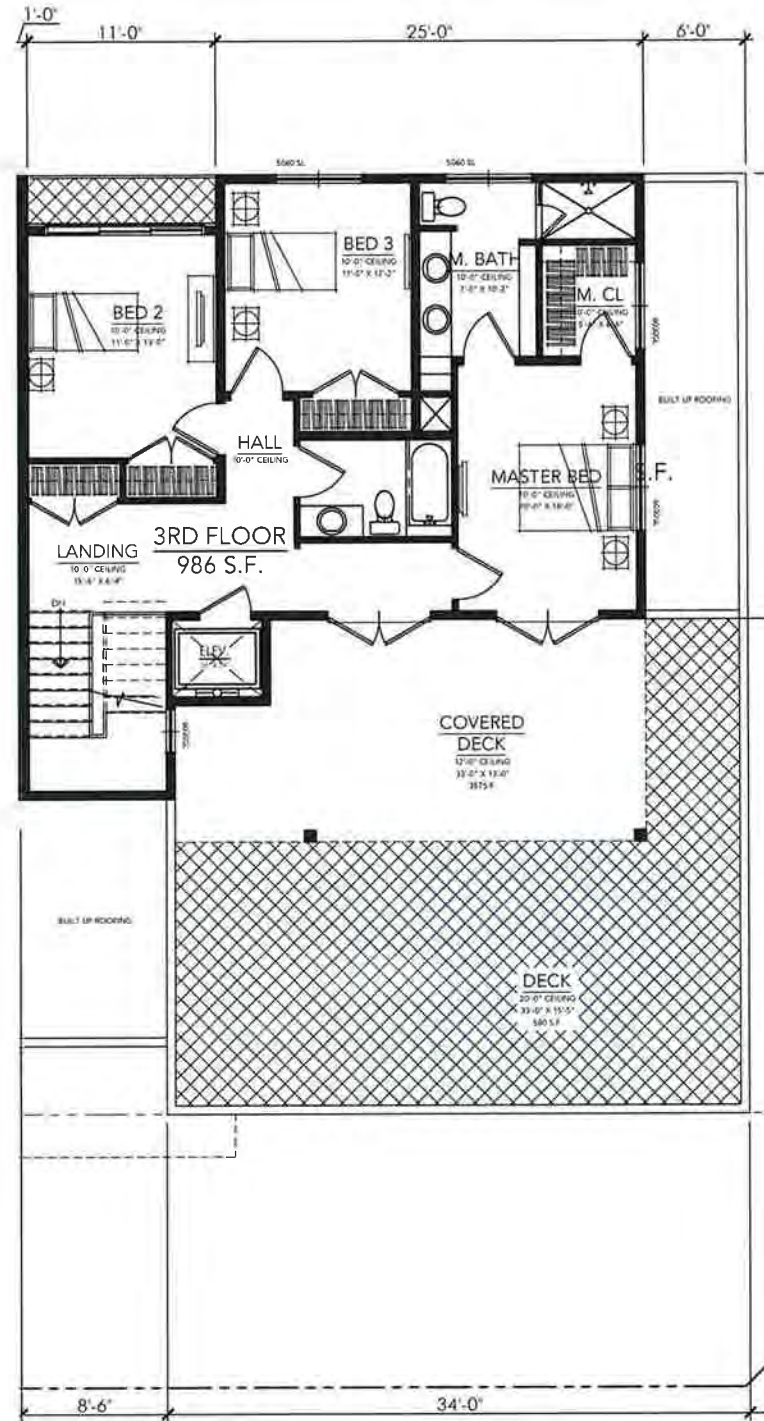
PROJECT
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT

REVISIONS

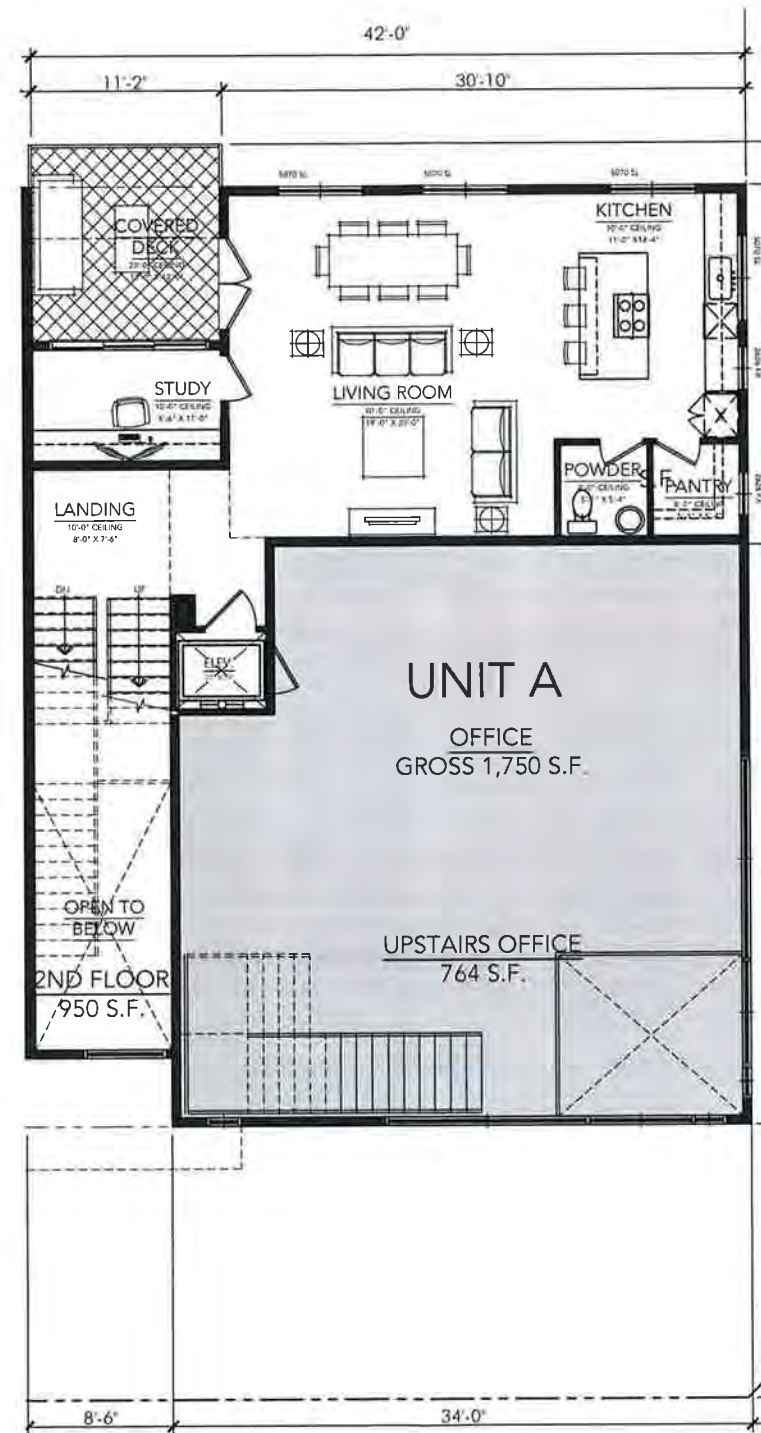
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SHEET TITLE
PRELIMINARY
UNIT PLAN

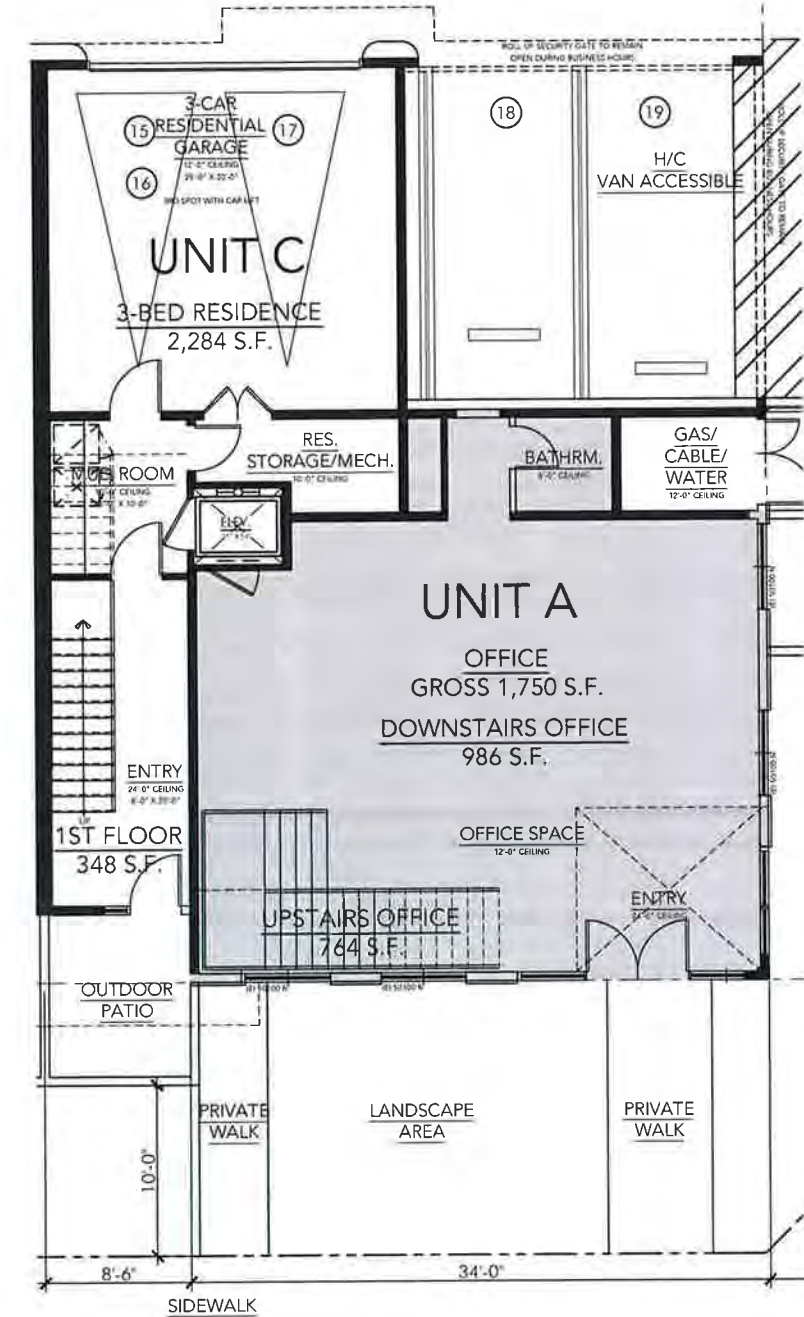
SHEET NUMBER
A2.0



RESIDENTIAL UNIT C - ROOF DECK
THIRD LEVEL PLAN
SCALE: 1/4" = 1'-0"



OFFICE UNIT - RESIDENTIAL UNIT C
SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0"



OFFICE UNIT - RESIDENTIAL UNIT C
FIRST LEVEL PLAN
SCALE: 1/4" = 1'-0"

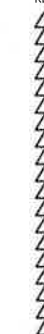
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CLIENT
WJK DEVELOPMENT CO.

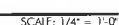
PROJECT
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT
752 W 19TH ST
COSTA MESA, CA
PROJECT 18-10
DATE 02-01-19

REVISIONS



SHEET TITLE
BUILDING
ELEVATIONS

SHEET NUMBER
A3.0



SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- MATERIAL LEGEND**
1. STOREFRONT WINDOW/DOOR
 2. EXTERIOR METAL TRELLIS
 3. BRICK
 4. ARCHITECTURAL METAL TRIM
 5. TENANT SIGNAGE
 6. PAINTED STUCCO SYSTEM WITH EXPANSION JOINT

7. PAINTED STEEL OVERHEAD (GARAGE)
8. METAL ROOF
9. PARAPET/FLAT ROOF
10. WINDOW WITH DECORATIVE FABRIC AWNING
11. GRIDDED GLASS WINDOWS
12. RESIDENTIAL GLASS DOOR

13. PERFORATED METAL SCREEN
14. LANDSCAPE
15. BLOCK PATIO WALL
16. OPEN COVERED PARKING WITH ROLL UP SECURITY DOOR TO REMAIN OPEN DURING ALL BUSINESS HOURS



40'-4" TOP OF RESIDENTIAL COMPONENT

28.7'

43



5332 E PAVO ST
LONG BEACH, CA 90808
831 277 5490

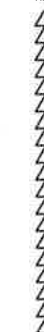
CLIENT
WJK DEVELOPMENT CO.

CLIENT
WJK DEVELOPMENT
SAN JOSE, CA
SAN JOSE, CA

PROJECT
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT

752 S. 75th W. 19TH ST.
COSTA MESA, CA
PROJECT 1910

REVISIONS



SHEET TITLE
BUILDING
ELEVATIONS

SHEET NUMBER
A3.1



SIDE ELEVATION
FACING WALLACE STREET

SCALE: 1/4" = 1'-0"

SIDE ELEVATION
FACING ADJACENT PROPERTY

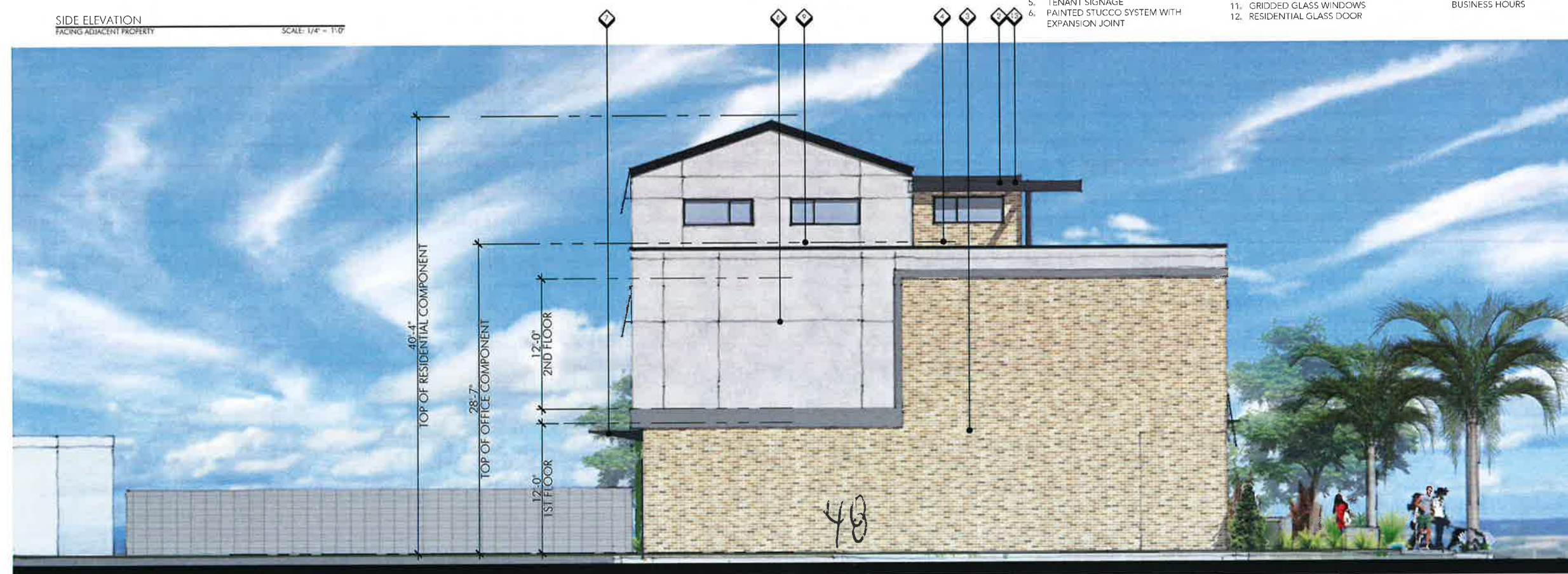
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- MATERIAL LEGEND**
1. STOREFRONT WINDOW/DOOR
 2. EXTERIOR METAL TRELLIS
 3. BRICK
 4. ARCHITECTURAL METAL TRIM
 5. TENANT SIGNAGE
 6. PAINTED STUCCO SYSTEM WITH EXPANSION JOINT

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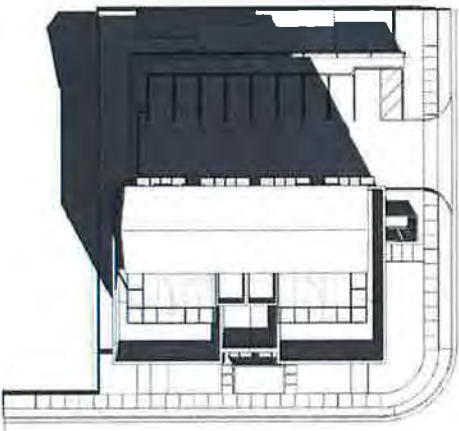
BRYCE
SIGOURNEY
ARCHITECTURE + DESIGN

5332 E. PAVO ST.
LONG BEACH, CA 90808
831 277 5490

WINTER

SPRING/FALL

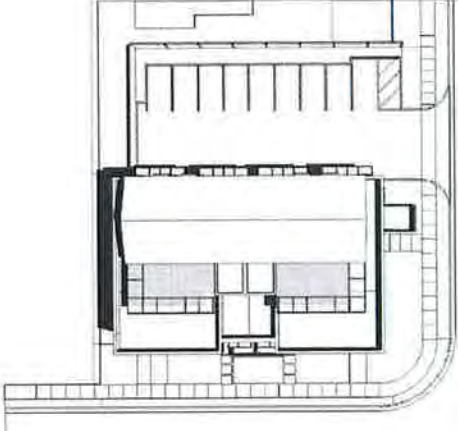
SUMMER



WINTER SOLSTICE - 12/21
10 AM



EQUINOX - 9/21 AND 3/21
10 AM



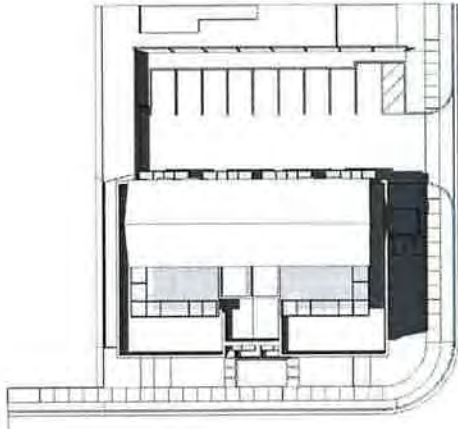
SUMMER SOLSTICE - 6/21
10 AM



WINTER SOLSTICE - 12/21
2 PM



EQUINOX - 9/21 AND 3/21
2 PM



SUMMER SOLSTICE - 6/21
2 PM

CLIENT
WJK DEVELOPMENT CO.
14520 MALE FERRY #100
IRVINE, CA
92614-1000

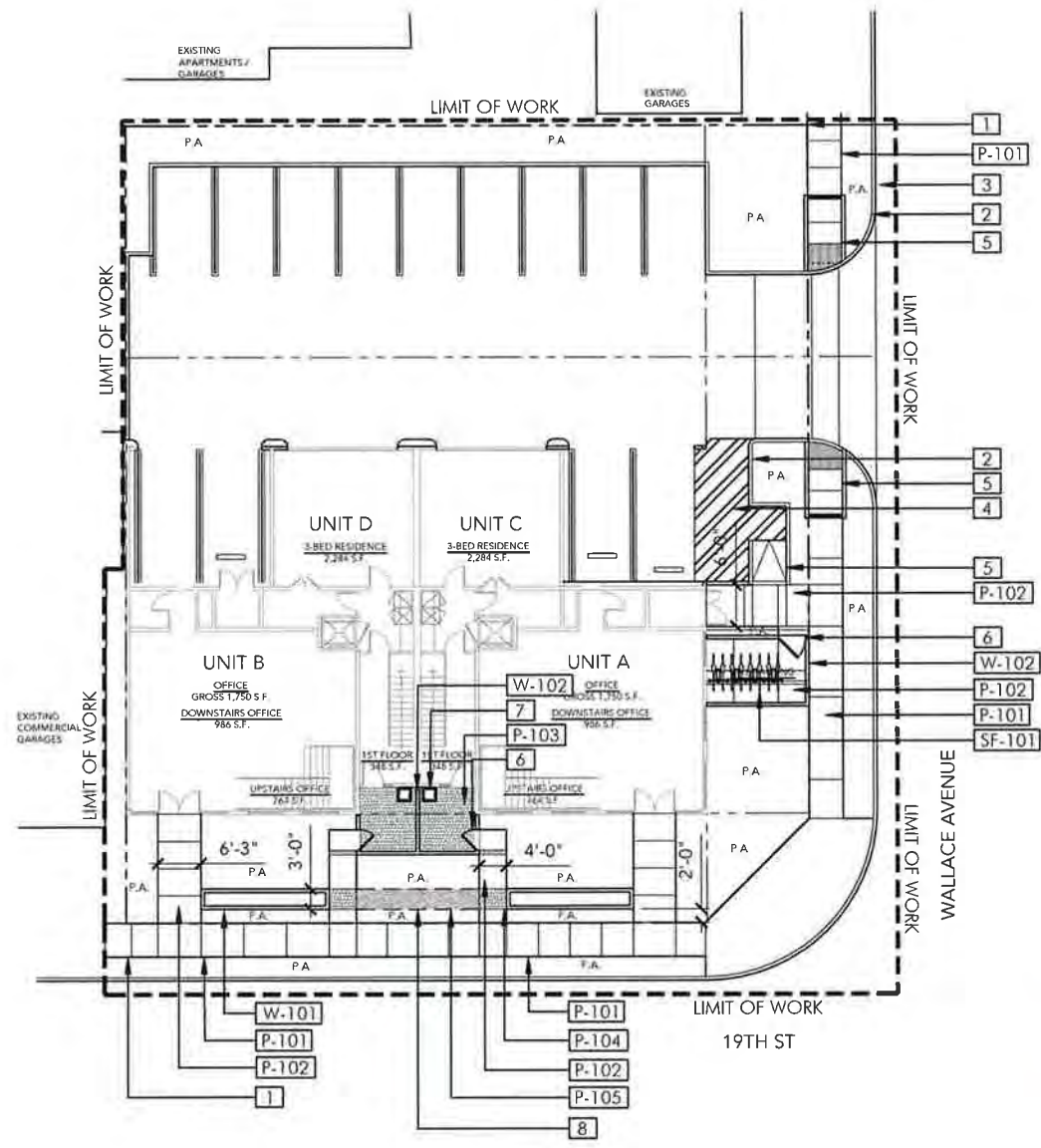
PROJECT
752 W 19TH ST.
COSTA MESA
MIXED USE PROJECT
752 W 19TH W 19TH ST
COSTA MESA, CA
PROJECT #19
DATE 02/01/19

REVISIONS



SHEET TITLE
SHADE STUDIES

SHEET NUMBER
A4.0



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	PROPERTY LINE	
2	CURB	BY OTHERS
3	CH/TER	BY OTHERS
4	PARKING STRIP/AG	BY OTHERS
5	CURB RAMP	BY OTHERS
6	STEEL GATE	TO MATCH ARCHITECTURAL RAMPING
7	TOL/RENC/ SQUARE POT	TBS
8	STEEL EDGING	TBS

SYMBOL	PAVING DESCRIPTION	QTY	DETAIL	MATERIAL	FINISH	PATTERN	MODEL	COLOR	MANUFACTURER	NOTES
P-101	CONCRETE CITY			CONCRETE	PER CITY STD	PER CITY STD		PER CITY STD		PUBLIC SIDEWALKS SHALL BE PER CITY STANDARD DETAIL
P-102	CONCRETE ONSITE			CONCRETE	TOP CAST #2	SCORELINES PER PLAN		OUTBACK (R677)	DAVIS COLORS #44 381 4786	INSTALL PER MFR RECOMMENDATION
P-103	CONCRETE PAVR			CONCRETE PAVR		RUNNING BOND W/ ALTERNATING SIZES	3X12 MODULE	TBS	BELGARD	INSTALL PER MANUFACTURER RECOMMENDATION
P-104	CONCRETE PAVR BAND			CONCRETE PAVR		RUNNING BOND	3X12 MODULE	TBS	BELGARD	INSTALL PER MANUFACTURER RECOMMENDATION
P-105	DECOMPOSED GRANITE			DECOMPOSED GRANITE				TBS		

SYMBOL	SITE FURNISHINGS DESCRIPTION	QTY	DETAIL	MANFCTR	PRODUCT	MODEL #	MATERIAL	COLOR	REMARKS
SF-101	BIKE RACK			LANDSCAPE FORMS	MULTIPLICITY BIKE RACK			TBS	SURFACE MOUNTED ON CONCRETE BASE. INSTALL PER MFR RECOMMENDATION

SYMBOL	WALL DESCRIPTION	QTY	DETAIL	DESCRIPTION	MATERIAL	COLOR	FINISH	MANUFACTURER	CAP
W-101	LOW WALL - 24" TALL			LOW WALL	BURNISHED BLOCK	TBS		ANGELUS BLOCK	8X21X6 CAP. COLOR/FINISH TO MATCH
W-102	LANDSCAPE WALL - 42" TALL			LANDSCAPE WALL	BURNISHED BLOCK	TBS		ANGELUS BLOCK	8X21X6 CAP. COLOR/FINISH TO MATCH

CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION
ALIGN	ALIGN
EQUAL	EQUAL
PLANTING AREA	PLANTING AREA
RADIUS	RADIUS
CENTERLINE	CENTERLINE
PLANTING AREA	PLANTING AREA

MANUFACTURER & AVAILABILITY LIST

ABBREVIATION	COMPANY	CONTACT	PHONE	WEBSITE	LEADTIME
DAVIS	DAVIS COLORS	DAVID BAILEY	209 602 4123	www.daviscolors.com	
TBM	THOMPSON BUILDING MATERIALS	SOMAH GIBBS	800 699 1878	www.dccostahillmaterials.com	
	LANDSCAPE FORMS	REBECCA CASEY	269 337 1313	www.landscapeloms.com	4 WEEKS

NOTES

- THIS PROJECT SHALL COMPLY WITH THE CRITERIA OF THE CITY OF COSTA MESA DESIGN GUIDELINES, REGULATIONS AND ORDINANCES IN THE LANDSCAPE DESIGN
- ALL TREES WITH POTENTIAL HARDSCAPE CONFLICTS SHALL BE PLANTED PRIOR TO INSTALLATION OF HARDSCAPES. TREE LOCATIONS & FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING
- ALL PAVING REINFORCEMENT & SIZE SHALL BE VERIFIED WITH STRUCTURAL & SOIL ENGINEER PRIOR TO POUR
- CONTRACTOR SHALL NOT MAKE ADJUSTMENTS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. ALL CHANGES MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT SHALL BE CORRECTED TO CONFORM WITH THE PLANS WITH NO COST INCURRED TO THE OWNER.
- ALL SCORELINES, SAWCUTS, & EXPANSION JOINTS ARE TO OCCUR WHERE INDICATED ON PLAN
- ALL GROUT TO COMPLEMENT COLOR OF ADJACENT HARDSCAPE MATERIAL COLOR
- SIDEWALK SCORES TO BE COORDINATED WITH WALKWAY CONNECTIONS

MATERIAL PHOTOS

COLORS ARE FOR REFERENCE ONLY - REFER TO SPECIFICATIONS



blocs

blocs design group
www.blocsdsgroup.com
1738 Haight Street, Apt 310
San Francisco, CA 94117
blocs@blocsdesign.com
415.716.5331

CLIENT
WJK DEVELOPMENT CO.
1400 BRACKETT AVE
IRVINE, CALIFORNIA 92614

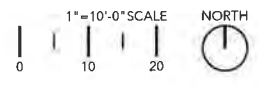
PROJECT
752 19TH STREET
MIXED USE PROJECT
752 & 754 W. 19TH STREET
COSTA MESA, CALIFORNIA 92627

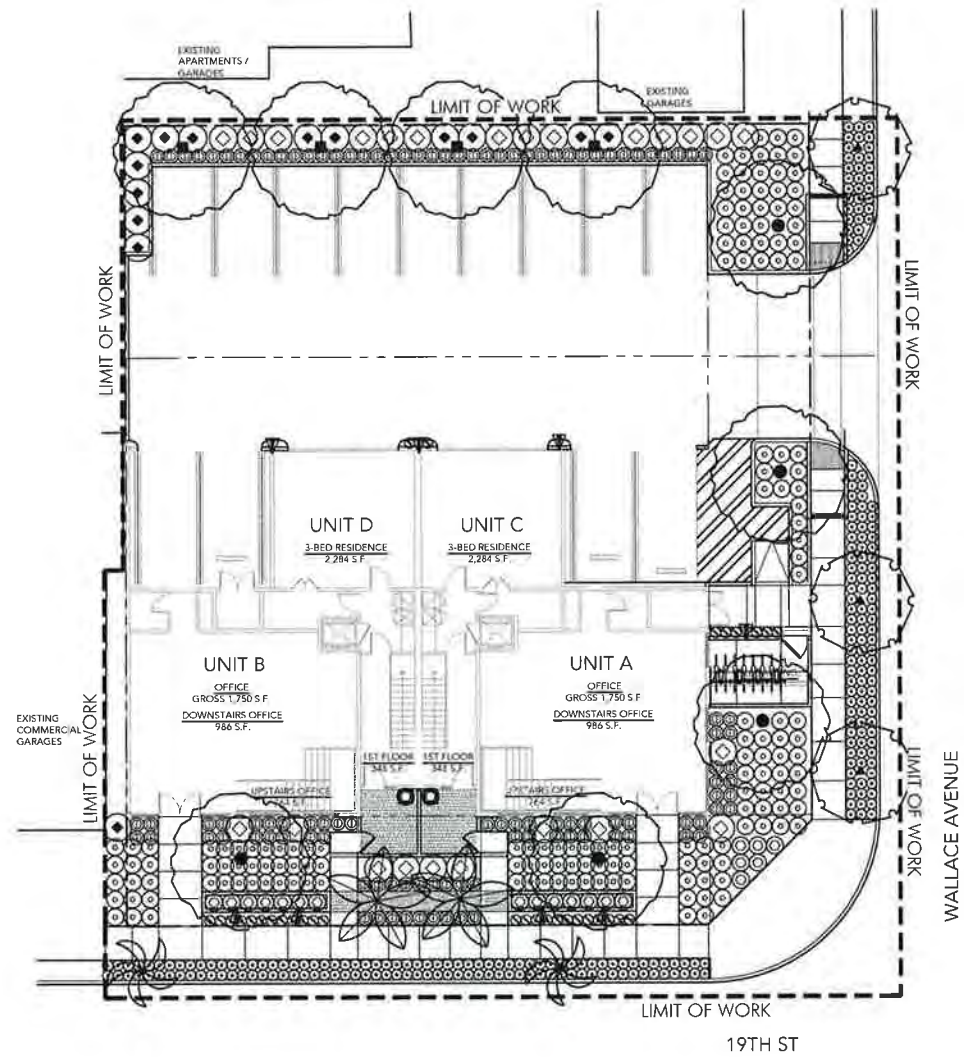
REVISIONS

PROJECT 18-004
DATE 12-1-19

SHEET TITLE
CONSTRUCTION
PLAN

SHEET NUMBER
L1.01





PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	VERY LOW	LOW	MEDIUM	HIGH
	EXISTING TREE				2				
	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	36" BOX	L	5			X	
	PLATANUS X ACERIFOLIUM	LONDON PLANE TREE MULTI-TRUNK	24" BOX	L	2		X	X	
	PODOCARPUS MACROPHYLLUS	YEW PINE	24" BOX	M	2			X	
	STAGRUS ROMANZOFFIANA	QUEEN PALM	15 BTH	M	2			X	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	VERY LOW	LOW	MEDIUM	HIGH
	AGAVE X BLUE GLOW	BLUE GLOW AGAVE	5 GAL	L	22	X	X		
	CAREX GLAUCA	BLUE SEDGE	1 GAL	L	34			X	
	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	L	111			X	
	DODONAEA VISCOSA PURPUREA	PURPLE LEAFED HOPSEED BUSH	15 GAL	L	24		X		
	FICUS PUMILA	CREeping FIG	13 GAL STAKED	M	9			X	
	HEMEROCALLIS SPECIES	DAYLILY	1 GAL	L	250				
	LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH	5 GAL	M	160		X		
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL	M	14			X	

NOTES

- THIS PROJECT SHALL COMPLY WITH THE CRITERIA OF THE CITY OF COSTA MESA REGULATIONS AND ORDINANCES AND THE CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLY THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION PLAN DESIGN
- ALL SHRUB AND GROUND COVER AREAS (WITH SLOPES LESS THAN 2:1) SHALL RECEIVE A 3" LAYER OF MULCH. SEE PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION. ALL AREAS WITH GRAVEL SPECIFIED PER THE CONSTRUCTION PLANS SHALL NOT RECEIVE MULCH LAYER
- ALL TREES PLANTED WITHIN 10' OF PAVEMENT, CURBS, WALLS, OR BUILDINGS SHALL BE INSTALLED WITH LINEAR ROOT BARRIERS. ROOT BARRIERS SHALL BE PLACED AT THE EDGE OF THE ADJACENT PAVEMENT, CURB, WALL OR BUILDING (DO NOT ENCIRCLE ROOTBALLS) AND SHALL EXTEND 8' MINIMUM EACH SIDE OF THE CENTER OF THE TREE. ANY GAP BETWEEN ROOT BARRIERS LESS THAN 5' SHALL BE CONNECTED WITH CONTINUOUS ROOT BARRIERS. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION
- ROOT BARRIER SHALL BE MODELS OF 2" PANELS ONLY, 24" DEPTH, .085" THICK POLYETHYLENE PLASTIC WITH ULTRAVIOLET INHIBITORS AS MANUFACTURED BY CENTURY ROOT BARRIERS 800-480-8084
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO THE INSTALLATION OF TREES. ALL TREES SHALL BE PLANTED AT LEAST 5' FROM ANY UNDERGROUND UTILITY SUCH AS SEWER, GAS, STORM DRAIN, ELECTRICAL CABLE, OR TELEPHONE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT BETWEEN TREE LOCATIONS AND UNDERGROUND UTILITIES
- PLANT QUANTITIES FOR REFERENCE ONLY. CONTRACTOR TO VERIFY PLANT QUANTITIES PER PLANTING SCHEDULE UPON DAY ON INSTALLATION

TREE PHOTOS



SHRUB PHOTOS



blocs

blocs design group
www.blocsdsgroup.com
1735 Haight Street, Apt 310
San Francisco, CA 94117
blake.rhodes@blocs.com
916 716 9331

CLIENT
WJK DEVELOPMENT CO.
PROJECT
752 19TH STREET
MIXED USE PROJECT
752 & 19th W, 19TH STREET
COSTA MESA, CALIFORNIA 92627
PROJECT 18-004
DATE 1-31-19

REVISIONS



SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L3.01





PLANNING COMMISSION SUPPLEMENTAL MEMORANDUM

MEETING DATE: MARCH 11, 2019

ITEM NUMBER: PH-1

SUBJECT: PLANNING APPLICATION 18-47 AND TENTATIVE TRACT MAP 18034 FOR A THREE-STORY MIXED-USE DEVELOPMENT WITHIN THE 19 WEST URBAN PLAN AREA LOCATED AT 752 & 756 WEST 19TH STREET


DATE: MARCH 8, 2019

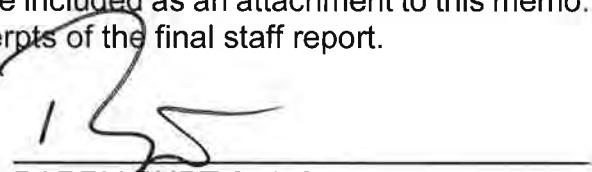
FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: MINOO ASHABI, PRINCIPAL PLANNER

FOR FURTHER INFORMATION CONTACT: MINOO ASHABI, AIA (714) 754-5610
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The objective of this supplemental memo is to provide the Commission with a few pages that have been updated. Pages one, three, and five of the staff report included typographical errors that were corrected and are included as an attachment to this memo. Please consider the revised pages as the excerpts of the final staff report.


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Bobby Kashani
KS Capital Inc.
16520 Bake Parkway
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PLANNING COMMISSION AGENDA REPORT

MEETING DATE: MARCH 11, 2019

ITEM NUMBER:

SUBJECT: PLANNING APPLICATION 18-47 AND TENTATIVE TRACT MAP 18034 FOR A THREE-STORY MIXED-USE DEVELOPMENT WITHIN THE 19 WEST URBAN PLAN AREA LOCATED AT 752 & 756 WEST 19TH STREET

DATE: MARCH 8~~1~~, 2019~~8~~

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DESCRIPTION

The proposed project includes the following:

- 1) *Planning Application 18-47* is a request for approval of an Urban Master Plan to allow construction of a three-story mixed-use development located in the C1 zone and in the 19 West Urban Plan area. The request includes the following deviations from the Urban Plan standards:
 - Deviation to allow for a less than one-acre minimum development lot (a one-acre development lot is required; the existing lot is 0.27-acre (11,533 square feet).
 - Deviation from the standard for required open guest parking. Nineteen parking spaces are required with a minimum of 15 open guest parking spaces. The project meets the overall parking requirement by providing six garage spaces including two mechanical lifts, three carports and ten open guest parking spaces.
- 2) *Tentative Tract Map 18034*: The subdivision of the 11,533-square-foot lot (0.27-acre) to establish a four-unit condominium map for ownership purposes.

APPLICANT OR AUTHORIZED AGENT

Bobby Kashani, is the authorized agent for KS. Capital, Inc., the property owner.

RECOMMENDATION

Staff recommends that the Planning Commission adopt a Resolution to:

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Revised Page 1

PLANNING APPLICATION SUMMARY

Location:	752 and 756 W. 19th Street	Application Number:	PA-18-47/TT-18034
Request:	Master Plan and Tentative Tract Map for three-story mixed-use development		

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone:	C1 19 th Street Urban Plan	North:	R2-HD, Multi-Family Residential, High Density
General Plan:	General Commercial	South: (across 19 th St)	R3, Multiple Family Residential District
Lot Dimensions:	100 FT x 117 FT	East: (across Wallace Ave)	C1 (Local Business District)
Lot Area:	11,533 SF	West:	C1 (Local Business District)
Existing Development:	Currently vacant; previously developed with two structures that have been demolished.		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required/Allowed Mixed-Use Standards (19 th West)	Proposed/Provided
Development Lot Size:		
Lot Width	N/A	100 FT
Lot Area	1-acre	11,533 SF (0.27-acre) ¹
Density/Intensity:		
Floor Area Ratio (FAR)	1.0 FAR (11,533 SF)	0.71 FAR (8,148 SF) ²
Coverage (Development Lot)		
Buildings	N/A	4,598 SF (39.9%)
Paving	N/A	3,898 SF (33.8%)
Open Space	3,460 SF (30%)	3,168 SF (27.5%) Roof deck 1,880 SF (16.3%)
Residential Open Space	200 SF per unit	2 nd flr. – 132 SF balcony 3 rd flr. - 357 SF (covered) per unit 580 SF (open deck) per unit
Building Height	4-stories / 60 ft.	2 story – 28'-7" 3-story – 40' 4"
Distance between main buildings	10 ft.	N/A
Development Lot Building Setbacks:		
Front (19th Street)	15 ft.	16 ft.
Side (interior)	0 ft.	0 ft.
Side (Wallace Street) – Building line	40 5 ft.	15 ft.
Side (Wallace Street) – parking	5 ft.	6 ft.
Rear	20 ft	46 ft.
Parking		
Covered	5 spaces for residential use (50% minimum covered)	5 spaces (garage)
Guest	(0.5 per residential unit) 1 space	1 space (garage)
Office use	14 spaces	10 open 3 carports bike racks
Total Spaces	19 spaces ³	19 spaces
CEQA Status	15332, In-Fill Development	
Final Action	Planning Commission	

¹ Requires deviation- see staff report

² FAR calculation does not include garage square-footage for each unit per Zoning Code Section 13-58

³ Credit of one parking space for bike racks – Zoning Code Section 13-89

- The project should include redesign of the corner unit for more open space at the angled setback
- The project should provide the required number of open parking spaces
- The project should strive to have no deviations and provide additional parking to accommodate live/work guests

The June 17, 2014 City Council screening report, meeting minutes and video is on the City's website at the below links:

<http://ftp.costamesaca.gov/costamesaca/council/agenda/2014/2014-06-17/NB-2.pdf>
<https://www.costamesaca.gov/home/showdocument?id=15248>
http://costamesa.granicus.com/MediaPlayer.php?view_id=10&clip_id=2411

On August 8, 2016, the Master Plan for the project was reviewed by the Planning Commission. The project included several deviations from the Urban Plan standards and the Planning Commission was not supportive of the proposed site plan and architectural design. The Commission voted to continue the project to a date uncertain to allow the applicant to revise the site plan and architecture and to return at a later public hearing. The staff report, meeting minutes and video of the Planning Commission hearing are available at these links:

<http://www.costamesaca.gov/ftp/planningcommission/agenda/2016/2016-08-08/PH-2.pdf>
<https://www.costamesaca.gov/modules/showdocument.aspx?documentid=23074>
http://costamesa.granicus.com/MediaPlayer.php?view_id=10&clip_id=2886

Subsequently, the project site was sold and the new property owner retained an architect to develop plans for the site. The subdivision was also modified from small lots to a condominium plan with no fee simple parcels or reliance on the small lot ordinance. Since the project included five units, all utility poles serving the site (including a pole on Wallace Street) were required to be undergrounded. Given the significant cost of off-site undergrounding, the applicant requested a waiver of this requirement.

The revised project with modified architecture was reviewed by the Planning Commission on March 12, 2018⁷. The Commission denied the project on a 3-0 vote (Commissioners de Arakal and Harlan absent) expressing concerns with the number of deviations, the proposed separate entrance to work space and residential portion of the unit, request of waiver of undergrounding the utility poles, and the architectural design of the project. The denial action was adopted with the following findings:

- The proposed master plan does not meet the broader goals of the General Plan, 19 West Urban Plan and the Zoning Code in terms of exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.
- The strict application of the live/ work development standards such as setbacks and parking standards would not result in practical difficulty and the proposed